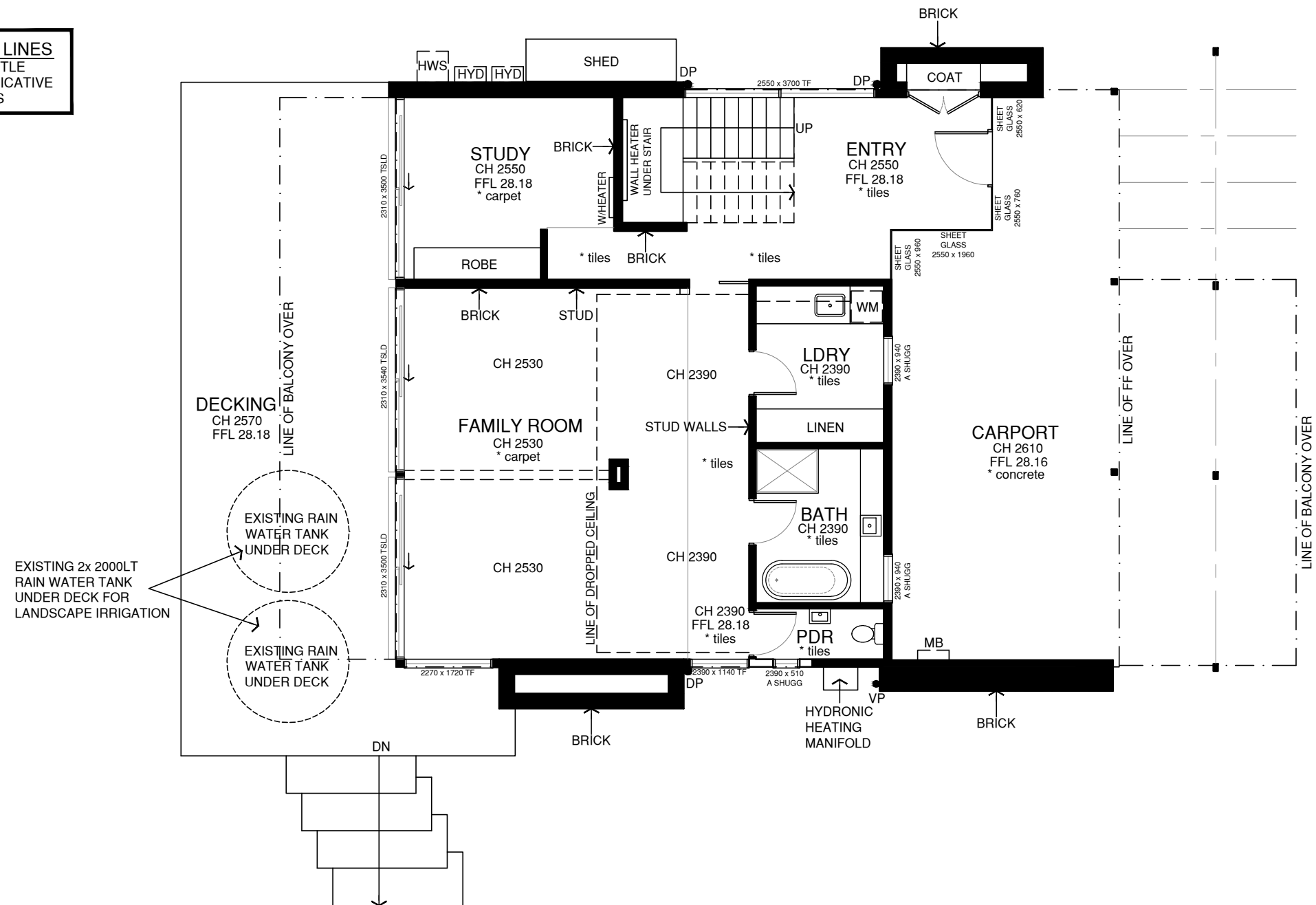


BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE
BOUNDARIES ARE SHOWN INDICATIVE
ONLY ON THESE PLANS



TOWN PLANNING
DRAWINGS ONLY - NOT
FOR CONSTRUCTION USE

DEMOLITION SCHEDULE	
REMOVAL/DEMOLITION	=====
EXISTING WALLS TO REMAIN	=====

ADVERTISED PLAN
Application No. P870/2024

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

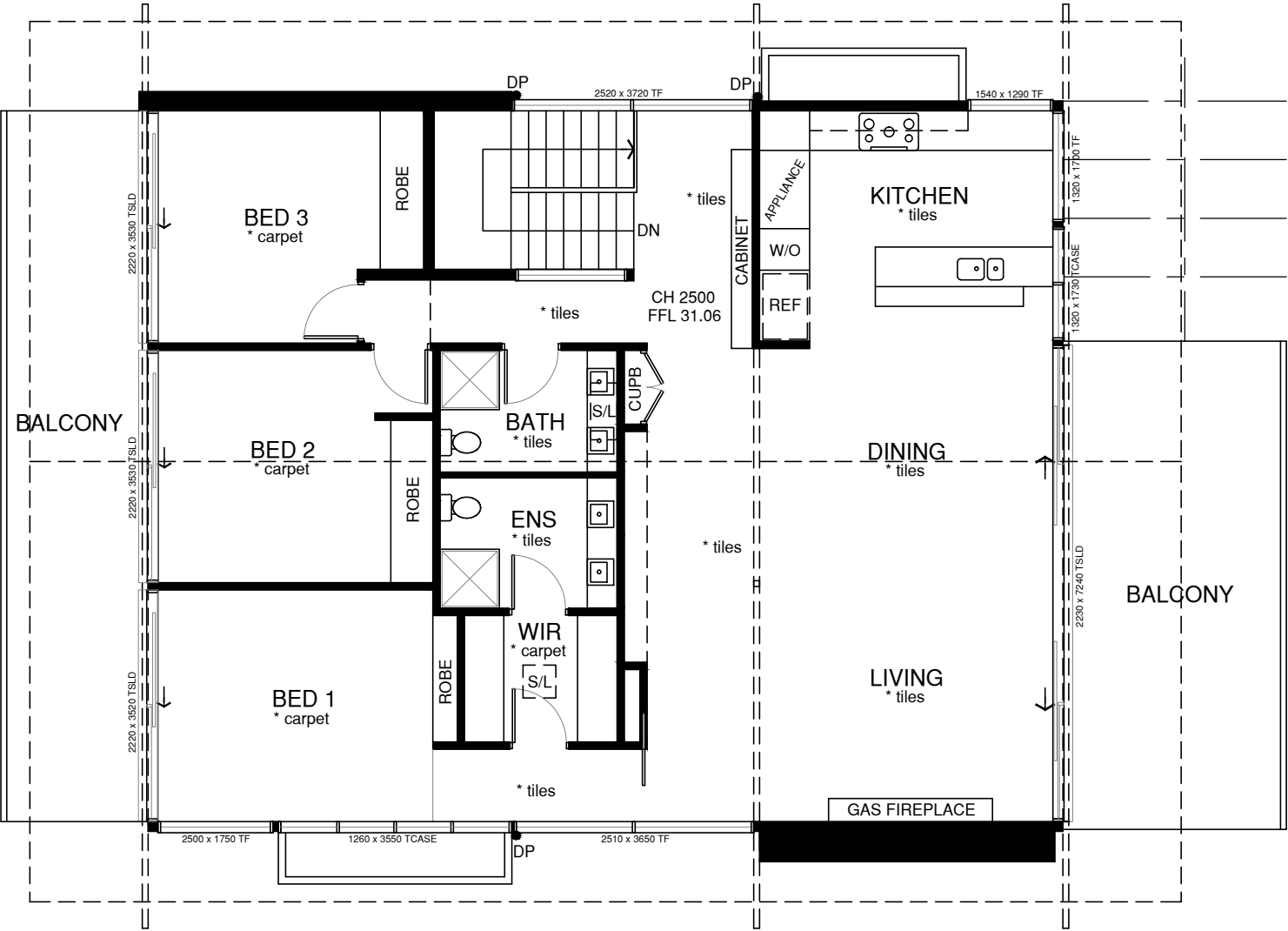


FULL NCC/BCA
2022 COMPLIANCE

APPROX FENCE LOCATION
APPROX BOUNDARY LOCATION - RE-ESTABLISHMENT SURVEY MAY BE REQUIRED

drawing: <div>EXISTING GROUND FL PL</div>		client: <div>STEVEN & LINA CORTESE</div>		drawn: JM date: 05/09/24 scale: 1:100 job no.: 21336				<div><div><div>MAWDSLEY</div><div>BUILDING DESIGNS</div></div><div><div>Contact Details:</div><div>A: PO Box 470, Berwick 3806</div><div>P: 9707 5968 M: 0433 878 588</div><div>E: info@mb-designs.com.au</div><div>W: www.mawdsleybuildingdesigns.com.au</div><div>ABN: 95 291 868 270</div><div>© 2024 COPYRIGHT ALL RIGHTS RESERVED</div></div><div><div><div>MEMBER</div><div><div>bda[®]</div><div>Building Designers Association Victoria</div></div><div><div>REGISTERED</div><div>Building Practitioner</div></div></div></div></div>
address: <div>1 CROWN ROAD, IVANHOE VIC 3079</div>		sht size: A3 issue: C date: 29/10/24 sheet: 2 of 10						

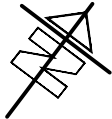
BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE
BOUNDARIES ARE SHOWN INDICATIVE
ONLY ON THESE PLANS



TOWN PLANNING
DRAWINGS ONLY - NOT
FOR CONSTRUCTION USE

ADVERTISED PLAN
Application No. P870/2024

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



FULL NCC/BCA
2022 COMPLIANCE

drawing: EXISTING FIRST FLOOR PL	client: STEVEN & LINA CORTESE	drawn: JM date: 05/09/24 scale: 1:100 job no.: 21336	<div data-bbox="2208 1927 2502 2011">MAWD SLEY BUILDING DESIGNS</div> <div data-bbox="2534 1892 2801 2045">Contact Details: A: PO Box 470, Berwick 3806 P: 9707 5968 M: 0433 878 588 E: info@mb-designs.com.au W: www.mawdsleybuildingdesigns.com.au ABN: 95 291 868 270 © 2024 COPYRIGHT ALL RIGHTS RESERVED</div> <div data-bbox="2801 1871 2926 2053">MEMBER bdav Building Designers Association Victoria REGISTERED Building Practitioner</div>
address: 1 CROWN ROAD, IVANHOE VIC 3079		sht size: A3 issue: C date: 29/10/24 sheet: 3 of 10	

ENGINEER TO DESIGN ALL BEAMS, STRUCTURAL SUPPORTS, ARTICULATION JOINTS IN ALL MASONRY WALLS, PROVIDE ALL SLAB DESIGNS WITH STEP UPS AND SUB FLOOR STRUCTURAL DESIGNS ALONG WITH ANY RETAINING WALLS ETC. MAWDSLEY BUILDING DESIGNS TAKES NO RESPONSIBILITY FOR THE ACCURACY, RELIABILITY OR CORRECTNESS OF ANY CONTRACTORS DESIGNS, DETAILS OR WORKS ETC.

LEGAL POINT OF DISCHARGE
LPOD TO BE CONFIRMED ONSITE PRIOR TO WORKS COMMENCING. PLUMBER AND BUILDER TO CONFIRM EXISTING RUNS AND CONNECT NEW DOWNPIPES INTO STORM WATER LEGAL POINT OF DISCHARGE ONCE ESTABLISHED TO AUSTRALIAN STANDARDS

SERVICES:
ALL CARE SHALL BE TAKEN WHERE EXCAVATING AND OR DIGGING NEAR OR AROUND SERVICES ON THE SITE. ALL SERVICES AND LOCATIONS TO BE CONFIRMED PRIOR TO COMMENCEMENT OF WORKS.

ADVERTISED PLAN
Application No. P870/2024

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

TOWN PLANNING
DRAWINGS ONLY - NOT
FOR CONSTRUCTION USE

BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE BOUNDARIES ARE SHOWN INDICATIVE ONLY ON THESE PLANS

SITE NOTES:

- PROVIDE SLIGHT GROUND SCRAPE AS REQUIRED TO OTHER AREAS TO ACHIEVE A MINIMUM OF 150mm CLEARANCE TO PERIMETER OF SLAB AND MIN 400mm CLEARANCE TO UNDERSIDE OF BEARERS AND TO CREATE A FLAT BUILDING AREA. PROVIDE RETAINING WALLS AS REQUIRED TO SUIT ANY CUT & FILL. ALL EXCAVATIONS ARE TO EXTEND MINIMUM 1000mm PAST PERIMETER OF NEW WORK AND ARE TO BE GRADED AWAY FROM NEW WALL AS NECESSARY.
- ALL NEW DOWNPIPES TO BE CONNECTED TO STORM WATER SYSTEM AND DISCHARGED TO LEGAL POINT TO ENGINEERS CIVIL DESIGN. LOCATION TO BE CONFIRMED BY PLUMBER & BUILDER ONSITE AND MAY CHANGE TO SUIT EXISTING CONDITIONS.
- ALL PLANS TO BE READ IN CONJUNCTION WITH SOIL REPORT AND ENGINEERING DOCUMENTS. FOOTINGS/SLAB FOUNDED TO SUIT SOIL REPORT AND ENGINEERS REQUIREMENTS
- PROVIDE TERMITE TREATMENT TO NEW TIMBER SUB FLOOR & SLAB AREAS ONLY IN ACCORDANCE WITH A.S. 3660.1 2000
- ALL LEVELS INCLUDING FLOOR LEVELS & SITE LEVELS TO BE CONFIRMED ONSITE BY BUILDER.

SOIL TEST INFORMATION

SOIL CLASS (?)
SOIL TEST No. TBC
SOIL ENG - TBC

BAL - N/A

SITE SUMMARY



DWELLING	
EXISTING GROUND FL	120.04m ²
EXISTING FIRST FL	157.26m ²
EXISTING CARPORT	42.31m ²
EXISTING BALCONYs x2	49.41m ²
EXISTING SHED	7.69m ²
PROPOSED EXTENSION	83.36m ²
TOTAL	460.07 m ²

BUILDING AREA COVERED BY ROOF
= 264.05m²

SITE AREA	
SITE AREA	742.01m ² (APRX)
SITE COVERAGE	40.80%
SITE PERMEABILITY	59.20%
HARD COVER	40.80%
GARDEN AREA	59.20%



FULL NCC/BCA
2022 COMPLIANCE

drawing:	PROPOSED SITE ANALYSIS PLAN - GF	client:	STEVEN & LINA CORTESE			drawn: JM date: 05/09/24 scale: 1:200 job no.: 21336			<div><div>MEMBER</div><div></div><div>MAWDSLEY BUILDING DESIGNS</div><div><div>Contact Details:</div><div>A: PO Box 470, Berwick 3806</div><div>P: 9707 5968 M: 0433 878 588</div><div>E: info@mb-designs.com.au</div><div>W: www.mawdsleybuildingdesigns.com.au</div><div>ABN: 95 291 868 270</div><div>© 2024 COPYRIGHT ALL RIGHTS RESERVED</div></div><div><div>Building Designers Association Victoria</div><div> REGISTERED Building Practitioner</div></div></div>
address:					sht size: A3 issue: C date: 29/10/24 sheet: 4 of 10				
1 CROWN ROAD, IVANHOE VIC 3079									

LEGAL POINT OF DISCHARGE
LPD TO BE CONFIRMED ONSITE PRIOR TO
WORKS COMMENCING. PLUMBER AND
BUILDER TO CONFIRM EXISTING RUNS AND
CONNECT NEW DOWNPIPES INTO STORM
WATER LEGAL POINT OF DISCHARGE ONCE
ESTABLISHED TO AUSTRALIAN STANDARDS

ALL CARE SHALL BE TAKEN WHERE
EXCAVATING AND OR DIGGING NEAR
OR AROUND SERVICES ON THE SITE.
ALL SERVICES AND LOCATIONS TO
BE CONFIRMED PRIOR TO
COMMENCEMENT OF WORKS.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

**TOWN PLANNING
DRAWINGS ONLY - NOT
FOR CONSTRUCTION**

BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE
BOUNDARIES ARE SHOWN INDICATIVE
ONLY ON THESE PLANS

- PROVIDE SLIGHT GROUND SCRAPE AS REQUIRED TO OTHER AREAS TO ACHIEVE A MINIMUM OF 150mm CLEARANCE TO PERIMETER OF SLAB AND MIN 400mm CLEARANCE TO UNDERSIDE OF BEARERS AND TO CREATE A FLAT BUILDING AREA. PROVIDE RETAINING WALLS AS REQUIRED TO SUIT ANY CUT & FILL. ALL EXCAVATIONS ARE TO EXTEND MINIMUM 1000mm PAST PERIMETER OF NEW WORK AND ARE TO BE GRADED AWAY FROM NEW WALL AS NECESSARY.
- ALL NEW DOWNPIPES TO BE CONNECTED TO STORM WATER SYSTEM AND DISCHARGED TO LEGAL POINT TO ENGINEERS CIVIL DESIGN. LOCATION TO BE CONFIRMED BY PLUMBER & BUILDER ONSITE AND MAY CHANGE TO SUIT EXISTING CONDITIONS.
- ALL PLANS TO BE READ IN CONJUNCTION WITH SOIL REPORT AND ENGINEERING DOCUMENTS. FOOTINGS/SLAB FOUNDED TO SUIT SOIL REPORT AND ENGINEERS REQUIREMENTS
- PROVIDE TERMITE TREATMENT TO NEW TIMBER SUB FLOOR & SLAB AREAS ONLY IN ACCORDANCE WITH A.S. 3660.1 2000
- ALL LEVELS INCLUDING FLOOR LEVELS & SITE LEVELS TO BE CONFIRMED ONSITE BY BUILDER.

SOIL CLASS (?)
SOIL TEST No. TBC
SOIL ENG - TBC

BAL - N/A

DWELLING	
EXISTING GROUND FL	120.04m ²
EXISTING FIRST FL	157.26m ²
EXISTING CARPORT	42.31m ²
EXISTING BALCONYS x2	49.41m ²
EXISTING SHED	7.69m ²
PROPOSED EXTENSION	83.36m ²
TOTAL	460.07 m²

BUILDING AREA COVERED BY ROOF
= 264.05m²

<u>SITE AREA</u>	
SITE AREA	742.01m ² (APRX)
SITE COVERAGE	40.80%
SITE PERMEABILITY	59.20%
HARD COVER	40.80%
GARDEN AREA	59.20%



FULL NCC/BCA
2022 COMPLIANCE

drawing: PROPOSED SITE
ANALYSIS PLAN - FF

address: 1 CROWN ROAD, IVANHOE VIC 3079

client: STEVEN & LINA CORTESE

drawn: JM date: 05/09/24 scale: 1:200 job no.: 21336

sht size: A3 issue: C date: 29/10/24 sheet: 5 of 10



Contact Details:
A: PO Box 470, Berwick 3806
P: 9707 5968 I M: 0433 878 588
E: info@mb-designs.com.au
W: www.mawdsleybuildingdesigns.com.au
ABN: 95 291 868 270
© 2024 COPYRIGHT ALL RIGHTS RESERVED



BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE
BOUNDARIES ARE SHOWN INDICATIVE
ONLY ON THESE PLANS

TOWN PLANNING
DRAWINGS ONLY - NOT
FOR CONSTRUCTION USE

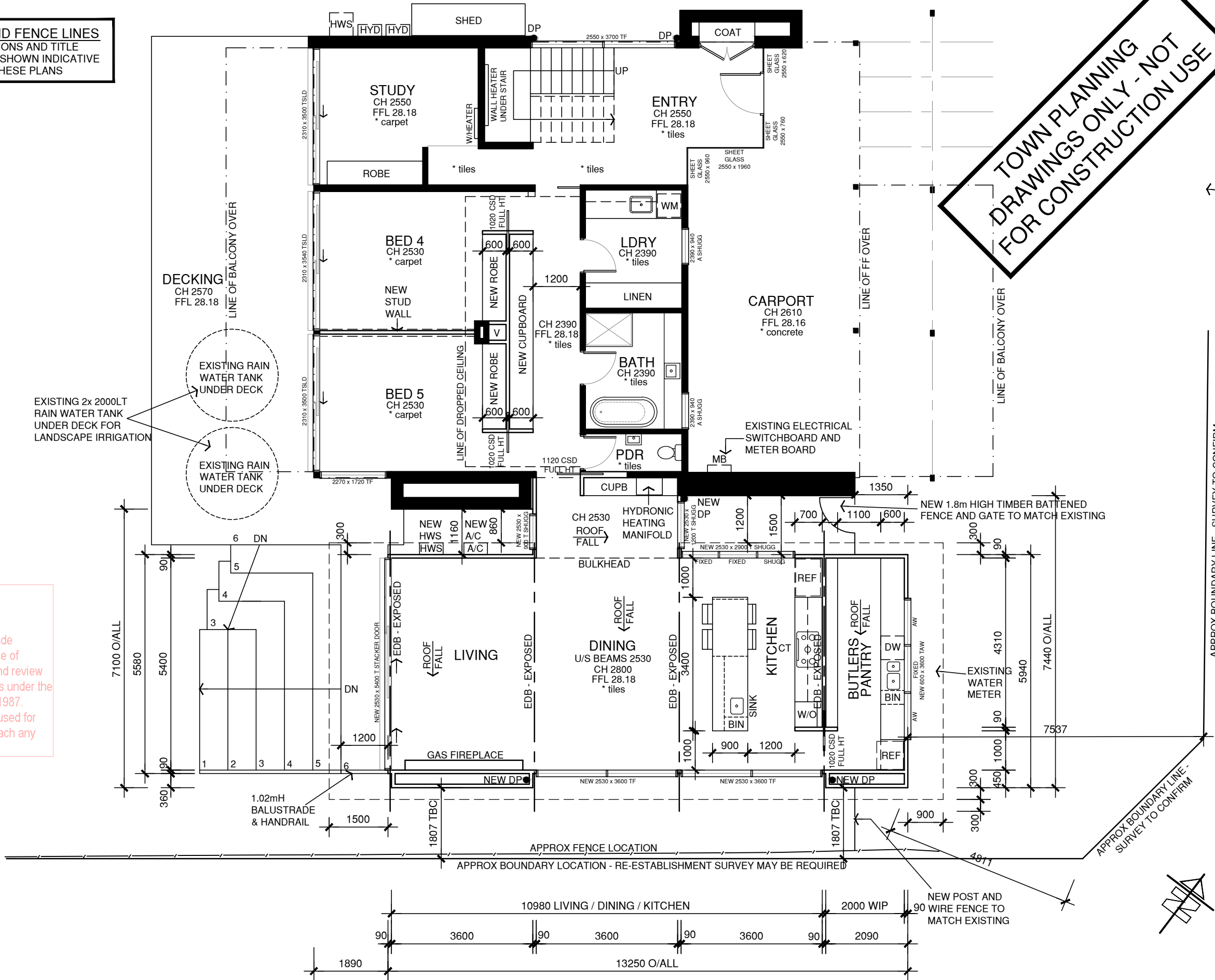
- DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.
- BUILDER / CONTRACTOR IS TO CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS OR OF ORDERING MATERIALS.
- THE OWNER SHALL ENSURE THAT ALL WORKS ARE SUPERVISED AND CARRIED OUT BY AN APPROPRIATE QUALIFIED PROFESSIONAL TO ENSURE THAT ALL WORKS ARE CARRIED OUT AS DOCUMENTED.
- ALL ITEMS REQUIRED FOR COMPLETION OF THE BUILDING, WHILST NOT NECESSARY OR INCIDENTAL FOR THE COMPLETION OF THE BUILDING SHALL BE INCORPORATED AND SHALL CONFORM TO GOOD BUILDING TRADE PRACTICES. MANUFACTURERS WRITTEN RECOMMENDATIONS WHERE APPLICABLE.
- MATERIALS AND EQUIPMENT USED IN THE BUILDING WORKS SHALL BE OF AUSTRALIAN MANUFACTURE UNLESS OTHERWISE SPECIFIED
- ALL WORKS SHALL COMPLY WITH RELEVANT LOCAL HEALTH AND COUNCIL REQUIREMENTS. LOCAL BUILDING REGULATIONS AND RELEVANT A.S. CODES
- ALL WINDOWS AND DOORS TO BE CONFIRMED PRIOR TO ORDERING.
- DRAWINGS TO BE READ IN CONJUNCTION ENGINEERS PLANS AND DESIGN
- ALL MASONARY OPENINGS GREATER THAN 1.0m TO HAVE WEEP HOLES PROVIDED AT 1.2m CENTRED WITH HEAD/SILL FLASHING PROVIDED IN ACCORDANCE WITH AS 2904
- SUB FLOOR VENTILATION TO BE PROVIDED AT A MINIMUM RATE OF 6000mm² PER METER RUN OF EXTERNAL WALL AS PER BCA.
- ALL EXHAUST FANS TO BE DUCTED EXTERNALLY VIA DUCTING IN ACCORDANCE WITH AS 1668.2
- BALUSTRADE TO HAVE OPENINGS RESTRICTED TO MAXIMUM 125mm OR WIRE BALUSTRADE TO BCA TABLE 3.9.2.1
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF THE DESIGNER, FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF MAWDSLEY BUILDING DESIGNS EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO MAWDSLEY BUILDING DESIGNS.



FULL NCC/BCA
2022 COMPLIANCE

ADVERTISED PLAN
Application No. P870/2024

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



drawing:	client:	drawn:	date:	scale:	job no.:
PROPOSED GROUND FL PL	STEVEN & LINA CORTESE	JM	05/09/24	1:100	21336
address:		sht size:	issue:	date:	sheet:
1 CROWN ROAD, IVANHOE VIC 3079		A3	C	29/10/24	6 of 10

Contact Details:

A: PO Box 470, Berwick 3806

P: 9707 5968 | M: 0433 878 588

E: info@mb-designs.com.au

W: www.mawdsleybuildingdesigns.com.au

ABN: 95 291 868 270

© 2024 COPYRIGHT ALL RIGHTS RESERVED

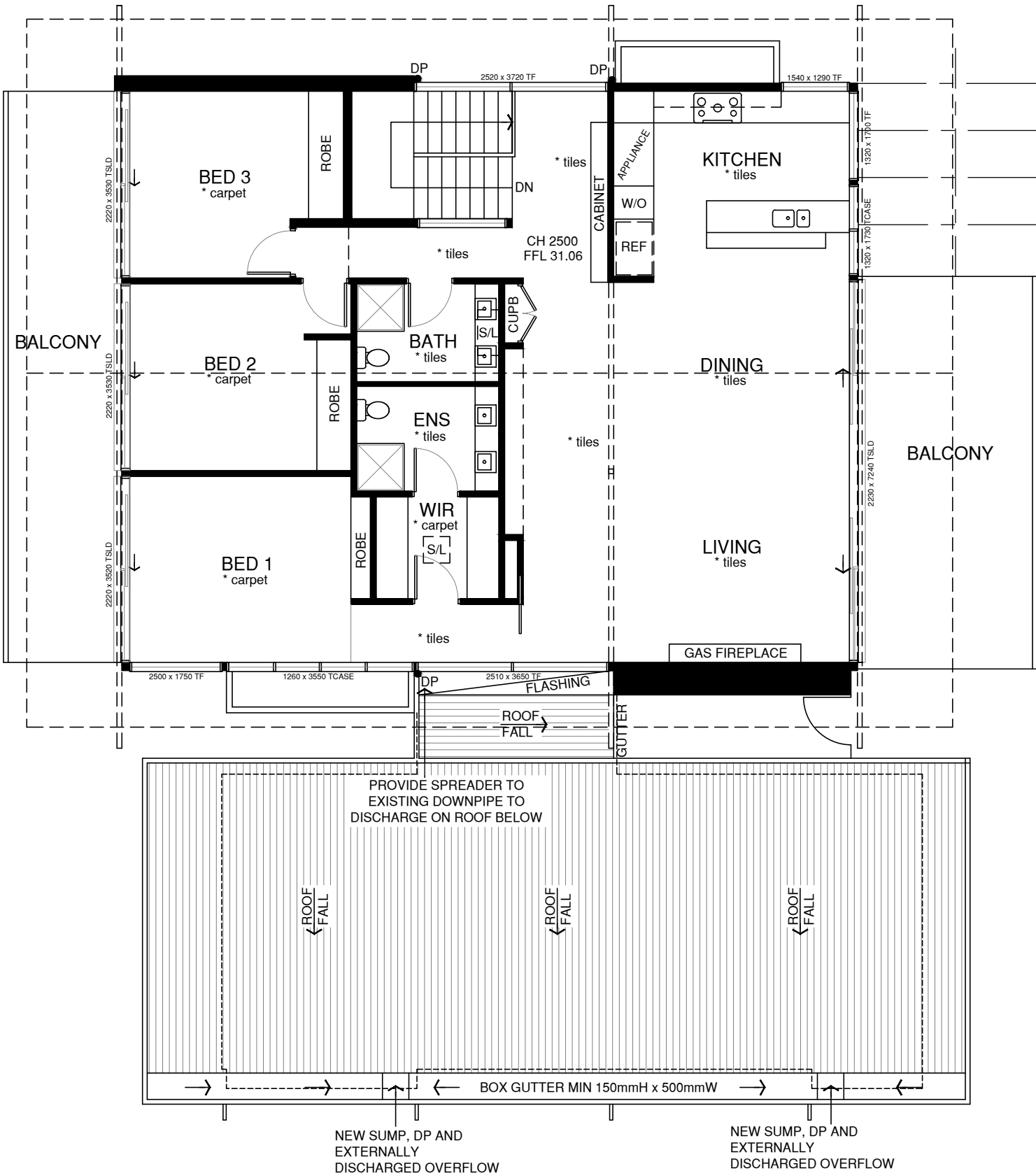
MEMBER

bday

Building Designers Association Victoria

REGISTERED Building Practitioner

BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE
BOUNDARIES ARE SHOWN INDICATIVE
ONLY ON THESE PLANS



ADVERTISED PLAN
Application No. P870/2024

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

- DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.
- BUILDER / CONTRACTOR IS TO CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS OR OF ORDERING MATERIALS.
- THE OWNER SHALL ENSURE THAT ALL WORKS ARE SUPERVISED AND CARRIED OUT BY AN APPROPRIATE QUALIFIED PROFESSIONAL TO ENSURE THAT ALL WORKS ARE CARRIED OUT AS DOCUMENTED.
- ALL ITEMS REQUIRED FOR COMPLETION OF THE BUILDING, WHILST NOT NECESSARY OR INCIDENTAL FOR THE COMPLETION OF THE BUILDING SHALL BE INCORPORATED AND SHALL CONFORM TO GOOD BUILDING TRADE PRACTICES. MANUFACTURERS WRITTEN RECOMMENDATIONS WHERE APPLICABLE.
- MATERIALS AND EQUIPMENT USED IN THE BUILDING WORKS SHALL BE OF AUSTRALIAN MANUFACTURE UNLESS OTHERWISE SPECIFIED
- ALL WORKS SHALL COMPLY WITH RELEVANT LOCAL HEALTH AND COUNCIL REQUIREMENTS. LOCAL BUILDING REGULATIONS AND RELEVANT A.S. CODES
- ALL WINDOWS AND DOORS TO BE CONFIRMED PRIOR TO ORDERING.
- DRAWINGS TO BE READ IN CONJUNCTION ENGINEERS PLANS AND DESIGN
- ALL MASONARY OPENINGS GREATER THAN 1.0m TO HAVE WEEP HOLES PROVIDED AT 1.2m CENTRED WITH HEAD/SILL FLASHING PROVIDED IN ACCORDANCE WITH AS 2904
- SUB FLOOR VENTILATION TO BE PROVIDED AT A MINIMUM RATE OF 6000mm² PER METER RUN OF EXTERNAL WALL AS PER BCA.
- ALL EXHAUST FANS TO BE DUCTED EXTERNALLY VIA DUCTING IN ACCORDANCE WITH AS 1668.2
- BALUSTRADE TO HAVE OPENINGS RESTRICTED TO MAXIMUM 125mm OR WIRE BALUSTRADE TO BCA TABLE 3.9.2.1
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF THE DESIGNER, FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF MAWDSLEY BUILDING DESIGNS EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO MAWDSLEY BUILDING DESIGNS.



TOWN PLANNING
DRAWINGS ONLY - NOT
FOR CONSTRUCTION USE



FULL NCC/BCA 2022 COMPLIANCE

Contact Details:
A: PO Box 470, Berwick 3806
P: 9707 5968 | M: 0433 878 588
E: info@mb-designs.com.au
W: www.mawdsleybuildingdesigns.com.au
ABN: 95 291 868 270
© 2024 COPYRIGHT ALL RIGHTS RESERVED

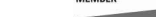


MEMBER



bdav[®]

**Building Designers
Association Victoria**

 **REGISTERED**
Building Practitioner

drawing: PROPOSED FIRST FL PLAN		client: STEVEN & LINA CORTESE		drawn: JM date: 05/09/24 scale: 1:100 job no.: 21336		<div><div>MEMBER</div><div><div>bdav[®]</div></div><div><div>Contact Details:</div><div>A: PO Box 470, Berwick 3806</div><div>P: 9707 5968 M: 0433 878 588</div><div>E: info@mb-designs.com.au</div><div>W: www.mawdsleybuildingdesigns.com.au</div><div>ABN: 95 291 868 270</div><div>© 2024 COPYRIGHT ALL RIGHTS RESERVED</div></div><div><div><div>MAWDSLEY BUILDINGDESIGNS</div></div><div><div>Building Designers Association Victoria</div><div> REGISTERED Building Practitioner</div></div></div></div>
address: 1 CROWN ROAD, IVANHOE VIC 3079				sht size: A3 issue: C date: 29/10/24 sheet: 7 of 10		


REGISTERED

GLAZING BANDS ARE REQUIRED TO FULL HEIGHT DOORS AND WINDOWS WHICH CAN BE MISTAKEN FOR AN OPENING.

MARKING MUST BE IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT LOCATED SO THAT:

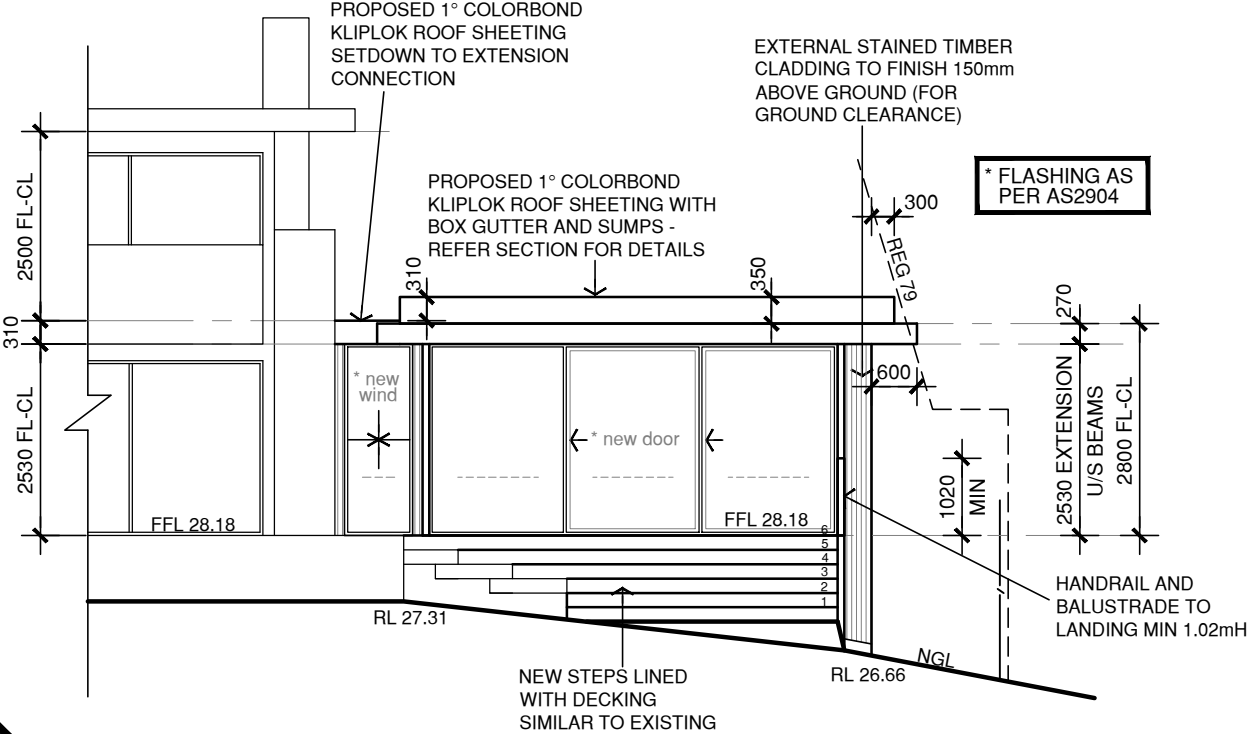
a. THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR; AND

b. THE LOWER EDGE IS NOT MORE THAN 1.2m ABOVE THE FLOOR.

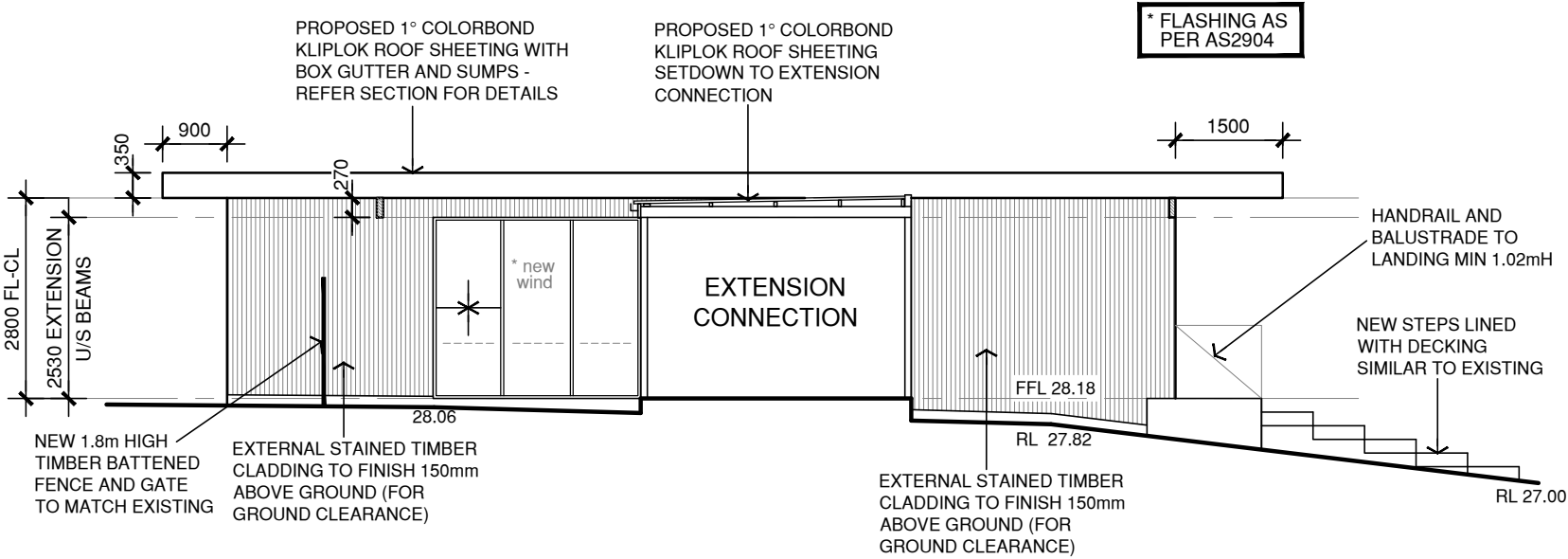
A BAND IS REQUIRED WHERE:

- THE HEIGHT OF THE GLAZING IS NOT MORE THAN 1m;
- THE WIDTH OF THE GLAZING IS NOT MORE THAN 500mm;
- THERE IS NO GLAZING WITHIN 700mm OF THE FLOOR.

TOWN PLANNING
DRAWINGS ONLY - NOT
FOR CONSTRUCTION USE



SOUTH WEST ELEVATION



NORTH WEST ELEVATION (PART SECTION)

ENGINEER TO DESIGN ALL BEAMS, STRUCTURAL SUPPORTS, ARTICULATION JOINTS IN ALL MASONRY WALLS, PROVIDE ALL SLAB DESIGNS WITH STEP UPS AND SUB FLOOR STRUCTURAL DESIGNS ALONG WITH ANY RETAINING WALLS ETC. MAWDSLEY BUILDING DESIGNS TAKES NO RESPONSIBILITY FOR THE ACCURACY, RELIABILITY OR CORRECTNESS OF ANY CONTRACTORS DESIGNS, DETAILS OR WORKS ETC.

NOTE: PROVIDE VAPOUR PERMEABLE MEMBRANE TO ALL PROPOSED EXTERNAL WALLS IN ACCORDANCE WITH AS 4200 PART 1 & 2 & CLIMATE ZONES 6, 7 & 8.

ALL EXHAUST FANS TO BE DUCTED EXTERNALLY VIA DUCTING IN ACCORDANCE WITH AS 1668.2. NOTE: KITCHEN RANGEHOOD EXHAUST: MIN 40L/S BATH/ENS/WC EXHAUST MIN: 25L/S AS PER NCC 3.8.7.3

WINDOW OPENINGS
OPENABLE WINDOWS WITH SILL HEIGHTS LESS THAN 1.7m ABOVE FIRST FLOOR LEVEL AND/OR 2.0m ABOVE GROUND LINES TO BE RESTRICTED TO ONLY 124mm TO COMPLY WITH BCA 3.9.2.5

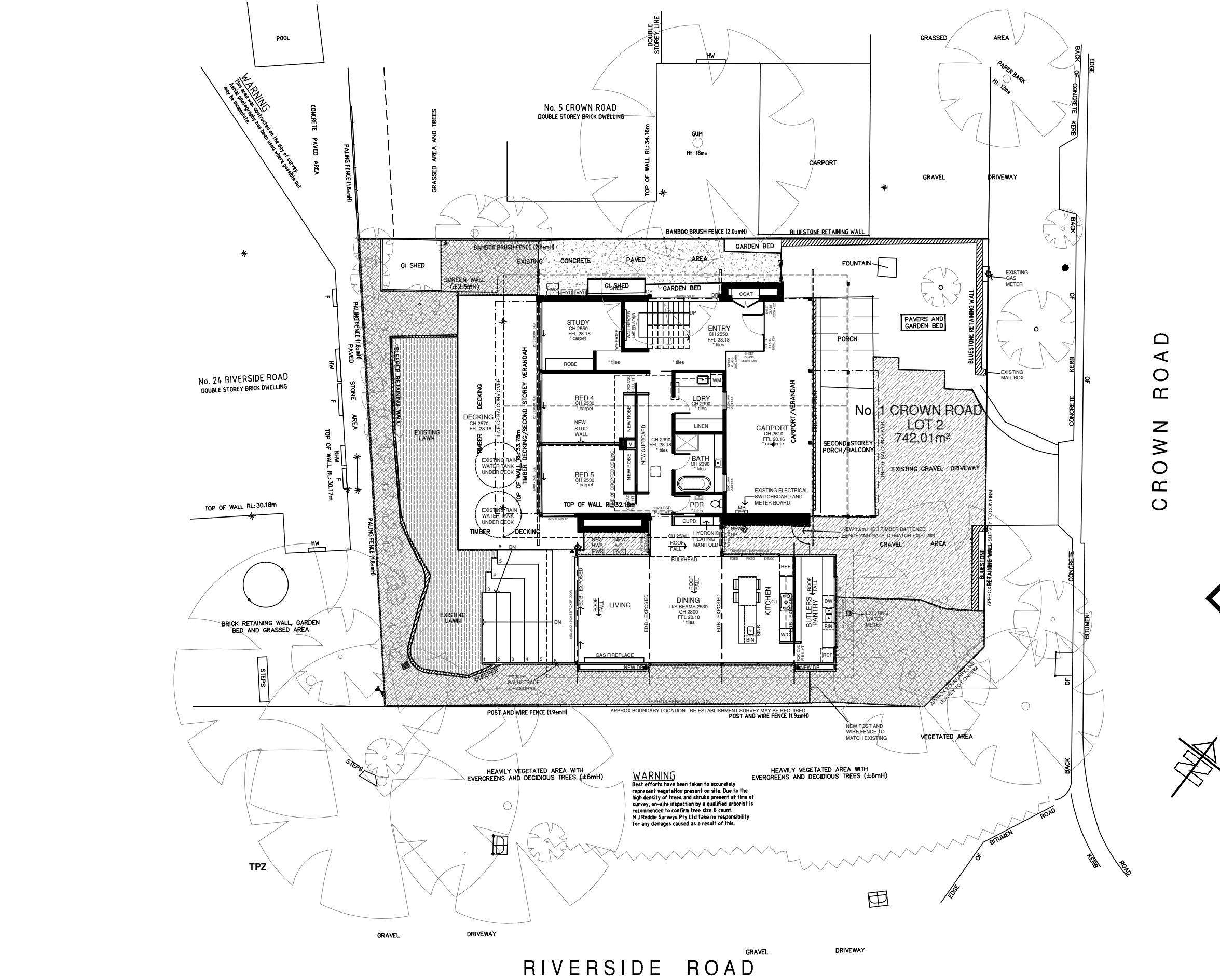


FULL NCC/BCA
2022 COMPLIANCE

BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE BOUNDARIES ARE SHOWN INDICATIVE ONLY ON THESE PLANS

ADVERTISED PLAN
Application No. P870/2024

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



LANDSCAPE LEGEND

- WHITE PEBBLES TO MATCH EXISTING DRIVEWAY
- GARDEN MULCH TO MATCH EXISTING
- LAWN AREAS
- CONCRETE PAVED AREA

TOWN PLANNING
DRAWINGS ONLY - NOT
FOR CONSTRUCTION USE

ADVERTISED PLAN
Application No. P870/2024


This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning Environment Act 1987. The document must not be used for any purpose which may breach any copyright.




FULL NCC/BCA
2022 COMPLIANCE

drawing:	PROPOSED PLANTING CONCEPT PLAN	client:	STEVEN & LINA CORTESE	drawn: JM date: 05/09/24 scale: 1:200 job no.: 21336			
address:	1 CROWN ROAD, IVANHOE VIC 3079	sht size: A3 issue: C date: 29/10/24 sheet: 10 of 10					

MEMBER



Building Designers
Association Victoria



MAWDSLEY

BUILDINGDESIGNS

Contact Details:

A: PO Box 470, Berwick 3806

P: 9707 5968 | M: 0433 878 588

E: info@mb-designs.com.au

W: www.mawdsleybuildingdesigns.com.au

ABN: 95 291 868 270

© 2024 COPYRIGHT ALL RIGHTS RESERVED

Materials and Colour Schedule

As requested 3rd October 2024

Banyule Planning Scheme Application No: 9870/2024

Property: 1 Crown Road, Ivanhoe

Proposal: Development of extension to an existing dwelling within the Design and Development Overlay (DD02 - A)

The proposed materials are non-reflective colours and finishes that will blend in with the natural landscape. The existing 1960's house has a colour scheme of black, white and cream brick (refer to photo below of existing residence). It is proposed to use black predominantly for the new addition so that it is in keeping with the existing residence and it is recessive in nature.



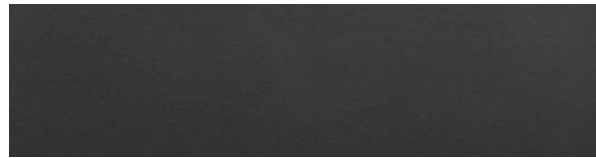
Material	Sample
External Cladding: Shiplap timber lining with a black stained finish	

ADVERTISED PLAN
Application No. P870/2024

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Windows and Sliding Doors:

Matt black powder coated aluminum windows and sliding doors

**Fascias & Projecting Timber Beams:**

Timber fascias & projected timber beams painted black to match existing

**Soffits:**

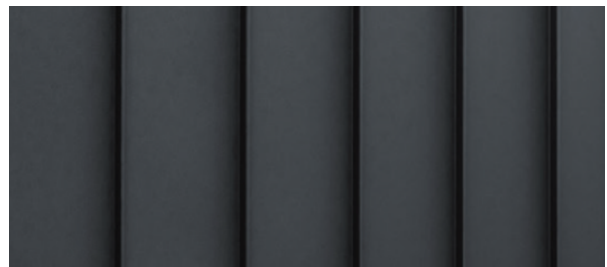
6mm cement sheet lining painted white to match existing

**Timber steps:**

Timber steps with a black stained finish to match existing

**Roofing, Flashings and Downpipes:**

Kliplock zincalume roofing, flashings & downpipes with a "Monument" colourbond finish.



ADVERTISED PLAN
Application No. P870/2024

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning Environment Act 1987. The document must not be used for any purpose which may breach any copyright.