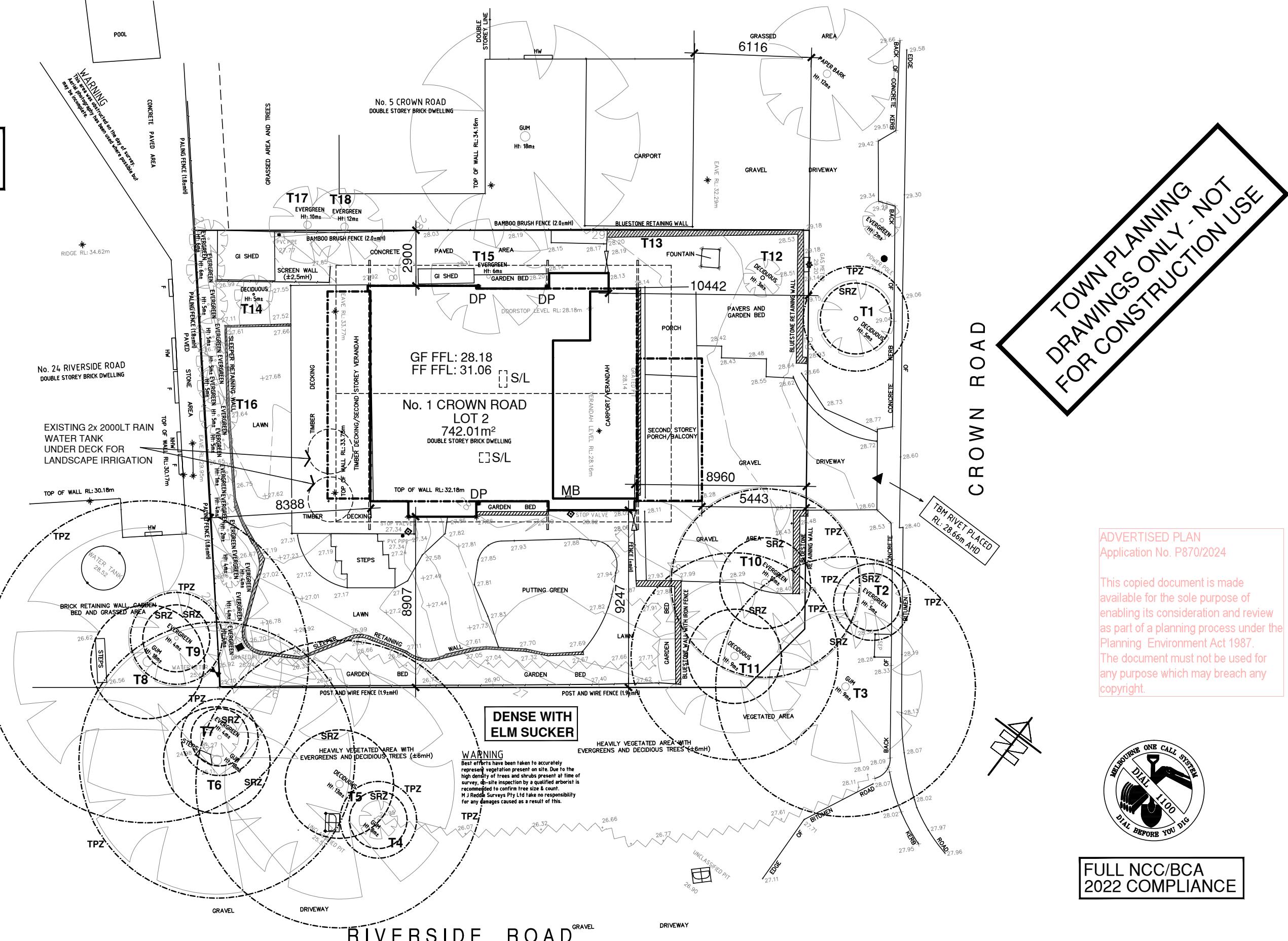


BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE
BOUNDARIES ARE SHOWN INDICATIVE
ONLY ON THESE PLANS



drawing:
**NEIGHBOURHOOD &
SITE DESCRIPTION PL**

client:

STEVEN & LINA CORTESE

address:
1 CROWN ROAD, IVANHOE VIC 3079

drawn: JM date: 05/09/24 scale: 1:200 job no.: 21336

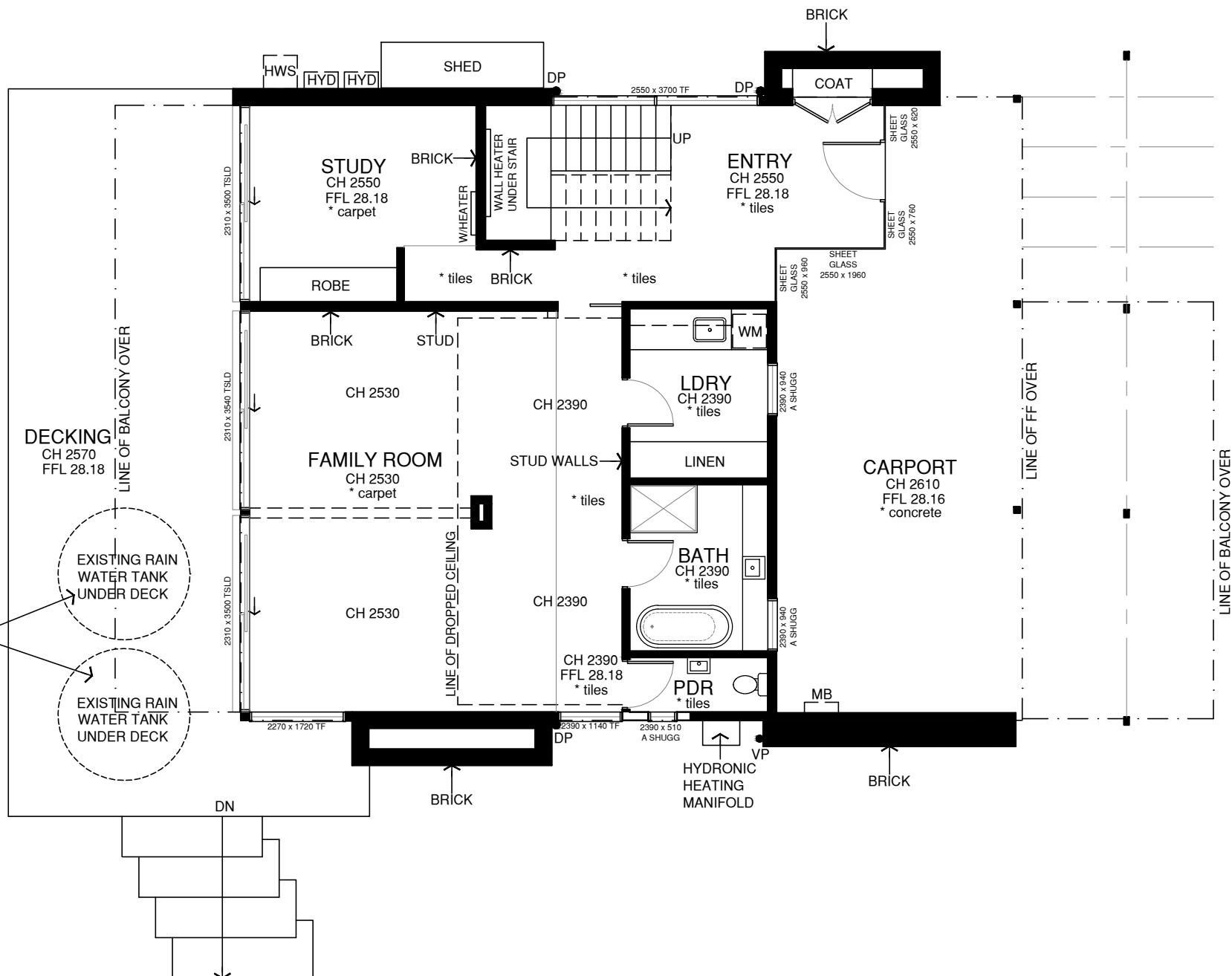
sht size: A3 issue: C date: 29/10/24 sheet: 1 of 10

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BUILDING DESIGNS

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ABN: 95 291 868 270
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BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE
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DEMOLITION SCHEDULE	
REMOVAL/DEMOLITION	=====
EXISTING WALLS TO REMAIN	=====

ADVERTISED PLAN
Application No. P870/2024

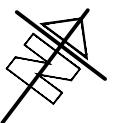
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**FULL NCC/BCA
2022 COMPLIANCE**

APPROX FENCE LOCATION

APPROX BOUNDARY LOCATION - RE-ESTABLISHMENT SURVEY MAY BE REQUIRED



drawing:

EXISTING GROUND FL PL

client:

STEVEN & LINA CORTESE

drawn: JM date: 05/09/24 scale: 1:100 job no.: 21336

address:

1 CROWN ROAD, IVANHOE VIC 3079

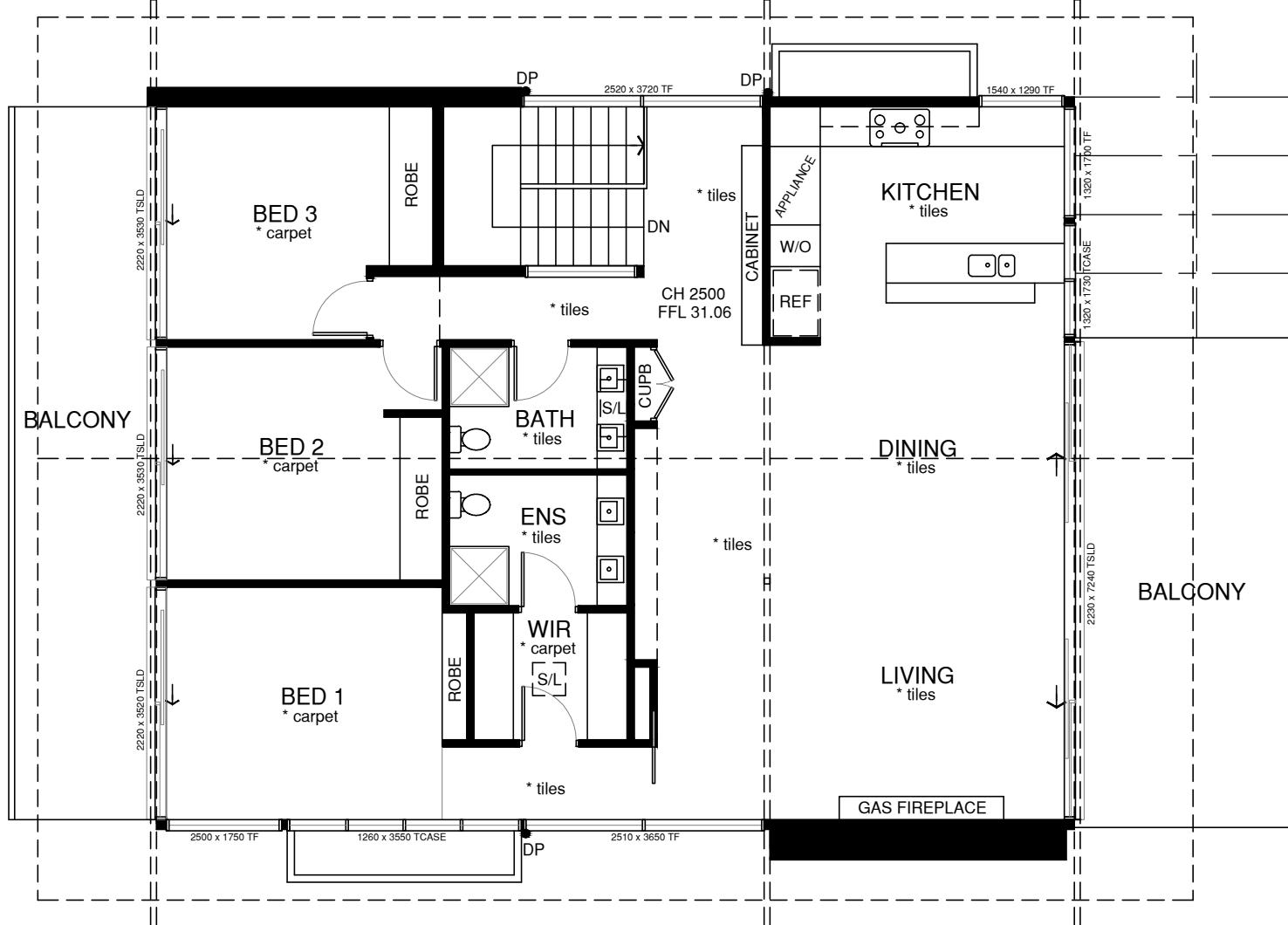
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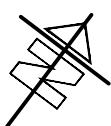
BOUNDARY AND FENCE LINES
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2022 COMPLIANCE**

drawing:	client:	drawn: JM date: 05/09/24 scale: 1:100 job no.: 21336
EXISTING FIRST FLOOR PL	STEVEN & LINA CORTESE	
address:	1 CROWN ROAD, IVANHOE VIC 3079	sht size: A3 issue: C date: 29/10/24 sheet: 3 of 10

**MAWDSEY
BUILDING DESIGNS**

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ENGINEER TO DESIGN ALL BEAMS, STRUCTURAL SUPPORTS, ARTICULATION JOINTS IN ALL MASONRY WALLS, PROVIDE ALL SLAB DESIGNS WITH STEP UPS AND SUB FLOOR STRUCTURAL DESIGNS ALONG WITH ANY RETAINING WALLS ETC. MAWDSLEY BUILDING DESIGNS TAKES NO RESPONSIBILITY FOR THE ACCURACY, RELIABILITY OR CORRECTNESS OF ANY CONTRACTORS DESIGNS, DETAILS OR WORKS ETC.

LEGAL POINT OF DISCHARGE

LPOD TO BE CONFIRMED ONSITE PRIOR TO WORKS COMMENCING. PLUMBER AND BUILDER TO CONFIRM EXISTING RUNS AND CONNECT NEW DOWNPipes INTO STORM WATER LEGAL POINT OF DISCHARGE ONCE ESTABLISHED TO AUSTRALIAN STANDARDS

SERVICES:

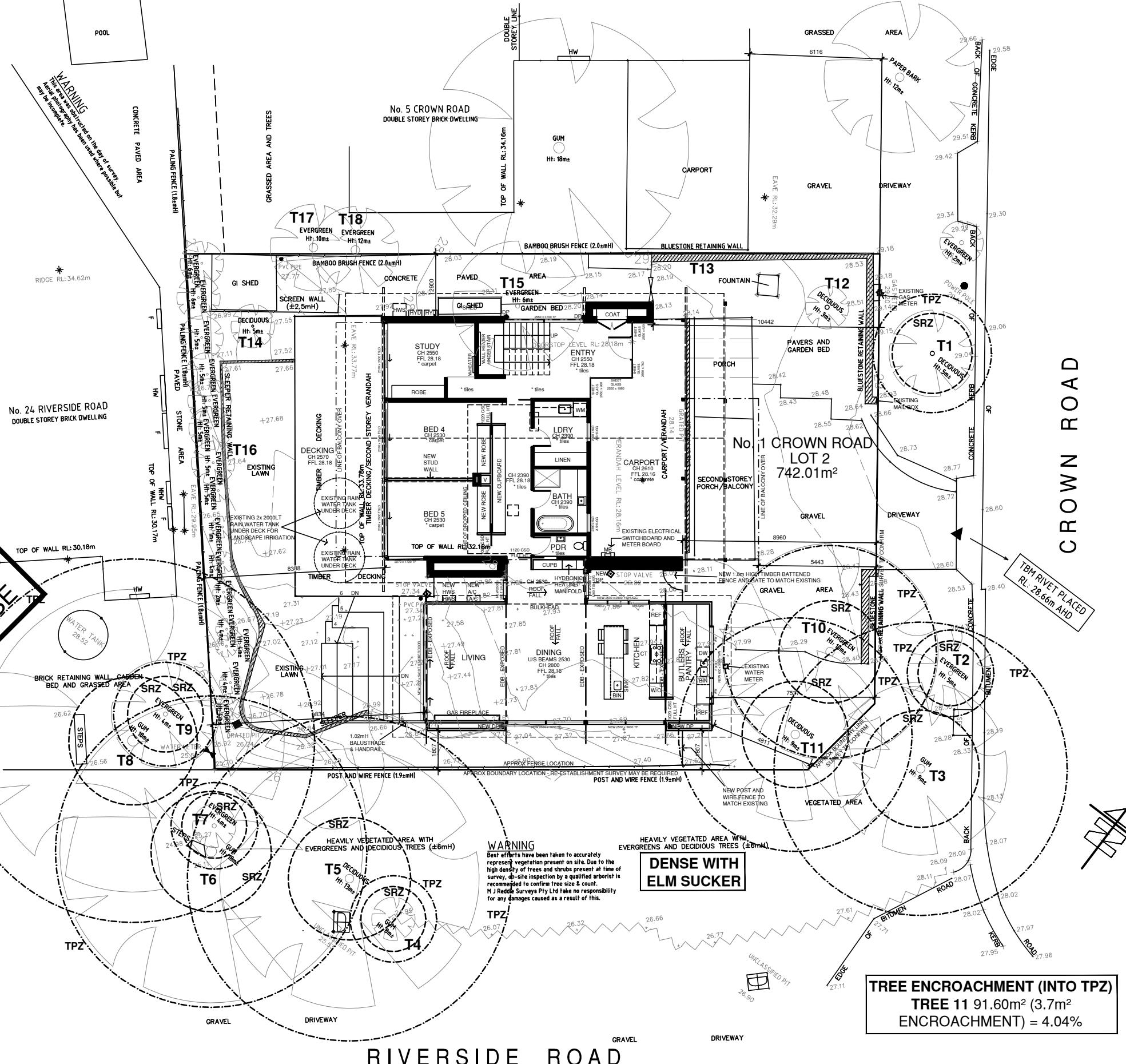
ALL CARE SHALL BE TAKEN WHERE EXCAVATING AND OR DIGGING NEAR OR AROUND SERVICES ON THE SITE. ALL SERVICES AND LOCATIONS TO BE CONFIRMED PRIOR TO COMMENCEMENT OF WORKS.

ADVERTISED PLAN
Application No. P870/2024

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BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE BOUNDARIES ARE SHOWN INDICATIVE ONLY ON THESE PLANS



SITE NOTES:

- PROVIDE SLIGHT GROUND SCRAPE AS REQUIRED TO OTHER AREAS TO ACHIEVE A MINIMUM OF 150mm CLEARANCE TO PERIMETER OF SLAB AND MIN 400mm CLEARANCE TO UNDERSIDE OF BEARERS AND TO CREATE A FLAT BUILDING AREA. PROVIDE RETAINING WALLS AS REQUIRED TO SUIT ANY CUT & FILL. ALL EXCAVATIONS ARE TO EXTEND MINIMUM 1000mm PAST PERIMETER OF NEW WORK AND ARE TO BE GRADED AWAY FROM NEW WALL AS NECESSARY.
- ALL NEW DOWNPipes TO BE CONNECTED TO STORM WATER SYSTEM AND DISCHARGED TO LEGAL POINT TO ENGINEERS CIVIL DESIGN, LOCATION TO BE CONFIRMED BY PLUMBER & BUILDER ONSITE AND MAY CHANGE TO SUIT EXISTING CONDITIONS.
- ALL PLANS TO BE READ IN CONJUNCTION WITH SOIL REPORT AND ENGINEERING DOCUMENTS. FOOTINGS/SLAB FOUNDED TO SUIT SOIL REPORT AND ENGINEERS REQUIREMENTS.
- PROVIDE TERMITE TREATMENT TO NEW TIMBER SUB FLOOR & SLAB AREAS ONLY IN ACCORDANCE WITH A.S. 3660.1 2000
- ALL LEVELS INCLUDING FLOOR LEVELS & SITE LEVELS TO BE CONFIRMED ONSITE BY BUILDER.

SOIL TEST INFORMATION

SOIL CLASS (?)
SOIL TEST No. TBC
SOIL ENG - TBC

BAL - N/A

SITE SUMMARY

DWELLING	
EXISTING GROUND FL	120.04m ²
EXISTING FIRST FL	157.26m ²
EXISTING CARPORT	42.31m ²
EXISTING BALCONYS x2	49.41m ²
EXISTING SHED	7.69m ²
PROPOSED EXTENSION	83.36m ²
TOTAL	460.07 m ²
BUILDING AREA COVERED BY ROOF	= 264.05m ²
SITE AREA	742.01m ² (APRX)
SITE COVERAGE	40.80%
SITE PERMEABILITY	59.20%
HARD COVER	40.80%
GARDEN AREA	59.20%



FULL NCC/BCA
2022 COMPLIANCE

drawing:
PROPOSED SITE ANALYSIS PLAN - GF

client:
STEVEN & LINA CORTESE

address:
1 CROWN ROAD, IVANHOE VIC 3079

drawn: JM date: 05/09/24 scale: 1:200 job no.: 21336

sht size: A3 issue: C date: 29/10/24 sheet: 4 of 10

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SERVICES

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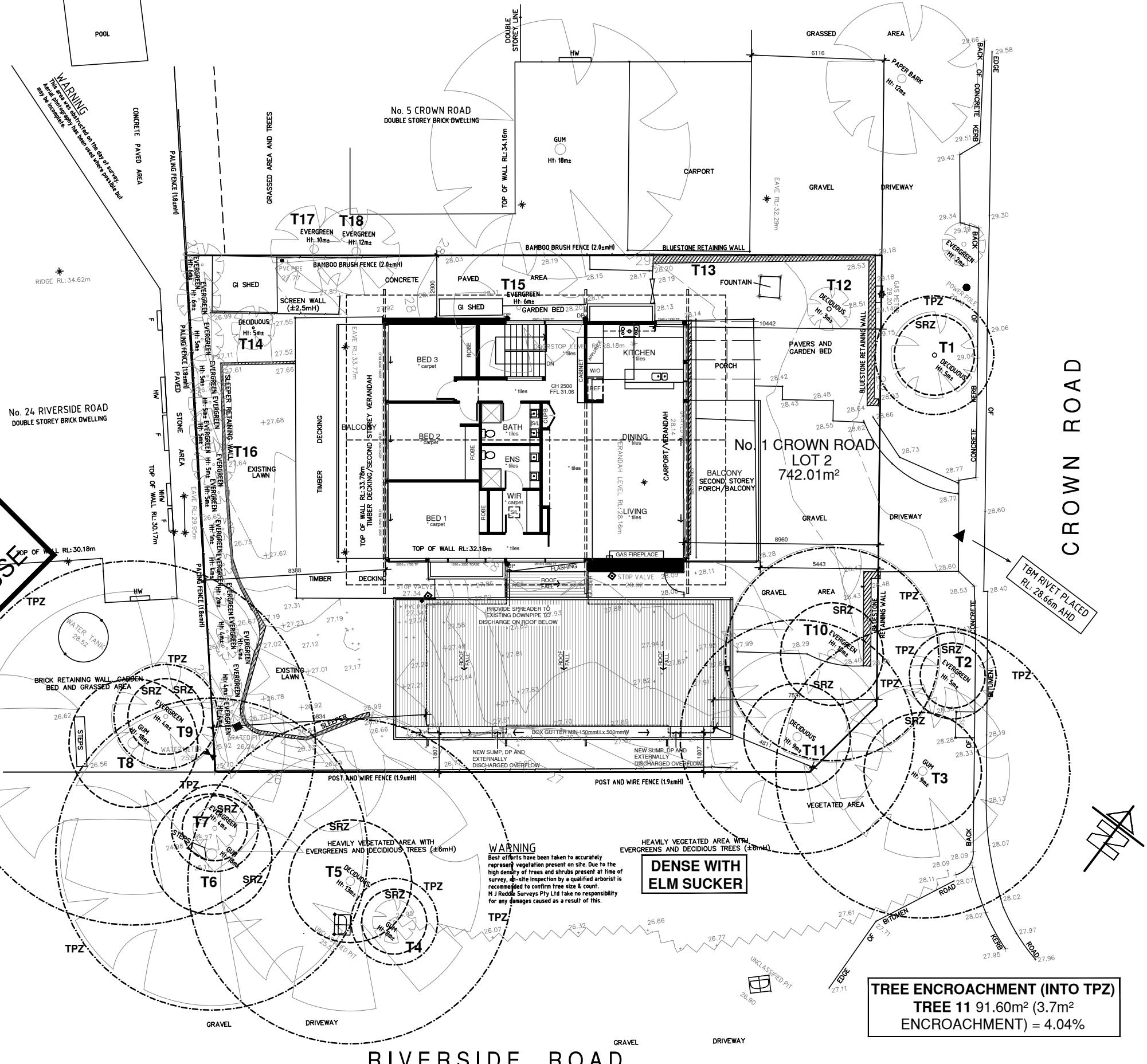
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A large, bold, black diagonal text overlay reading "TOWN PLANNING DRAWINGS ONLY - NOT FOR CONSTRUCTION USE". The text is oriented from the bottom-left towards the top-right of the frame. The background features a faint, dashed-line sketch of a building's footprint.

BOUNDARY AND FENCE LINES

**FENCE LOCATIONS AND TITLE
BOUNDARIES ARE SHOWN INDICATIVE
ONLY ON THESE PLANS**



SITE NOTES:

- PROVIDE SLIGHT GROUND SCRAPE AS REQUIRED TO OTHER AREAS TO ACHIEVE A MINIMUM OF 150mm CLEARANCE TO PERIMETER OF SLAB AND MIN 400mm CLEARANCE TO UNDERSIDE OF BEARERS AND TO CREATE A FLAT BUILDING AREA. PROVIDE RETAINING WALLS AS REQUIRED TO SUIT ANY CUT & FILL. ALL EXCAVATIONS ARE TO EXTEND MINIMUM 1000mm PAST PERIMETER OF NEW WORK AND ARE TO BE GRADED AWAY FROM NEW WALL AS NECESSARY.
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SOIL TEST No. TBC
SOIL ENG - TBC

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EXISTING SHED	7.69m ²
PROPOSED EXTENSION	83.36m ²
TOTAL	460.07 m²
BUILDING AREA COVERED BY ROOF	
= 264.05m ²	
SITE AREA	
SITE AREA	742.01m ² (APRX)
SITE COVERAGE	40.80%
SITE PERMEABILITY	59.20%
HARD COVER	40.80%
GARDEN AREA	59.20%



FULL NCC/BCA
2022 COMPLIANCE

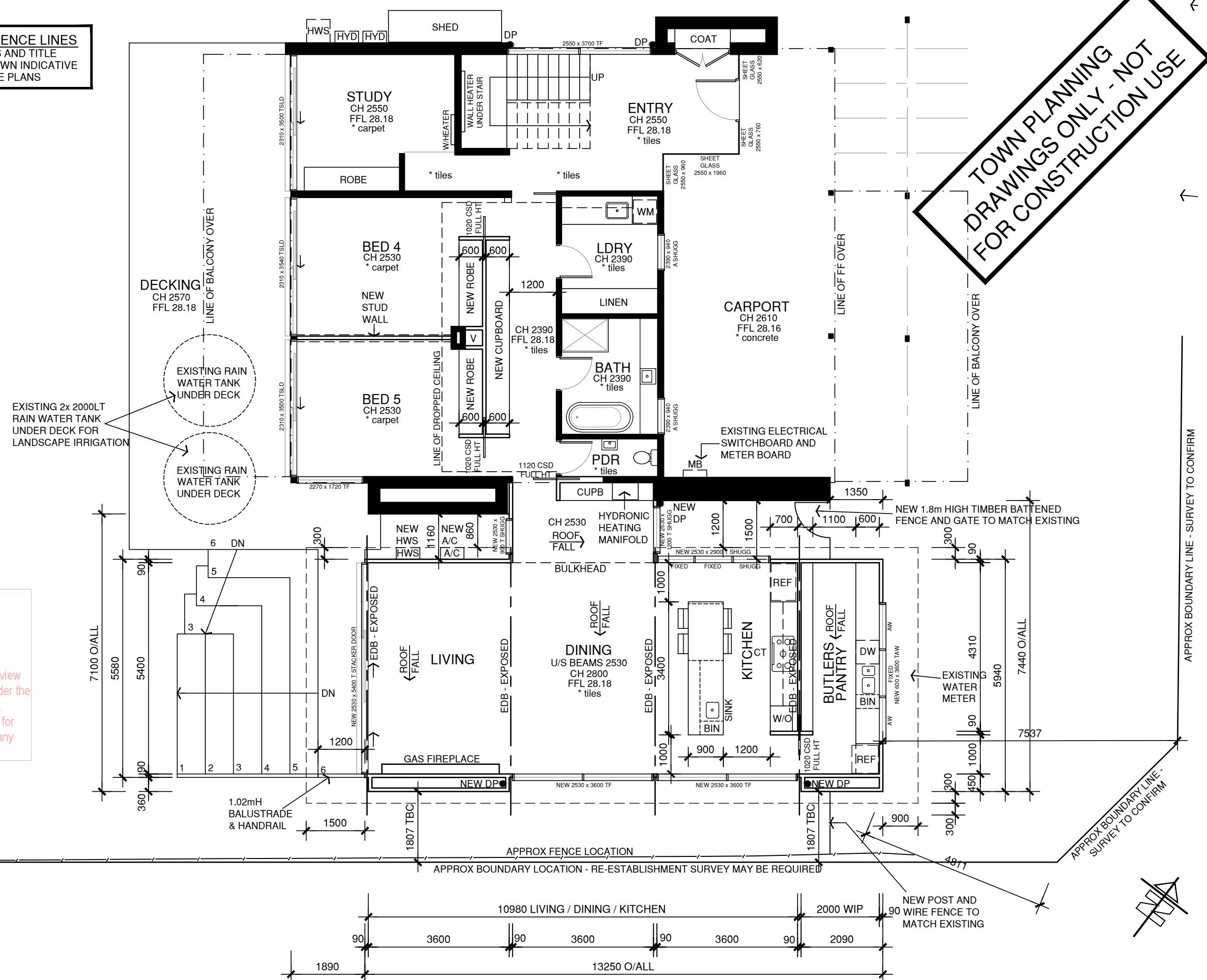
drawing: PROPOSED SITE ANALYSIS PLAN - FF	client: STEVEN & LINA CORTESE	drawn: JM date: 05/09/24 scale: 1:200 job no.: 21336
address: 1 CROWN ROAD, IVANHOE VIC 3079		sht size: A3 issue: C date: 29/10/24 sheet: 5 of 10

MAWDSLEY
BUILDING DESIGNS

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BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE
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ONLY ON THESE PLANS



- DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.
- BUILDER / CONTRACTOR IS TO CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS OR OF ORDERING MATERIALS.
- THE OWNER SHALL ENSURE THAT ALL WORKS ARE SUPERVISED AND CARRIED OUT BY AN APPROPRIATE QUALIFIED PROFESSIONAL TO ENSURE THAT ALL WORKS ARE CARRIED OUT AS DOCUMENTED.
- ALL ITEMS REQUIRED FOR COMPLETION OF THE BUILDING, WHILST NOT NECESSARY OR INCIDENTAL FOR THE COMPLETION OF THE BUILDING SHALL BE INCORPORATED AND SHALL CONFORM TO GOOD BUILDING TRADE PRACTICES. MANUFACTURERS WRITTEN RECOMMENDATIONS WHERE APPLICABLE.
- MATERIALS AND EQUIPMENT USED IN THE BUILDING WORKS SHALL BE OF AUSTRALIAN MANUFACTURE UNLESS OTHERWISE SPECIFIED
- ALL WORKS SHALL COMPLY WITH RELEVANT LOCAL HEALTH AND COUNCIL REQUIREMENTS. LOCAL BUILDING REGULATIONS AND RELEVANT A.S. CODES
- ALL WINDOWS AND DOORS TO BE CONFIRMED PRIOR TO ORDERING.
- DRAWINGS TO BE READ IN CONJUNCTION ENGINEERS PLANS AND DESIGN
- ALL MASONARY OPENINGS GREATER THAN 1.0m TO HAVE WEEP HOLES PROVIDED AT 1.2m CENTRED WITH HEAD/SILL FLASHING PROVIDED IN ACCORDANCE WITH AS 2904
- SUB FLOOR VENTILATION TO BE PROVIDED AT A MINIMUM RATE OF 6000mm² PER METER RUN OF EXTERNAL WALL AS PER BCA.
- ALL EXHAUST FANS TO BE DUCTED EXTERNALLY VIA DUCTING IN ACCORDANCE WITH AS 1668.2
- BALUSTRADE TO HAVE OPENINGS RESTRICTED TO MAXIMUM 125mm OR WIRE BALUSTRADE TO BCA TABLE 3.9.2.1
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF THE DESIGNER, FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER, ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF MAWDSEY BUILDING DESIGNS EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO MAWDSEY BUILDING DESIGNS.



**FULL NCC/BCA
2022 COMPLIANCE**

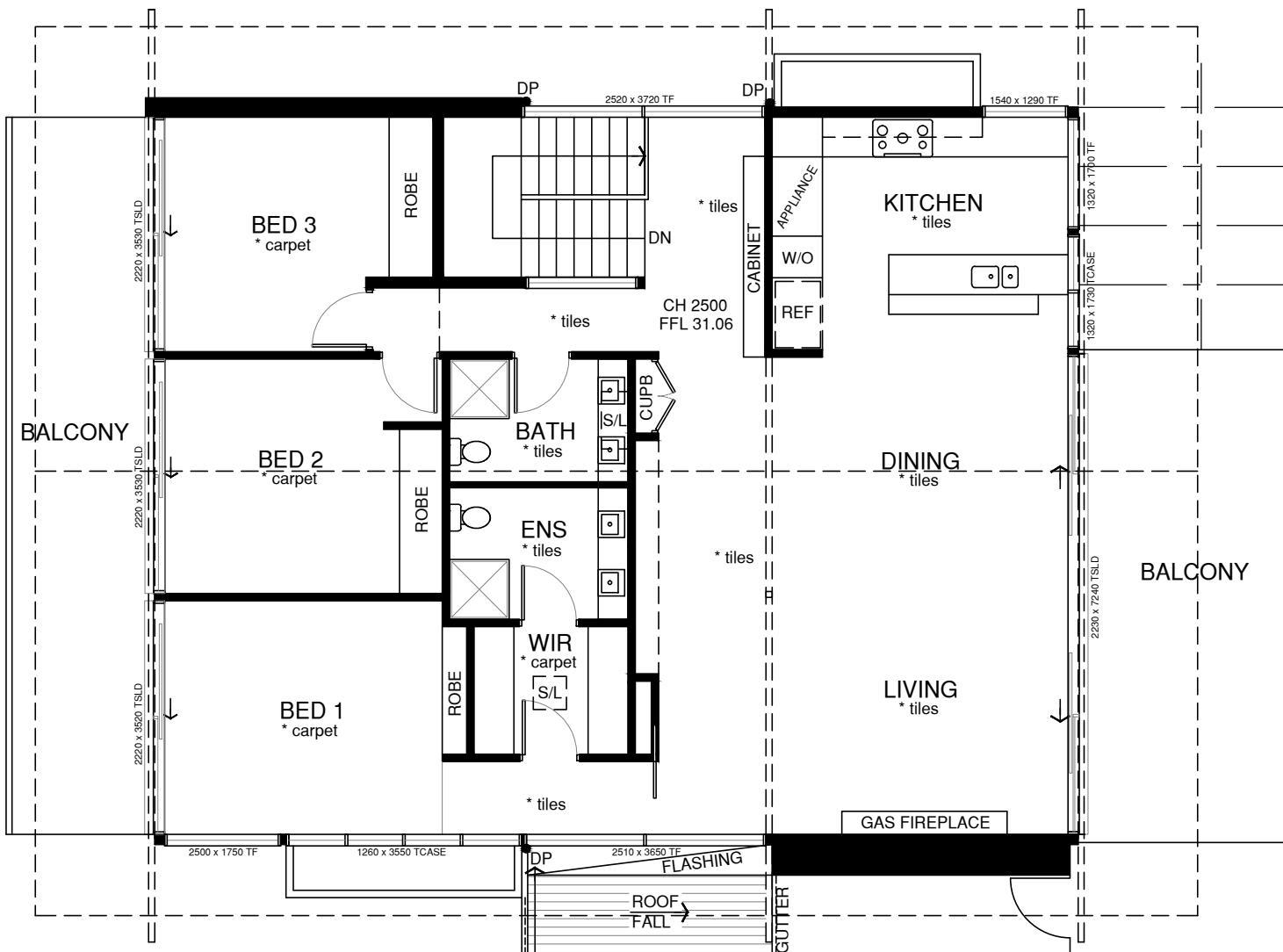
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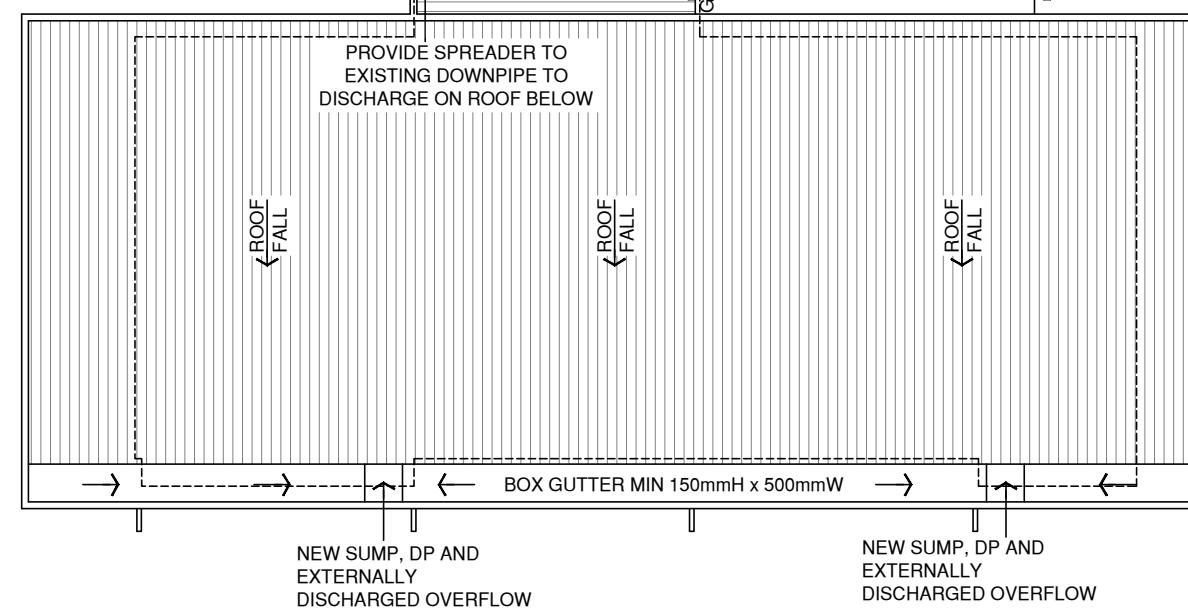
**MAWDSEY
BUILDING DESIGNS**



BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE
BOUNDARIES ARE SHOWN INDICATIVE
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ADVERTISED PLAN
Application No. P870/2024

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drawing:
PROPOSED FIRST FL PLAN

client:

STEVEN & LINA CORTESE

drawn: JM date: 05/09/24 scale: 1:100 job no.: 21336

address:
1 CROWN ROAD, IVANHOE VIC 3079

sht size: A3 issue: C date: 29/10/24 sheet: 7 of 10

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GLAZING BANDS ARE REQUIRED TO FULL HEIGHT DOORS AND WINDOWS WHICH CAN BE MISTAKEN FOR AN OPENING.

MARKING MUST BE IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT LOCATED SO THAT:

- THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR; AND
- THE LOWER EDGE IS NOT MORE THAN 1.2m ABOVE THE FLOOR.

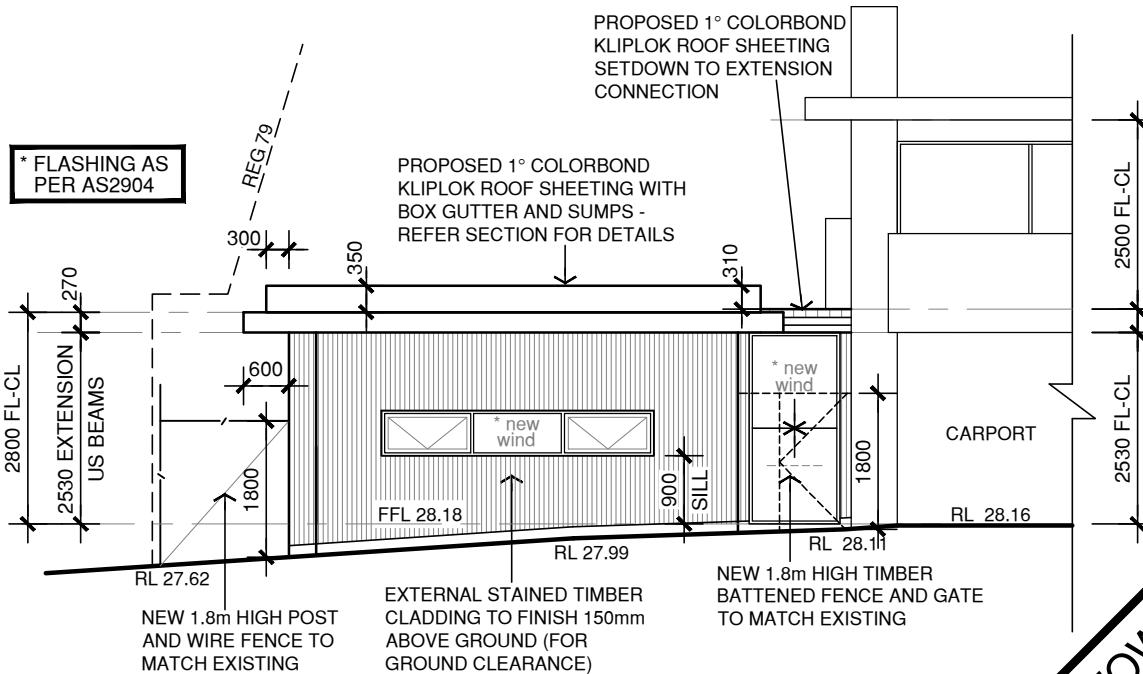
A BAND IS REQUIRED WHERE:

- THE HEIGHT OF THE GLAZING IS NOT MORE THAN 1m;
- THE WIDTH OF THE GLAZING IS NOT MORE THAN 500mm;
- THERE IS NO GLAZING WITHIN 700mm OF THE FLOOR.



FULL NCC/BCA
2022 COMPLIANCE

BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE
BOUNDARIES ARE SHOWN INDICATIVE
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NORTH EAST ELEVATION

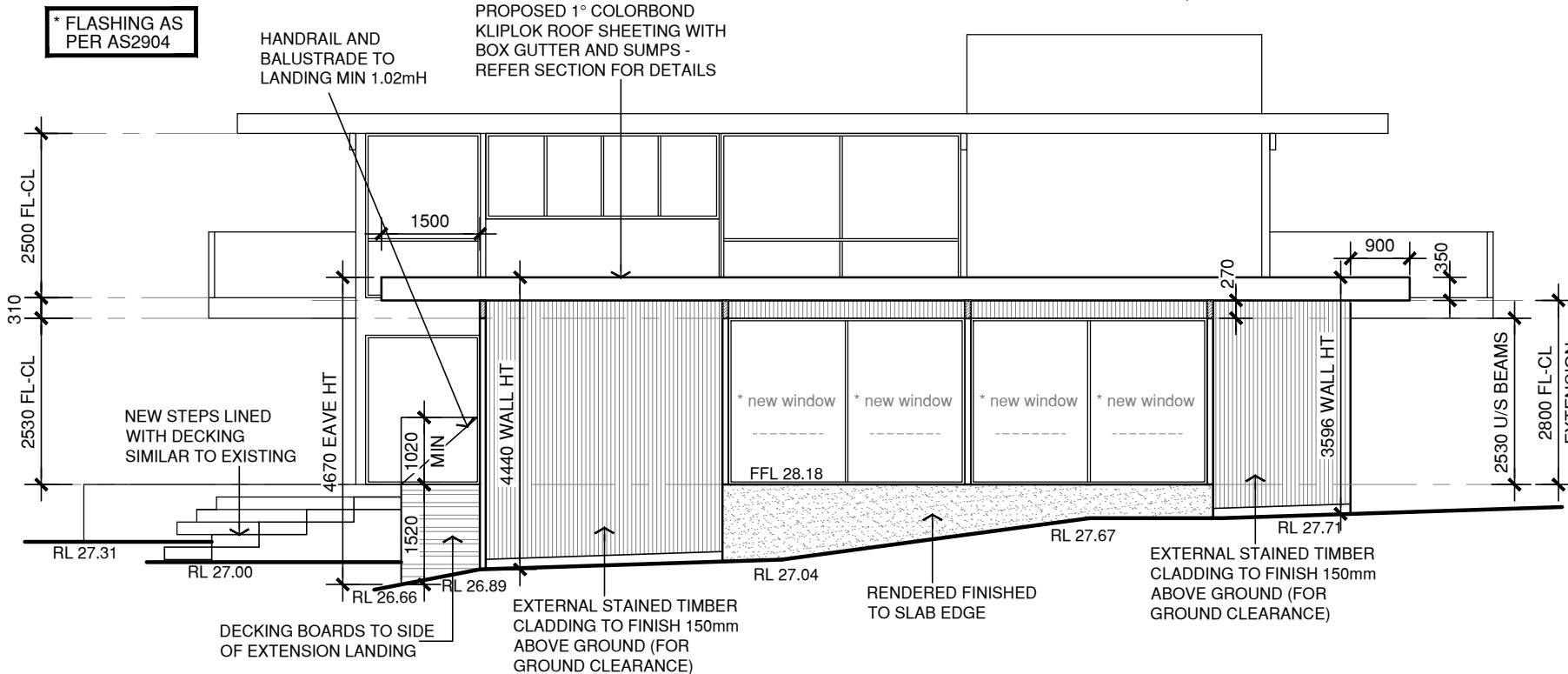
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ENGINEER TO DESIGN ALL BEAMS, STRUCTURAL SUPPORTS, ARTICULATION JOINTS IN ALL MASONRY WALLS, PROVIDE ALL SLAB DESIGNS WITH STEP UPS AND SUB FLOOR STRUCTURAL DESIGNS ALONG WITH ANY RETAINING WALLS ETC. MAWDSLEY BUILDING DESIGNS TAKES NO RESPONSIBILITY FOR THE ACCURACY, RELIABILITY OR CORRECTNESS OF ANY CONTRACTORS DESIGNS, DETAILS OR WORKS ETC.

NOTE: PROVIDE VAPOUR PERMEABLE MEMBRANE TO ALL PROPOSED EXTERNAL WALLS IN ACCORDANCE WITH AS 4200 PART 1 & 2 & CLIMATE ZONES 6, 7 & 8.

ALL EXHAUST FANS TO BE DUCTED EXTERNALLY VIA DUCTING IN ACCORDANCE WITH AS 1668.2. NOTE: KITCHEN RANGEHOOD EXHAUST: MIN 40L/S BATH/ENS/WC EXHAUST MIN: 25L/S AS PER NCC 3.8.7.3

WINDOW OPENINGS
OPENABLE WINDOWS WITH SILL HEIGHTS LESS THAN 1.7m ABOVE FIRST FLOOR LEVEL AND/OR 2.0m ABOVE GROUND LINES TO BE RESTRICTED TO ONLY 124mm TO COMPLY WITH BCA 3.9.2.5



SOUTH EAST ELEVATION

ADVERTISED PLAN
Application No. P870/2024

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drawing:
ELEVATIONS 1 OF 2

client:
STEVEN & LINA CORTESE

drawn: JM date: 05/09/24 scale: 1:100 job no.: 21336

address:
1 CROWN ROAD, IVANHOE VIC 3079

sht size: A2 issue: C date: 29/10/24 sheet: 8 of 10

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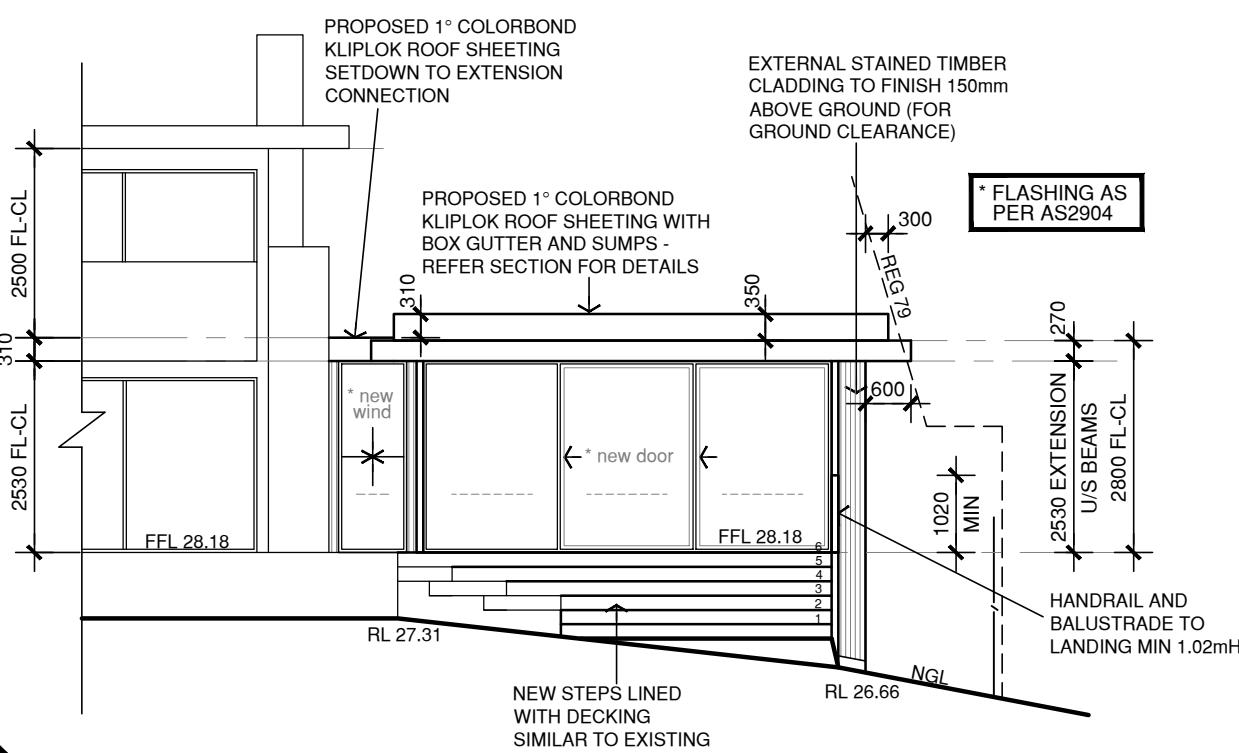
GLAZING BANDS ARE REQUIRED TO FULL HEIGHT DOORS AND WINDOWS WHICH CAN BE MISTAKEN FOR AN OPENING.

MARKING MUST BE IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT LOCATED SO THAT:

- THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR; AND
- THE LOWER EDGE IS NOT MORE THAN 1.2m ABOVE THE FLOOR.

A BAND IS REQUIRED WHERE:

- THE HEIGHT OF THE GLAZING IS NOT MORE THAN 1m;
- THE WIDTH OF THE GLAZING IS NOT MORE THAN 500mm;
- THERE IS NO GLAZING WITHIN 700mm OF THE FLOOR.



SOUTH WEST ELEVATION

**TOWN PLANNING
DRAWINGS ONLY - NOT
FOR CONSTRUCTION USE**

ENGINEER TO DESIGN ALL BEAMS, STRUCTURAL SUPPORTS, ARTICULATION JOINTS IN ALL MASONRY WALLS, PROVIDE ALL SLAB DESIGNS WITH STEP UPS AND SUB FLOOR STRUCTURAL DESIGNS ALONG WITH ANY RETAINING WALLS ETC. MAWDSLEY BUILDING DESIGNS TAKES NO RESPONSIBILITY FOR THE ACCURACY, RELIABILITY OR CORRECTNESS OF ANY CONTRACTORS DESIGNS, DETAILS OR WORKS ETC.

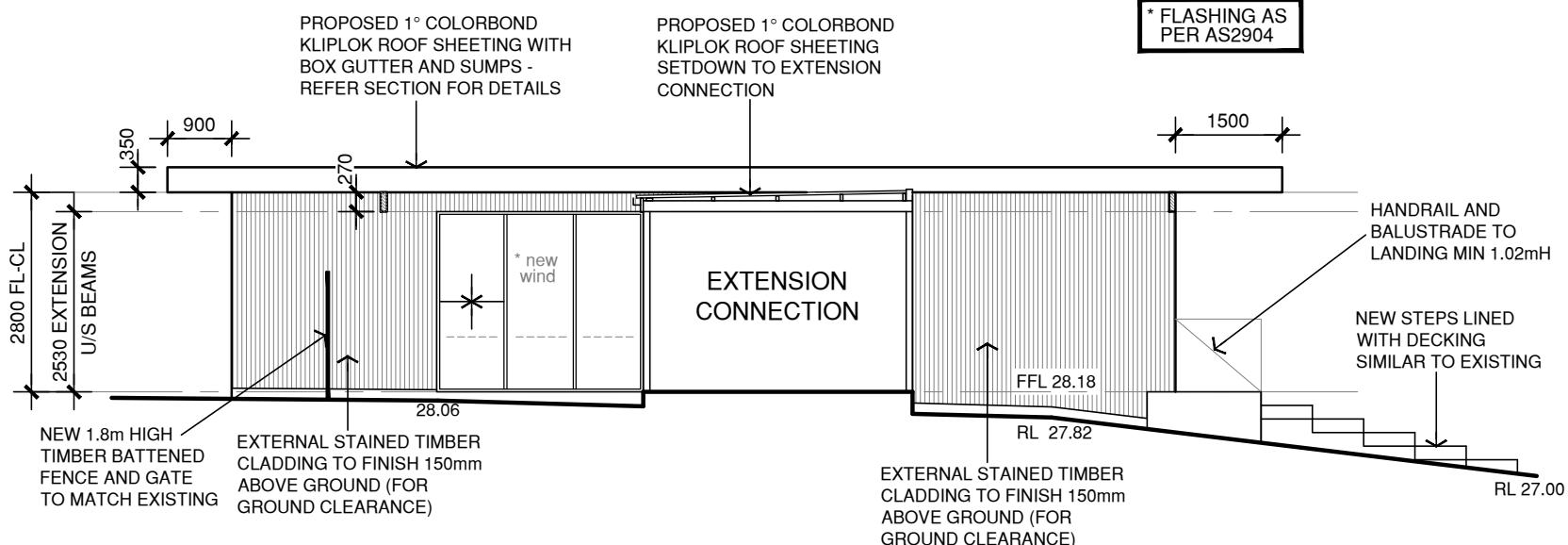
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**FULL NCC/BCA
2022 COMPLIANCE**



NORTH WEST ELEVATION (PART SECTION)

BOUNDARY AND FENCE LINES
FENCE LOCATIONS AND TITLE BOUNDARIES ARE SHOWN INDICATIVE ONLY ON THESE PLANS

ADVERTISED PLAN
Application No. P870/2024

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drawing:
ELEVATIONS 2 OF 2

client:

STEVEN & LINA CORTESE

drawn: JM date: 05/09/24 scale: 1:100 job no.: 21336

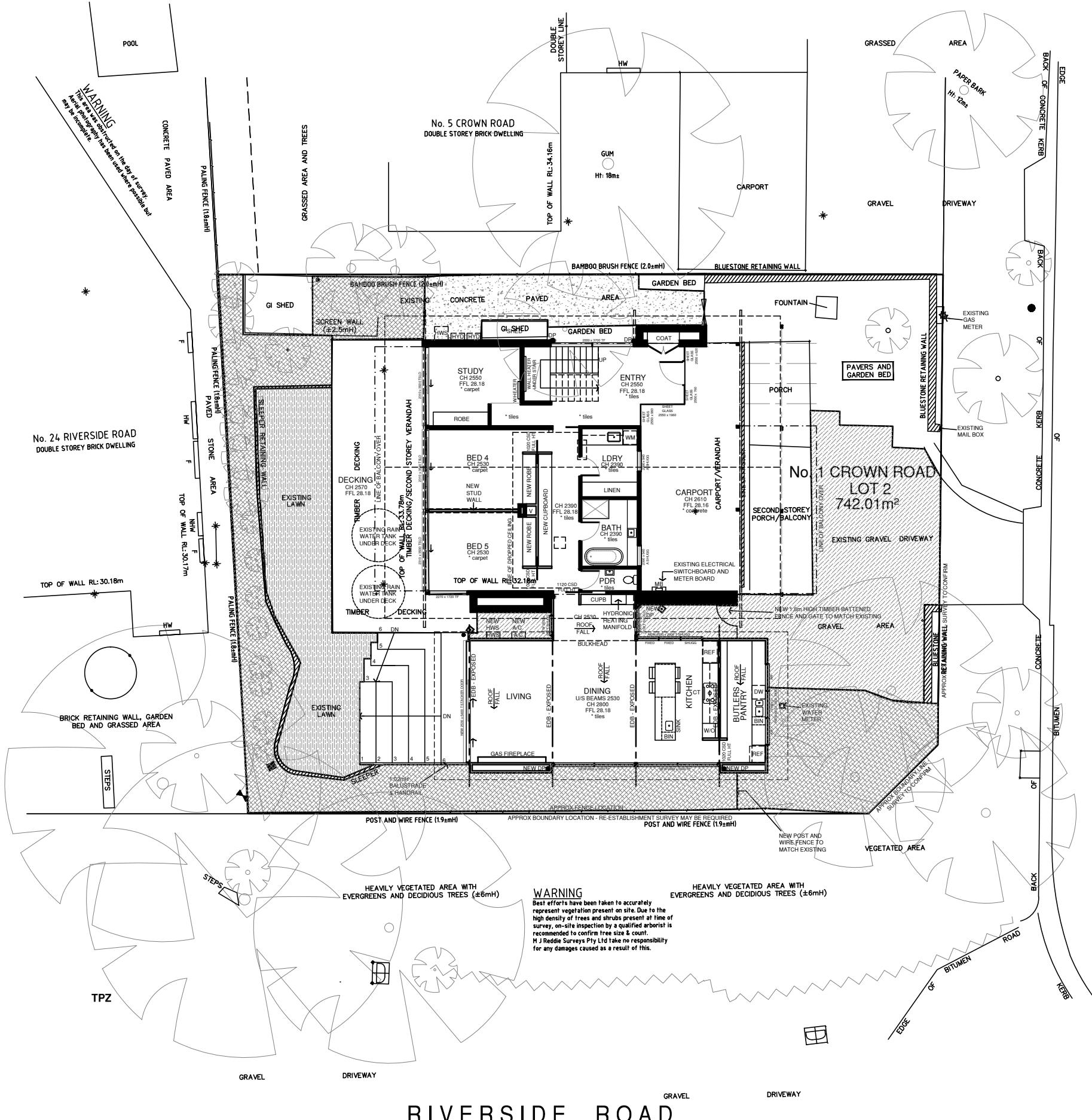
address:
1 CROWN ROAD, IVANHOE VIC 3079

sht size: A2 issue: C date: 29/10/24 sheet: 9 of 10

MAWDSLEY
BUILDING DESIGNS

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drawing:
PROPOSED PLANTING CONCEPT PLAN

address:
1 CROWN ROAD, IVANHOE VIC 3079

client:
STEVEN & LINA CORTESE

drawn: JM date: 05/09/24 scale: 1:200 job no.: 21336

sht size: A3 issue: C date: 29/10/24 sheet: 10 of 10

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Materials and Colour Schedule

As requested 3rd October 2024

Banyule Planning Scheme Application No: 9870/2024

Property: 1 Crown Road, Ivanhoe

Proposal: Development of extension to an existing dwelling within the Design and Development Overlay (DD02 - A)

The proposed materials are non-reflective colours and finishes that will blend in with the natural landscape. The existing 1960's house has a colour scheme of black, white and cream brick (refer to photo below of existing residence). It is proposed to use black predominantly for the new addition so that it is in keeping with the existing residence and it is recessive in nature.



Material	Sample
External Cladding: Shiplap timber lining with a black stained finish	A close-up photograph of a vertical black stained shiplap timber cladding panel.

ADVERTISED PLAN
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<p>Windows and Sliding Doors: Matt black powder coated aluminum windows and sliding doors</p>	 
<p>Fascias & Projecting Timber Beams: Timber fascias & projected timber beams painted black to match existing</p>	
<p>Soffits: 6mm cement sheet lining painted white to match existing</p>	
<p>Timber steps: Timber steps with a black stained finish to match existing</p>	
<p>Roofing, Flashings and Downpipes: Kliplock zicalume roofing, flashings & downpipes with a "Monument" colourbond finish.</p>	

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