

REFERENCE	SCALE	SHEET	UNIT	REVISION	DATE	AMENDMENT	SURVEYED	DRAWN	CHECKED
9791	1:100	AI	METRES	A	17/05/2022	ORIGINAL SURVEY	JH/NP	JH	NP
9790/5A									

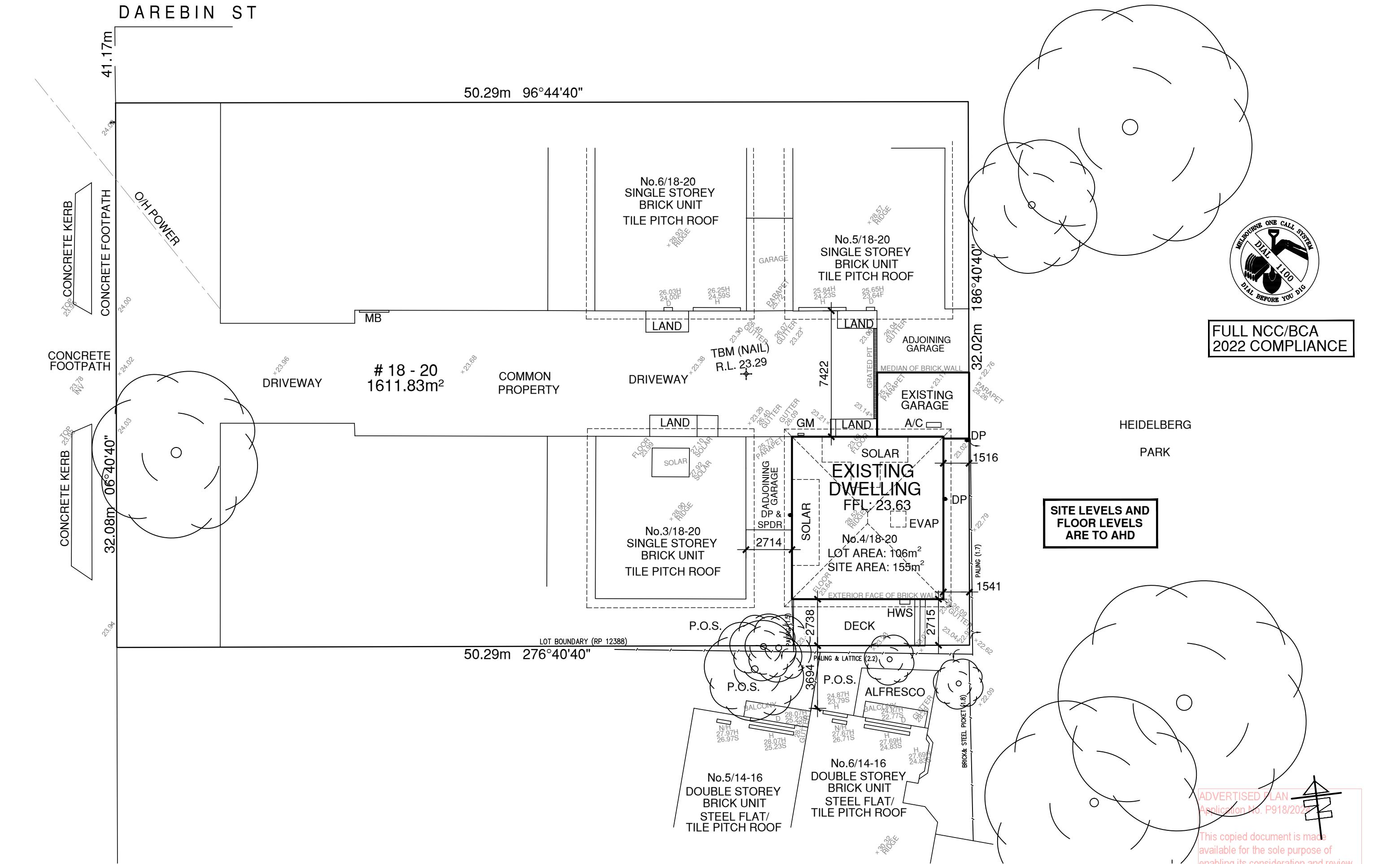
LEGEND	
	TREE
	GAS METER
	WATER METER
H	HABITABLE ROOM
N/H	NON-HABITABLE ROOM
D	DOOR

NOTATIONS
- RELATIONSHIP BETWEEN OCCUPATION (FENCING & BUILDINGS) & TITLE IS NOT SHOWN TO SCALE - SEE RP 12388 FOR DEFINITION OF UPPER AND LOWER BOUNDARIES - LEVELS ARE TO A.H.D. VIDE MMB PH 4740 (R.L. 23-305) (CONTOURS NOT APPLICABLE) - SETBACKS ARE FROM TITLE BOUNDARIES - SUBTRACT 6°40'40" FOR RP 12388
CERTIFICATION BY LICENSED SURVEYOR
I, CALVIN RAVEN OF 9 STORTFORD AVENUE, IVANHOE VIC 3079 CERTIFY THAT THIS PLAN HAS BEEN PREPARED FROM A SURVEY MADE UNDER MY DIRECTION AND SUPERVISION IN ACCORDANCE WITH THE SURVEYING ACT 2004 AND COMPLETED ON 12/05/2022, THAT THIS PLAN IS ACCURATE AND CORRECTLY REPRESENTS THE ADOTTED BOUNDARIES AND THAT THE SURVEY ACCURACY ACCORDS WITH THAT REQUIRED BY REGULATION 701 OF THE SURVEYING (CADASTRAL SURVEYS) REGULATIONS 2005, SIGNED BY CALVIN RAVEN, LICENSED SURVEYOR, SURVEYING ACT 2004, 17/05/2022.

PLAN OF SURVEY
COUNTY OF BOURKE PARISH OF KEELBUNDORA SECTION 6 PART OF CROWN ALLOTMENT 2 LOT 4 ON RP 12388 C/T VOL. 9284 FOL. 272 4/18-20 ROSANNA ROAD, HEIDELBERG VIC 3084

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FULL NCC/BCA  
2022 COMPLIANCE

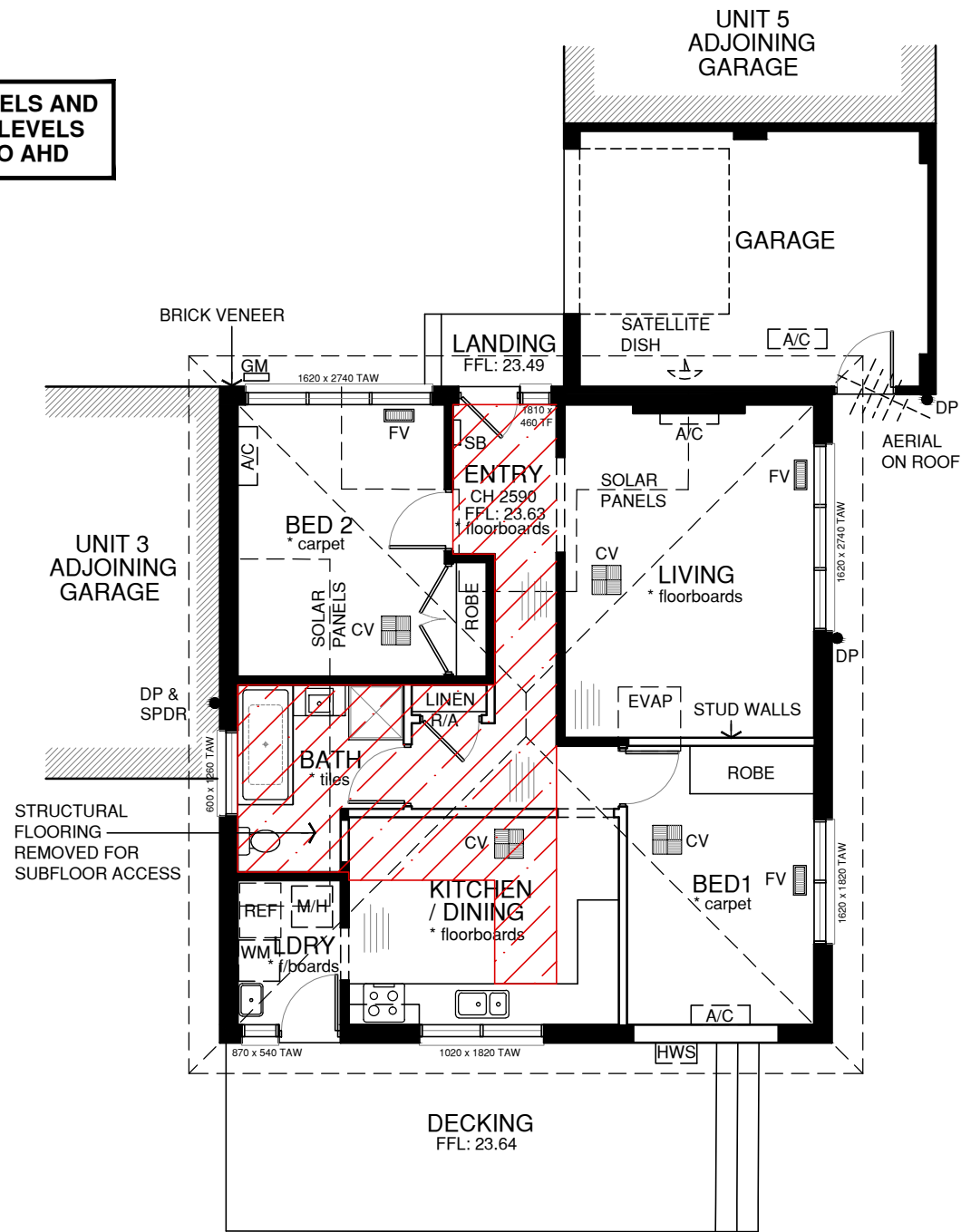
SITE LEVELS AND  
FLOOR LEVELS  
ARE TO AHD

ADVERTISED PLAN  
Application No. P918/2022

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Drawing: <div>EXISTING SITE PLAN</div>	Client: <div>JAMES MONTGOMERY &amp; EMILY CHAMBERS</div>	Job number: <div>24220</div>	Current Revision: <div>D</div>	Sheet number: <div>2 of 21</div>	© Copyright Supa Group Constructions Pty. Ltd. All Rights reserved. "This work is exclusively owned by Supa Group Constructions Pty. Ltd. and cannot be reproduced or copied, either wholly or in part, in any form (graphic, electronic or mechanical, including photocopying) without the written permission of Supa Group Constructions Pty. Ltd.	<div><div><div>A</div><div>SUPAGROUP CONSTRUCTIONS</div></div><div>63 NORTHERN ROAD, WEST HEIDELBERG, VICTORIA 3081 AUS. T: 9458 1666 F: 9457 5995 E: EXTEND@SUPAGROUP.COM.AU A DIVISION OF SUPA GROUP PTY. LTD. A.B.N. 58 005 079 514 Building Practitioners Board Registration No. CDB-U 52357</div></div>	<div>SIGNATURES</div> <div>Builder: <div>document must not be used for any purpose which may breach any copyright.</div></div>
Address: <div>UNIT 4, 18-20 ROSANNA ROAD, HEIDELBERG 3084</div>		Date: 13/11/24	Scale: 1:200	Client: <div></div>			
		Drawn by: J. MAWDSLEY	Sheet size: A3				
							This drawing is referred to in the contract agreement dated <div></div>

SITE LEVELS AND FLOOR LEVELS ARE TO AHD



## DEMOLITION SCHEDULE

REMOVAL/DEMOLITION	=====
EXISTING WALLS TO REMAIN	=====

- NOTE:
- DEMOLITION AS REQUIRED BY BUILDER
  - BUILDER TO CLEAR SITE (REFER TO SPEC)
  - BUILDER TO REMOVE DEMOLITION DEBRIS
  - BUILDER TO REMOVE BUILDING DEBRIS
  - ALL INTERNAL AND EXTERNAL PAINTING / SURFACE COATINGS BY OWNER

## DEMOLITION NOTES:

- ASBESTOS MAY BE PRESENT ONSITE. ASBESTOS MATERIALS TO BE INSPECTED PRIOR TO DEMOLITION. REMOVAL AND DISPOSAL OF ASBESTOS MUST BE CARRIED OUT BY A SUITABLY QUALIFIED CONTRACTOR AND IN ACCORDANCE WITH EPA, DEPARTMENT OF HEALTH, WORKSAFE REGULATIONS AND REQUIREMENTS.
- REMOVE INTERNAL WALLS AND DOORS IN THE WAY OF NEW WORKS AND MAKE GOOD ALL ADJOINING SURFACES AS NECESSARY.
- CREATE NEW OPENING IN EXISTING BED 1 WALL FOR NEW DOOR, RELOCATE EXISTING HOT WATER SERVICE IN THE WAY OF NEW OPENING AND MAKE GOOD WALLS AS NECESSARY.
- DEMOLISH AND REMOVE EXISTING BATHROOM, LIVING CUPBOARD IN THE WAY OF NEW WORKS. CUT, SEAL AND/OR ALTER EXISTING PLUMBING AND ELECTRICAL TO SUIT NEW LAYOUT AND MAKE GOOD ALL ADJOINING SURFACES AS NECESSARY.
- REMOVE EXISTING ROOF TILES, BATTENS AND CUT BACK ROOF IN WAY OF NEW FIRST FLOOR OVER, CONSTRUCT FIRST FLOOR AND TIE IN EXISTING ROOF AS NECESSARY. RE-USE EXISTING ROOF TILES WHERE POSSIBLE (TILES TO BE CHECKED FOR QUALITY PRIOR TO INSTALLATION) AND MAKE GOOD ALL SURFACES AS NECESSARY.
- REMOVE EXISTING EVAP CEILING VENTS AND EXISTING MANHOLE AND BLOCK UP TO SUIT PROPOSED FIRST FLOOR OVER AND MAKE GOOD CEILING AS NECESSARY.
- OWNER TO REMOVE EXISTING BED 1 ROBE
- OWNER TO REMOVE EXISTING SOLAR PANELS
- OWNER TO REMOVE AND RELOCATE EXISTING AIR-CONDITIONING UNIT/S IN THE WAY OF NEW WORKS.
- OWNER TO REMOVE EXISTING TV AERIAL/SATELITE AS NECESSARY IN THE WAY OF NEW WORKS AND RE-INSTATE UPON COMPLETION OF WORKS BY BUILDER.
- OWNER TO REMOVE EXISTING EVAPORATIVE UNIT ON ROOF IN THE WAY OF NEW WORKS. BUILDER TO PATCH AND MAKE GOOD CEILING WHERE OUTLETS REMOVED.




FULL NCC/BCA 2022 COMPLIANCE

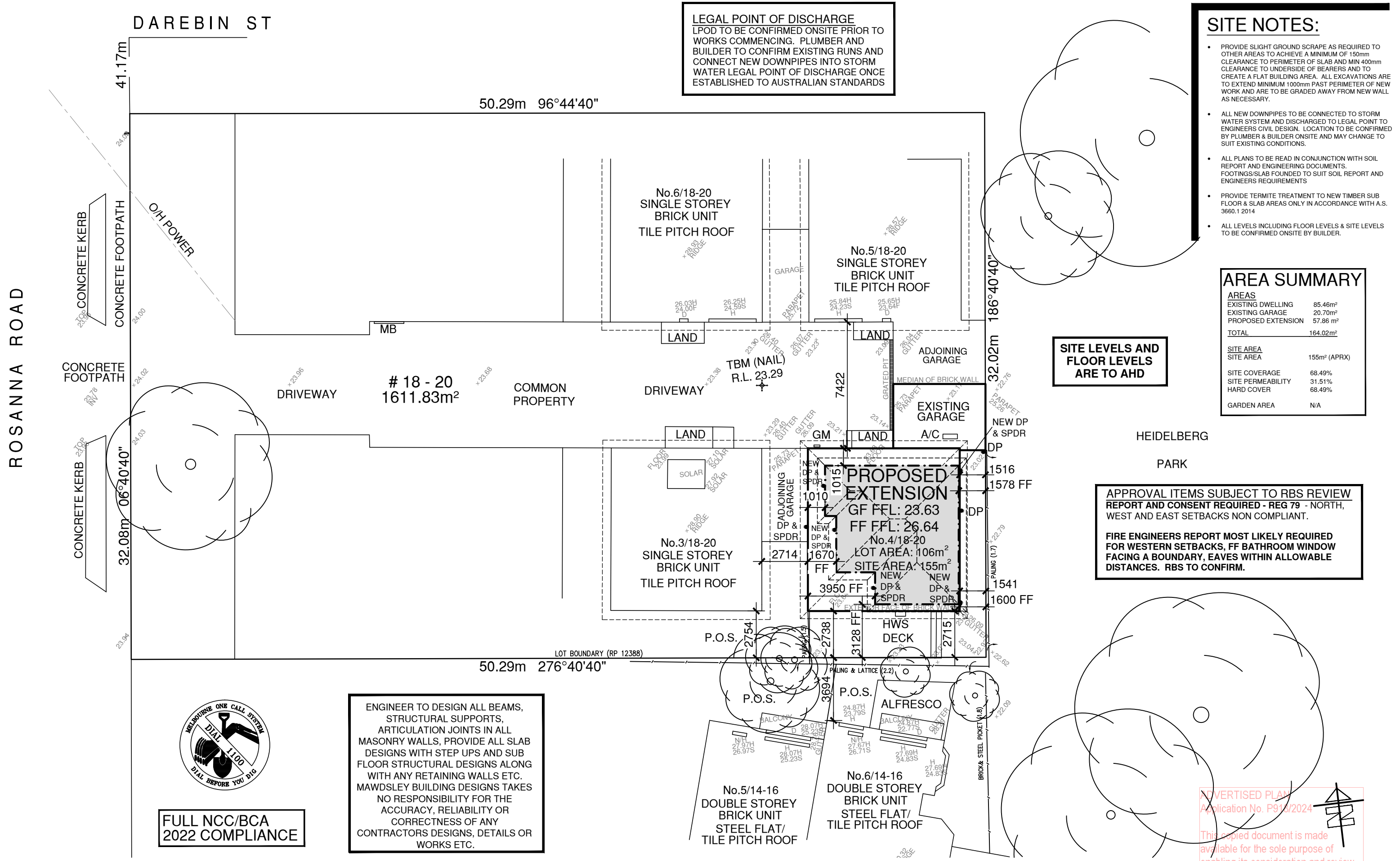
ADVERTISED PLAN  
Application No. P918/2024

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**SIGNATURES**  
**Builder:** \_\_\_\_\_  
**Client:** \_\_\_\_\_  
This drawing is referred to in the contract agreement dated \_\_\_\_\_

Drawing: <b>EXISTING FLOOR PLAN &amp; DEMOLITION NOTES</b>	Client: <b>JAMES MONTGOMERY &amp; EMILY CHAMBERS</b>	Job number: <b>24220</b>	Current Revision: <b>D</b>	Sheet number: <b>3 of 21</b>	© Copyright Supa Group Constructions Pty. Ltd. All Rights reserved. "This work is exclusively owned by Supa Group Constructions Pty. Ltd. and cannot be reproduced or copied, either wholly or in part, in any form (graphic, electronic or mechanical, including photocopying) without the written permission of Supa Group Constructions Pty. Ltd.	 <b>SUPAGROUP CONSTRUCTIONS</b> 63 NORTHERN ROAD, WEST HEIDELBERG, VICTORIA 3081 AUS. T: 9458 1666 F: 9457 5995 E: EXTEND@SUPAGROUP.COM.AU A DIVISION OF SUPA GROUP PTY. LTD. A.B.N. 58 005 079 514 Building Practitioners Board Registration No. CDB-U 52357
Address: <b>UNIT 4, 18-20 ROSANNA ROAD, HEIDELBERG 3084</b>		Date: <b>13/11/24</b>	Scale: <b>1:100</b>	Sheet size: <b>A3</b>		
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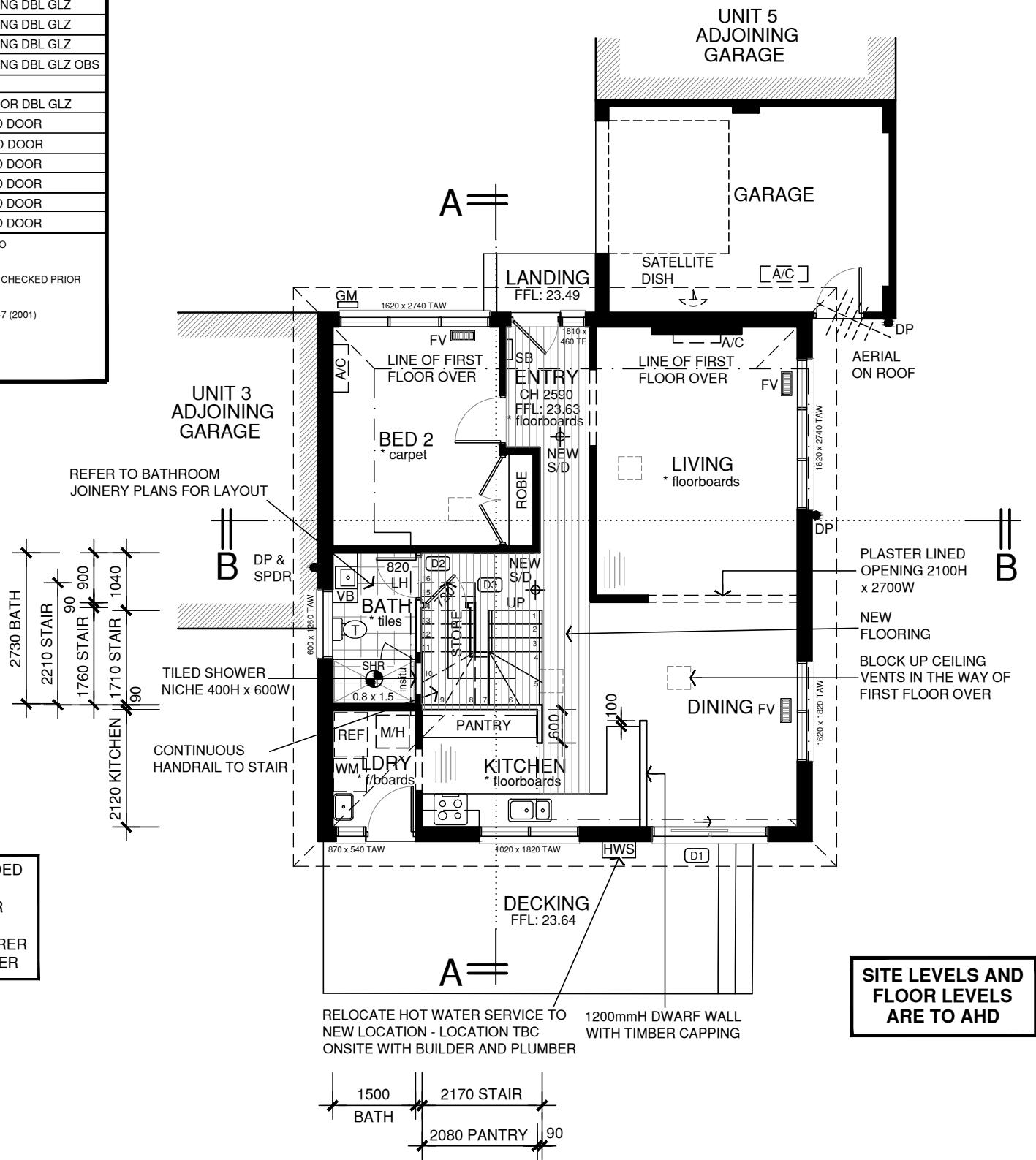
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Address: UNIT 4, 18-20 ROSANNA ROAD, HEIDELBERG 3084	Date: 13/11/24	Scale: 1:200	Drawn by: J. MAWDSLEY	Sheet size: A3			

WINDOW / DOOR SCHEDULE		
No.	SIZE (H x W)	DESCRIPTION
W1	1200 x 1500 SAFETY GL	ALUMINIUM AWNING DBL GLZ OBS
W2	550 x 2400	ALUMINIUM AWNING DBL GLZ
W3	1500 x 2400	ALUMINIUM AWNING DBL GLZ
W4	1500 x 1500	ALUMINIUM AWNING DBL GLZ
W5	1500 x 2400	ALUMINIUM AWNING DBL GLZ
W6	550 x 2400	ALUMINIUM AWNING DBL GLZ
W7	1200 x 1500	ALUMINIUM AWNING DBL GLZ
W8	1200 x 900 SAFETY GL	ALUMINIUM AWNING DBL GLZ OBS
D1	2100 x 2100	ALUM SLIDING DOOR DBL GLZ
D2	2040 x 820 LIFT OFF HIN	INTERNAL HINGED DOOR
D3	2040 x 720 UNDER STAIR	INTERNAL HINGED DOOR
D4	2040 x 820 LIFT OFF HIN	INTERNAL HINGED DOOR
D5	2040 x 820	INTERNAL HINGED DOOR
D6	2040 x 820	INTERNAL HINGED DOOR
D7	2040 x 820 CUPB	INTERNAL HINGED DOOR
* SIZES SHOWN ARE NOMINAL SIZES ONLY AND ARE SUBJECT TO MANUFACTURERS STANDARD SIZE AND PROFILE.		
* ALL EXISTING WINDOW AND DOOR OPENINGS ARE TO BE SITE CHECKED PRIOR TO ORDERING NEW/REPLACEMENT WINDOWS.		
* ALL GLAZING IS TO COMPLY WITH A.S 1288, (2006) AND A.S. 2047 (2001)		
* ALL TIMBER & STEEL LINTELS TO ENGINEERS DESIGN.		
* REFER TO ENERGY RATING NOTES FOR GLAZING TYPES		

ENGINEER TO DESIGN ALL BEAMS, STRUCTURAL SUPPORTS, ARTICULATION JOINTS IN ALL MASONRY WALLS, PROVIDE ALL SLAB DESIGNS WITH STEP UPS AND SUB FLOOR STRUCTURAL DESIGNS ALONG WITH ANY RETAINING WALLS ETC. MAWDSLEY BUILDING DESIGNS TAKES NO RESPONSIBILITY FOR THE ACCURACY, RELIABILITY OR CORRECTNESS OF ANY CONTRACTORS DESIGNS, DETAILS OR WORKS ETC.

NOTE: PROVIDE VAPOUR PERMEABLE MEMBRANE TO ALL PROPOSED EXTERNAL WALLS IN ACCORDANCE WITH AS 4200 PART 1 & 2 & CLIMATE ZONES 6, 7 & 8.

- DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.
  - BUILDER / CONTRACTOR IS TO CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS OR OF ORDERING MATERIALS.
  - ALL ITEMS REQUIRED FOR COMPLETION OF THE BUILDING, WHILST NOT NECESSARY OR INCIDENTAL FOR THE COMPLETION OF THE BUILDING SHALL BE INCORPORATED AND SHALL CONFORM TO GOOD BUILDING TRADE PRACTICES. MANUFACTURERS WRITTEN RECOMMENDATIONS WHERE APPLICABLE.
  - ALL WORKS SHALL COMPLY WITH RELEVANT LOCAL HEALTH AND COUNCIL REQUIREMENTS. LOCAL BUILDING REGULATIONS AND RELEVANT A.S. CODES
  - DRAWINGS TO BE READ IN CONJUNCTION ENGINEERS PLANS AND DESIGN
- ALL MASONRY OPENINGS GREATER THAN 1.0m TO HAVE WEEP HOLES PROVIDED AT 1.2m CENTRED WITH HEAD/SILL FLASHING PROVIDED IN ACCORDANCE WITH AS 2904
  - SUB FLOOR VENTILATION TO BE PROVIDED AT A MINIMUM RATE OF 6000mm<sup>2</sup> PER METER RUN OF EXTERNAL WALL AS PER BCA.
  - ALL EXHAUST FANS TO BE DUCTED EXTERNALLY VIA DUCTING IN ACCORDANCE WITH AS 1668.2. NOTE: KITCHEN RANGEHOOD EXHAUST: MIN 40L/S BATH/ENS/WC EXHAUST MIN: 25L/S AS PER NCC 10.8.2
  - BALUSTRADE TO HAVE OPENINGS RESTRICTED TO MAXIMUM 125mm OR WIRE BALUSTRADE TO BCA TABLE 11.3.4.



- S/D HARD WIRED SMOKE DETECTORS ALL INTERCONNECTED
- AJ MASONRY ARTICULATION JOINT
- EDB ENGINEER DESIGNED BEAMS
- LH LIFT-OFF HINGES TO W.C. DOOR
- FG FULLY GLAZED DOOR
- EX. FAN - UNDER CUT DOOR 20mm AND CONNECT TO LIGHT SWITCH
- EXHAUST FAN
- \* BLOCK UP EXISTING OPENS AS SHOWN TO SUIT NEW LAYOUT

- STEPS TO BE PROVIDED TO AREAS WITH HEIGHTS/STEP DOWNS GREATER THAN 190mm - MAX 190mm RISER & MIN 240mm TREAD.
- STAIRCASE & BALUSTRADE TO BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS1170.1.
- SLIP RESISTANCE IN ACCORDANCE WITH AS4586 - NOT LESS THAN P3 FOR INTERNAL TREADS AND NOT LESS THAN P4 FOR EXTERNAL TREADS

THE BUILDER AND SUB-CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THE BUILDER IS TO CHECK THE CONDITION OF EXISTING STRUCTURES WHERE NEW WORKS TAKE PLACE AND TAKE NECESSARY STEPS TO UPGRADE EXISTING STRUCTURES TO ENSURE COMPLIANCE WITH ALL RELEVANT CURRENT CODES AND STANDARDS



FULL NCC/BCA 2022 COMPLIANCE

**FOAM CLADDING:**  
FOAM CLADDING IS TO CONFORM TO AND BE COMPLIANT WITH THE NCC/BCA 2022 AND MUST MEET THE PERFORMANCE REQUIREMENTS AS STATED IN THE BCA. ONLY APPROVED CLADDING OPTIONS THAT HAVE BEEN REVIEWED AND APPROVED BY THE RESPONSIBLE BUILDING SURVEYOR ARE TO BE USED


SUB FLOOR VENTILATION TO BE PROVIDED AT A MINIMUM RATE OF 6000mm<sup>2</sup> PER METER RUN OF EXTERNAL WALL AS PER BCA NOT MORE THAN 1.2m APART AND LOCATED BELOW THE LINE OF THE BEARER & NO MORE THAN 600mm FROM A CORNER

**SHOWER BASES**  
ALL SHOWERS TO FALL 1:80 TO A FLOOR WASTE

SITE LEVELS AND FLOOR LEVELS ARE TO AHD

ADVERTISED PLAN  
Application No. P91844271

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Address: <b>UNIT 4, 18-20 ROSANNA ROAD, HEIDELBERG 3084</b>		Date: <b>13/11/24</b>	Scale: <b>1:100</b>				
		Drawn by: <b>J. MAWDSLEY</b>	Sheet size: <b>A3</b>				

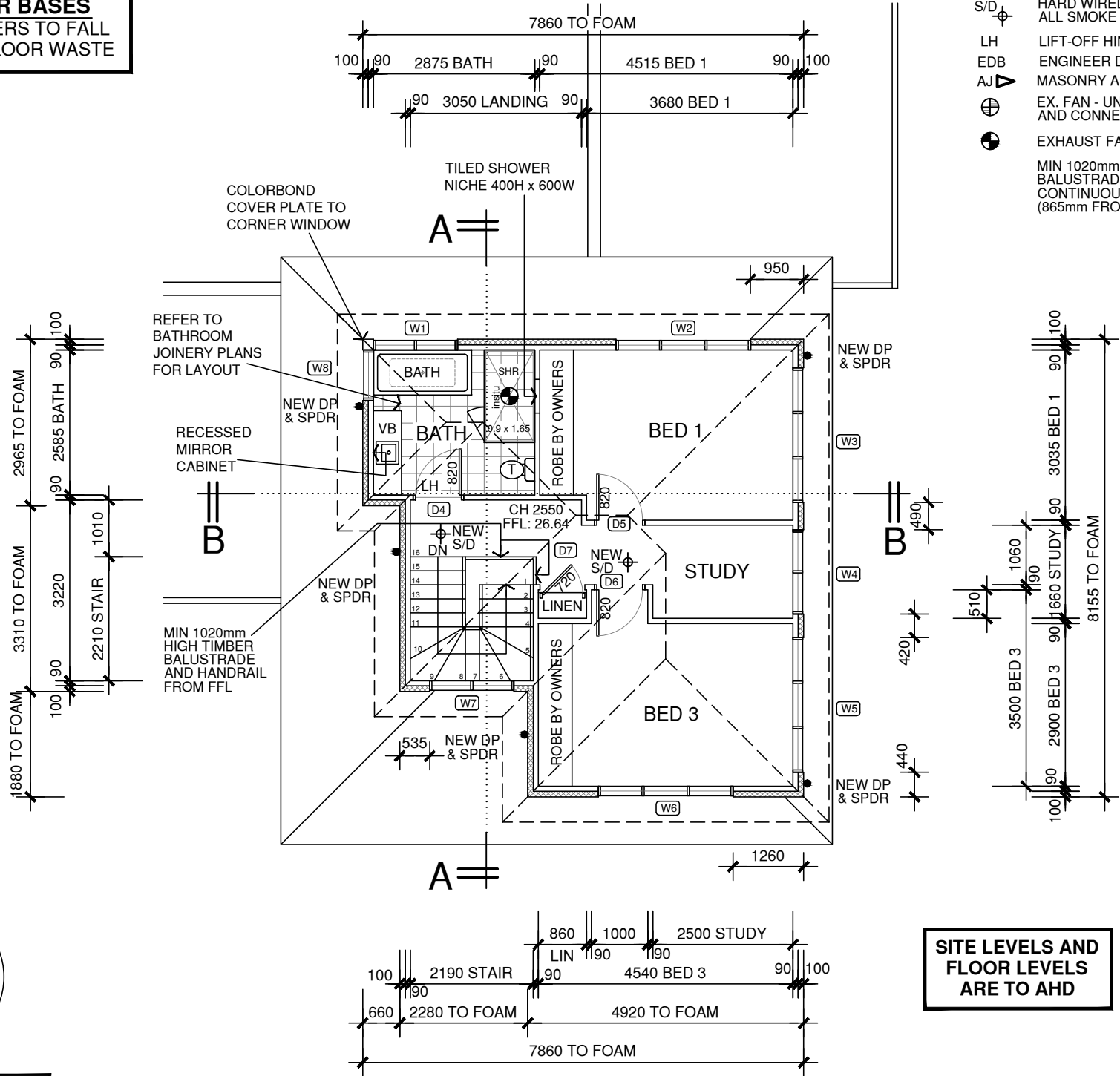
**WINDOW OPENINGS**  
OPENABLE WINDOWS WITH SILL HEIGHTS LESS THAN 1.7m ABOVE FIRST FLOOR LEVEL AND/OR 2.0m ABOVE GROUND LINES TO BE RESTRICTED TO ONLY 124mm TO COMPLY WITH BCA 11.3.7.

**SHOWER BASES**  
ALL SHOWERS TO FALL 1:80 TO A FLOOR WASTE

ENGINEER TO DESIGN ALL BEAMS, STRUCTURAL SUPPORTS, ARTICULATION JOINTS IN ALL MASONRY WALLS, PROVIDE ALL SLAB DESIGNS WITH STEP UPS AND SUB FLOOR STRUCTURAL DESIGNS ALONG WITH ANY RETAINING WALLS ETC. MAWDSLEY BUILDING DESIGNS TAKES NO RESPONSIBILITY FOR THE ACCURACY, RELIABILITY OR CORRECTNESS OF ANY CONTRACTORS DESIGNS, DETAILS OR WORKS ETC.

**NOTE: PROVIDE VAPOUR PERMEABLE MEMBRANE TO ALL PROPOSED EXTERNAL WALLS IN ACCORDANCE WITH AS 4200 PART 1 & 2 & CLIMATE ZONES 6, 7 & 8.**

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- BALUSTRADE TO HAVE OPENINGS RESTRICTED TO MAXIMUM 125mm OR WIRE BALUSTRADE TO BCA TABLE 11.3.4.



- S/D: HARD WIRED SMOKE DETECTORS - ALL SMOKE ALARMS INTERLINKED
- LH: LIFT-OFF HINGES TO W.C. DOOR
- EDB: ENGINEER DESIGNED BEAM/S
- AJ: MASONRY ARTICULATION JOINT
- ⊕: EX. FAN - UNDER CUT DOOR 20mm AND CONNECT TO LIGHT SWITCH
- ⊙: EXHAUST FAN
- MIN 1020mm HIGH TIMBER BALUSTRADE AND HANDRAIL & CONTINUOUS HANDRAIL TO STAIR (865mm FROM NOSE OF TREADS)

**ALL MEASUREMENTS TAKEN TO STUD UNLESS NOTED OTHERWISE. 100mm APPROVED/ACCREDITED FOAM CLADDING TO BE FIXED TO STUDS.**

**FOAM CLADDING:**  
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## WINDOW / DOOR SCHEDULE

No.	SIZE (H x W)	DESCRIPTION
W1	1200 x 1500 SAFETY GL	ALUMINIUM AWNING DBL GLZ OBS
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W4	1500 x 1500	ALUMINIUM AWNING DBL GLZ
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W6	550 x 2400	ALUMINIUM AWNING DBL GLZ
W7	1200 x 1500	ALUMINIUM AWNING DBL GLZ
W8	1200 x 900 SAFETY GL	ALUMINIUM AWNING DBL GLZ OBS
D1	2100 x 2100	ALUM SLIDING DOOR DBL GLZ
D2	2040 x 820 LIFT OFF HIN	INTERNAL HINGED DOOR
D3	2040 x 720 UNDER STAIR	INTERNAL HINGED DOOR
D4	2040 x 820 LIFT OFF HIN	INTERNAL HINGED DOOR
D5	2040 x 820	INTERNAL HINGED DOOR
D6	2040 x 820	INTERNAL HINGED DOOR
D7	2040 x 820 CUPB	INTERNAL HINGED DOOR

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- ALL GLAZING IS TO COMPLY WITH A.S 1288. (2006) AND A.S. 2047 (2001)
- ALL TIMBER & STEEL LINTELS TO ENGINEERS DESIGN.
- REFER TO ENERGY RATING NOTES FOR GLAZING TYPES

**SITE LEVELS AND FLOOR LEVELS ARE TO AHD**



**FULL NCC/BCA 2022 COMPLIANCE**

**ADVERTISED PLAN**  
Application No. P918/2024

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**SIGNATURES**

**Builder:**

**Client:**

This drawing is referred to in the contract agreement dated \_\_\_\_\_

Drawing: <b>PROPOSED FF PLAN</b>	Client: <b>JAMES MONTGOMERY &amp; EMILY CHAMBERS</b>	Job number: <b>24220</b>	Current Revision: <b>D</b>	Sheet number: <b>6 of 21</b>
Address: <b>UNIT 4, 18-20 ROSANNA ROAD, HEIDELBERG 3084</b>	Date: <b>13/11/24</b>	Scale: <b>1:100</b>	Drawn by: <b>J. MAWDSLEY</b>	Sheet size: <b>A3</b>

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**SUPAGROUP CONSTRUCTIONS**

63 NORTHERN ROAD, WEST HEIDELBERG, VICTORIA 3081 AUS.  
T: 9458 1666 F: 9457 5995 E: EXTEND@SUPAGROUP.COM.AU  
A DIVISION OF SUPA GROUP PTY. LTD. A.B.N. 58 005 079 514  
Building Practitioners Board Registration No. CDB-U 52357

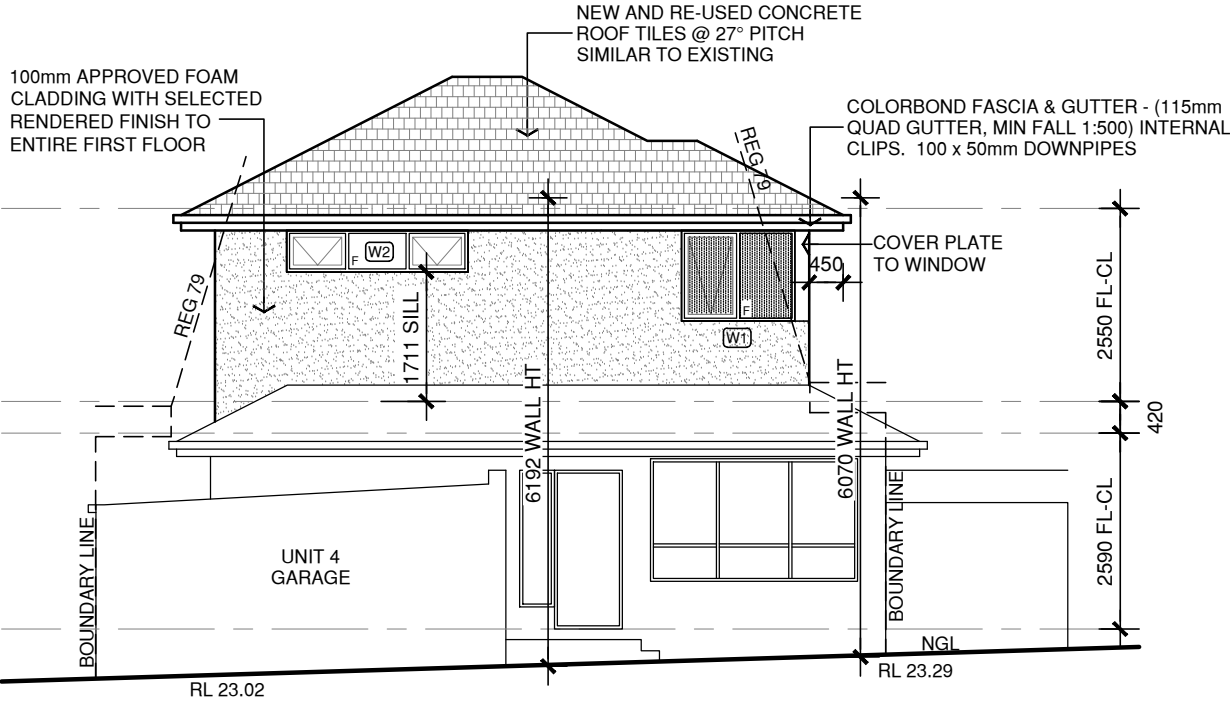


ENGINEER TO DESIGN ALL BEAMS, STRUCTURAL SUPPORTS, ARTICULATION JOINTS IN ALL MASONRY WALLS, PROVIDE ALL SLAB DESIGNS WITH STEP UPS AND SUB FLOOR STRUCTURAL DESIGNS ALONG WITH ANY RETAINING WALLS ETC. MAWDSLEY BUILDING DESIGNS TAKES NO RESPONSIBILITY FOR THE ACCURACY, RELIABILITY OR CORRECTNESS OF ANY CONTRACTORS DESIGNS, DETAILS OR WORKS ETC.

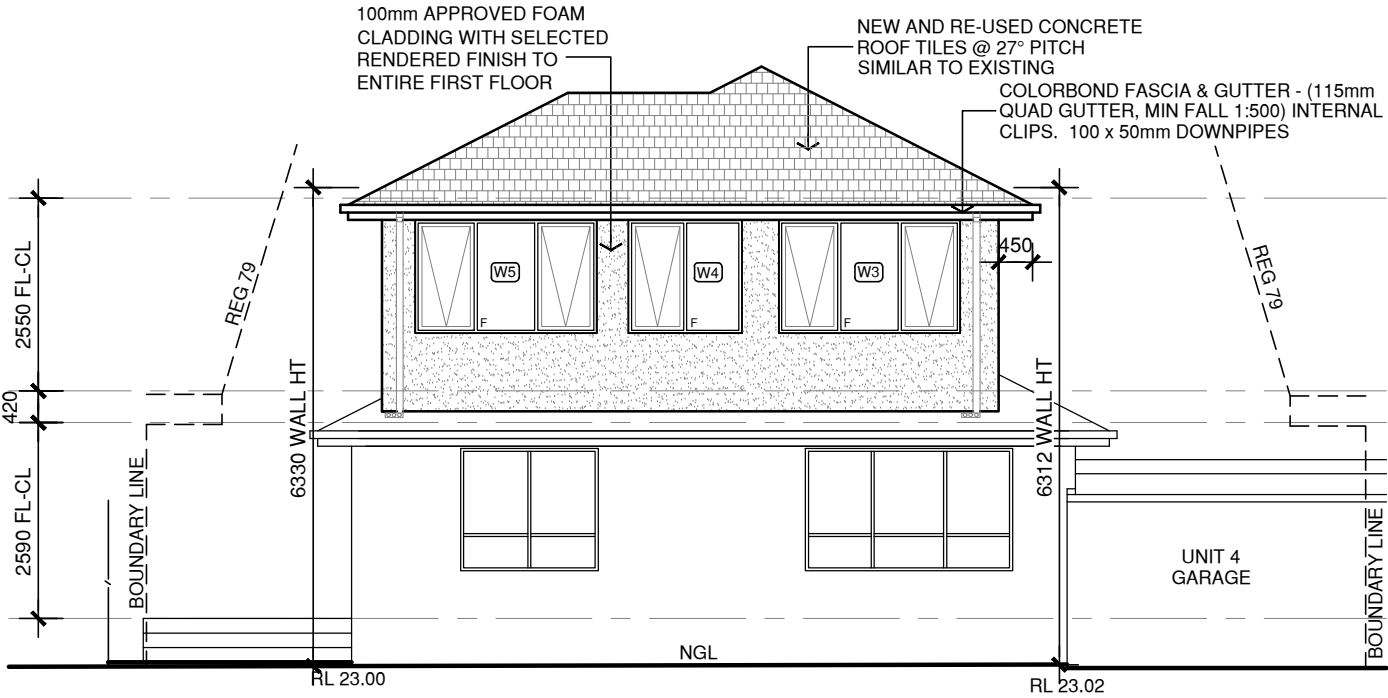
**WINDOW OPENINGS**

OPENABLE WINDOWS WITH SILL HEIGHTS LESS THAN 1.7m ABOVE FIRST FLOOR LEVEL AND/OR 2.0m ABOVE GROUND LINES TO BE RESTRICTED TO ONLY 124mm TO COMPLY WITH BCA 11.3.7.

NOTE: PROVIDE VAPOUR PERMEABLE MEMBRANE TO ALL PROPOSED EXTERNAL WALLS IN ACCORDANCE WITH AS 4200 PART 1 & 2 & CLIMATE ZONES 6, 7 & 8.



NORTH ELEVATION



EAST ELEVATION

GLAZING BANDS ARE REQUIRED TO FULL HEIGHT DOORS AND WINDOWS WHICH CAN BE MISTAKEN FOR AN OPENING.

MARKING MUST BE IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT LOCATED SO THAT:

- THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR; AND
- THE LOWER EDGE IS NOT MORE THAN 1.2m ABOVE THE FLOOR.

A BAND IS NOT REQUIRED WHERE:

- THE HEIGHT OF THE GLAZING IS NOT MORE THAN 1m;
- THE WIDTH OF THE GLAZING IS NOT MORE THAN 500mm;
- THERE IS NO GLAZING WITHIN 700mm OF THE FLOOR.

**FOAM CLADDING:**

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SIGNATURES

Builder:

Client:

This drawing is referred to in the contract agreement dated

Drawing:

ELEVATIONS 1 of 2

Client:

JAMES MONTGOMERY  
& EMILY CHAMBERS

Job number:

24220

Current Revision:

D

Sheet number:

7 of 21

Address:

UNIT 4, 18-20 ROSANNA ROAD, HEIDELBERG 3084

Date:

13/11/24

Scale:

1:100

Drawn by:

J. MAWDSLEY

Sheet size:

A3

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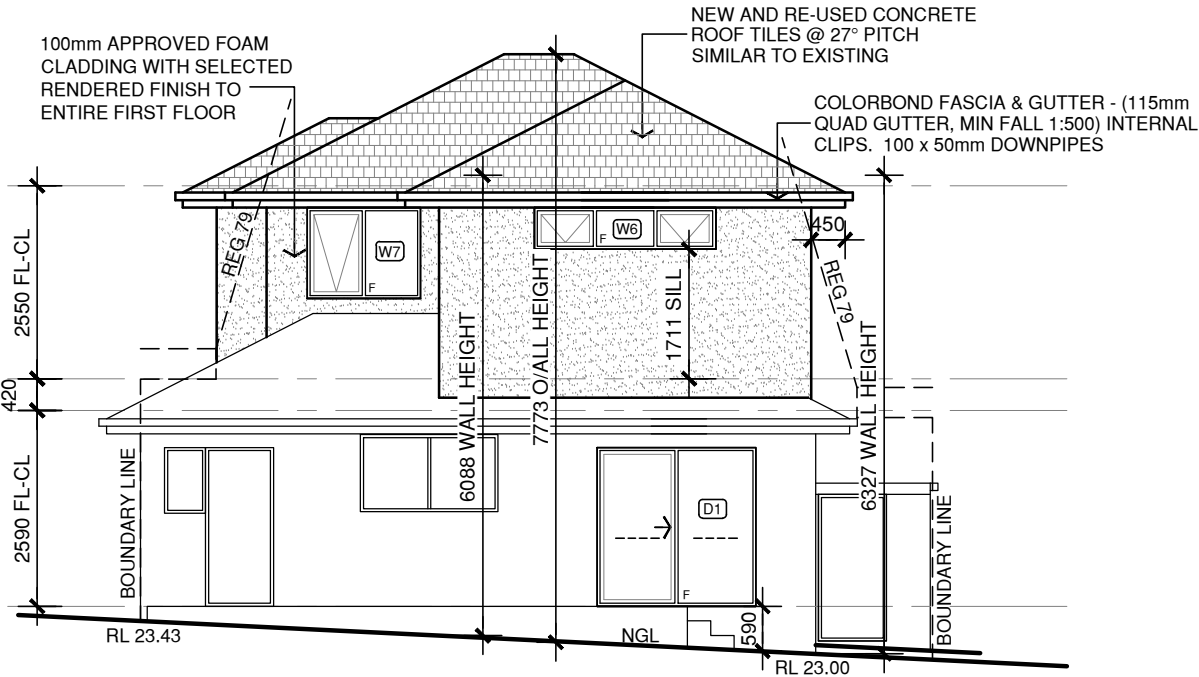
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A DIVISION OF SUPA GROUP PTY. LTD. A.B.N. 58 005 079 514  
Building Practitioners Board Registration No. CDB-U 52357

ENGINEER TO DESIGN ALL BEAMS, STRUCTURAL SUPPORTS, ARTICULATION JOINTS IN ALL MASONRY WALLS, PROVIDE ALL SLAB DESIGNS WITH STEP UPS AND SUB FLOOR STRUCTURAL DESIGNS ALONG WITH ANY RETAINING WALLS ETC. MAWDSLEY BUILDING DESIGNS TAKES NO RESPONSIBILITY FOR THE ACCURACY, RELIABILITY OR CORRECTNESS OF ANY CONTRACTORS DESIGNS, DETAILS OR WORKS ETC.

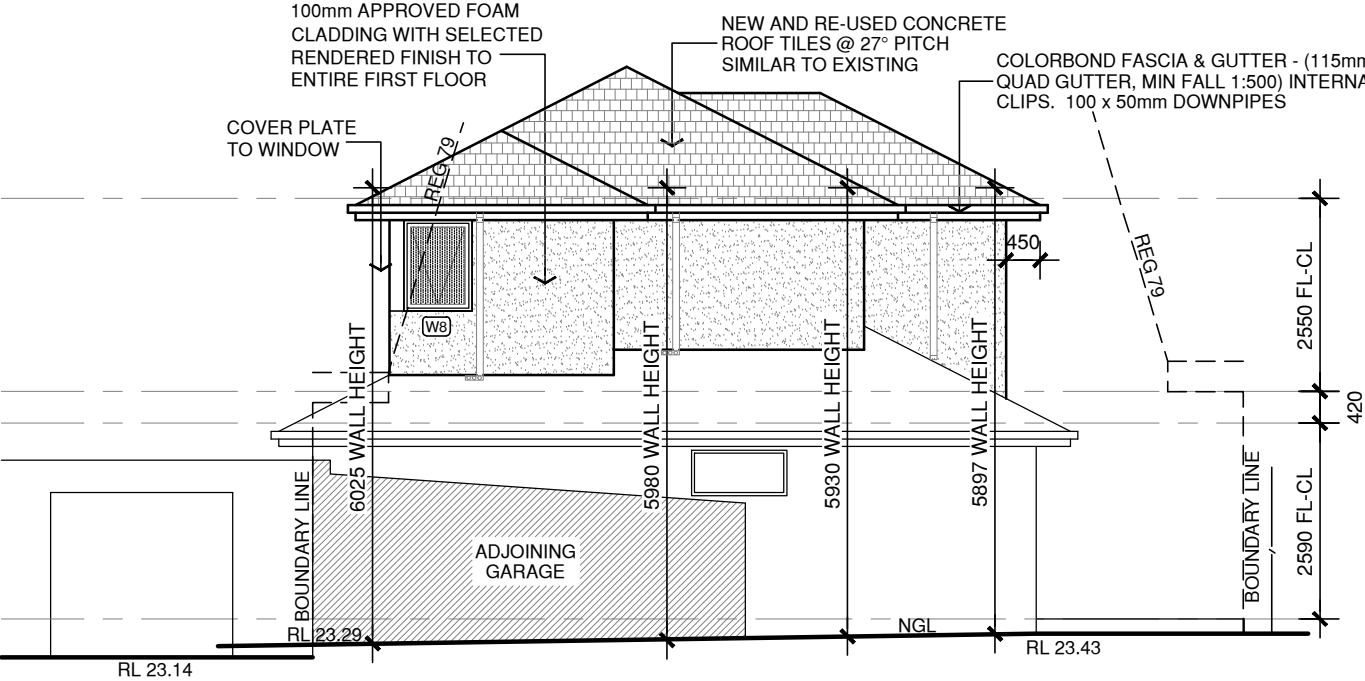
**WINDOW OPENINGS**

OPENABLE WINDOWS WITH SILL HEIGHTS LESS THAN 1.7m ABOVE FIRST FLOOR LEVEL AND/OR 2.0m ABOVE GROUND LINES TO BE RESTRICTED TO ONLY 124mm TO COMPLY WITH BCA 11.3.7.

NOTE: PROVIDE VAPOUR PERMEABLE MEMBRANE TO ALL PROPOSED EXTERNAL WALLS IN ACCORDANCE WITH AS 4200 PART 1 & 2 & CLIMATE ZONES 6, 7 & 8.



**SOUTH ELEVATION**



**WEST ELEVATION**

**GLAZING BANDS ARE REQUIRED TO FULL HEIGHT DOORS AND WINDOWS WHICH CAN BE MISTAKEN FOR AN OPENING.**

**MARKING MUST BE IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT LOCATED SO THAT:**

- THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR; AND
- THE LOWER EDGE IS NOT MORE THAN 1.2m ABOVE THE FLOOR.

**A BAND IS NOT REQUIRED WHERE:**

- THE HEIGHT OF THE GLAZING IS NOT MORE THAN 1m;
- THE WIDTH OF THE GLAZING IS NOT MORE THAN 500mm;
- THERE IS NO GLAZING WITHIN 700mm OF THE FLOOR.

**FOAM CLADDING:**

FOAM CLADDING IS TO CONFORM TO AND BE COMPLIANT WITH THE NCC/BCA 2022 AND MUST MEET THE PERFORMANCE REQUIREMENTS AS STATED IN THE BCA. ONLY APPROVED CLADDING OPTIONS THAT HAVE BEEN REVIEWED AND APPROVED BY THE RESPONSIBLE BUILDING SURVEYOR ARE TO BE USED



**FULL NCC/BCA 2022 COMPLIANCE**

ADVERTISED PLAN  
Application No. P918/2024

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**Client:**

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Client:

JAMES MONTGOMERY  
& EMILY CHAMBERS

Job number:

24220

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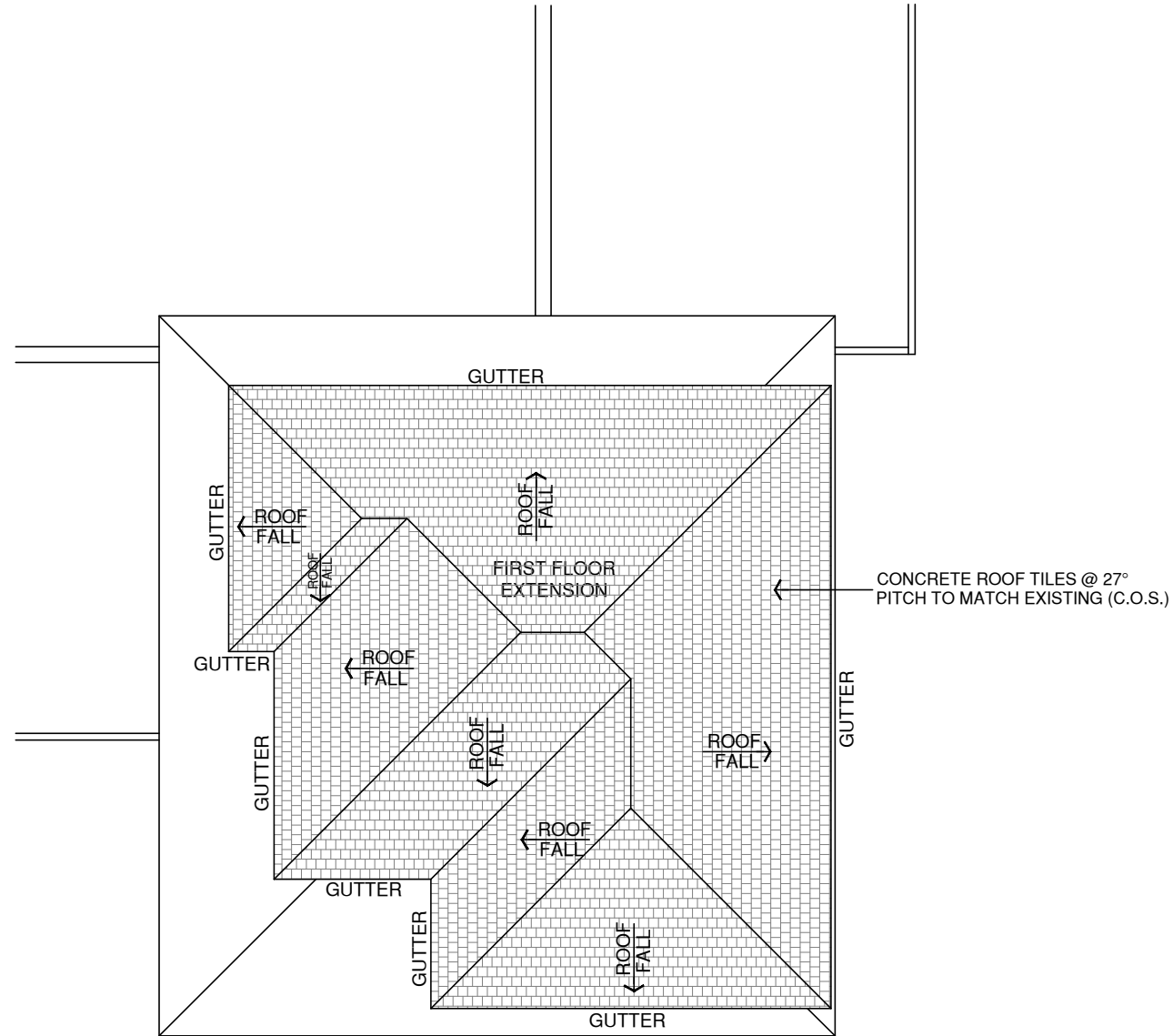
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**FULL NCC/BCA  
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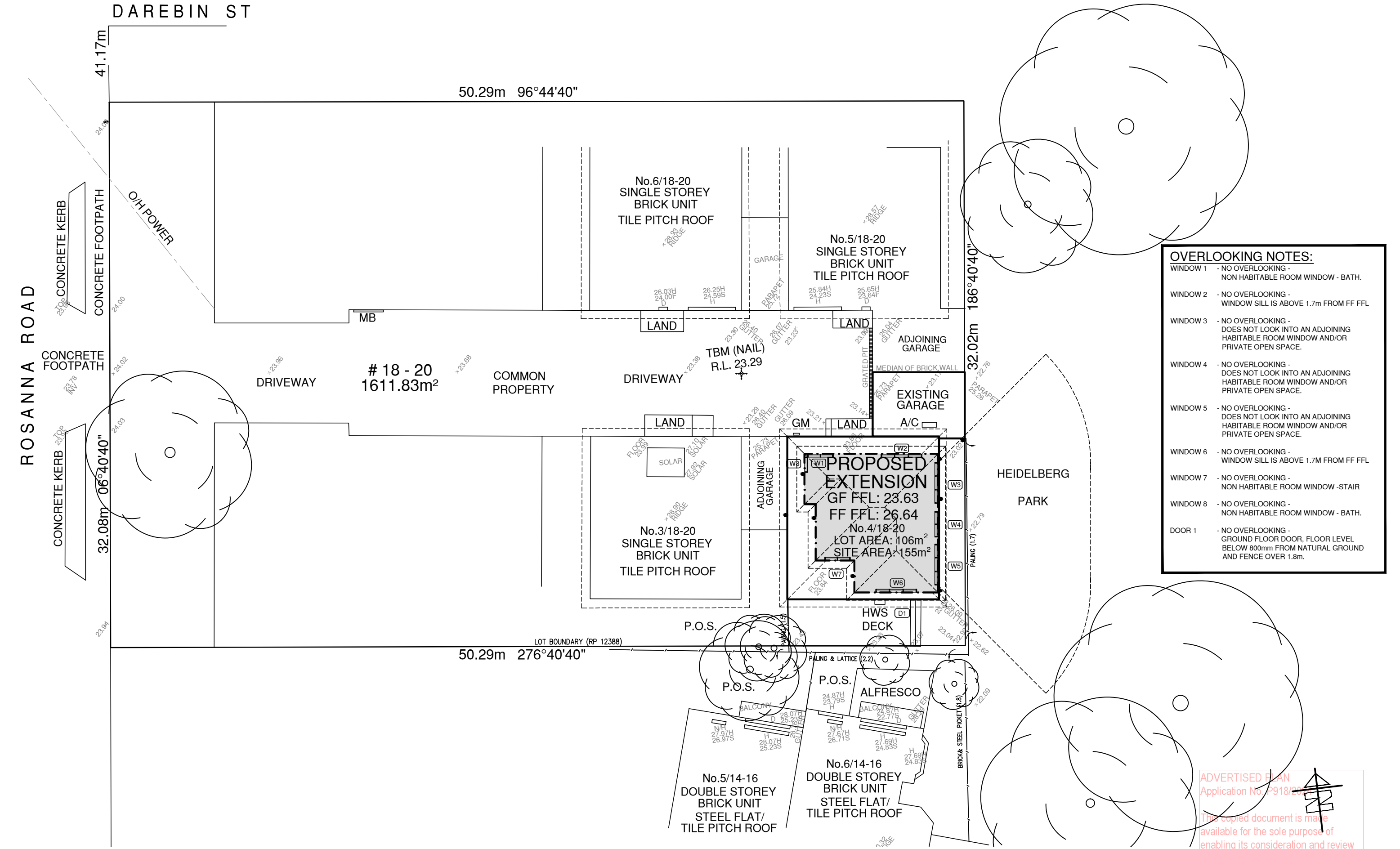
SIGNATURES

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**Client:**

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OVERLOOKING NOTES:	
WINDOW 1	- NO OVERLOOKING - NON HABITABLE ROOM WINDOW - BATH.
WINDOW 2	- NO OVERLOOKING - WINDOW SILL IS ABOVE 1.7m FROM FF FFL
WINDOW 3	- NO OVERLOOKING - DOES NOT LOOK INTO AN ADJOINING HABITABLE ROOM WINDOW AND/OR PRIVATE OPEN SPACE.
WINDOW 4	- NO OVERLOOKING - DOES NOT LOOK INTO AN ADJOINING HABITABLE ROOM WINDOW AND/OR PRIVATE OPEN SPACE.
WINDOW 5	- NO OVERLOOKING - DOES NOT LOOK INTO AN ADJOINING HABITABLE ROOM WINDOW AND/OR PRIVATE OPEN SPACE.
WINDOW 6	- NO OVERLOOKING - WINDOW SILL IS ABOVE 1.7M FROM FF FFL
WINDOW 7	- NO OVERLOOKING - NON HABITABLE ROOM WINDOW -STAIR
WINDOW 8	- NO OVERLOOKING - NON HABITABLE ROOM WINDOW - BATH.
DOOR 1	- NO OVERLOOKING - GROUND FLOOR DOOR, FLOOR LEVEL BELOW 800mm FROM NATURAL GROUND AND FENCE OVER 1.8m.

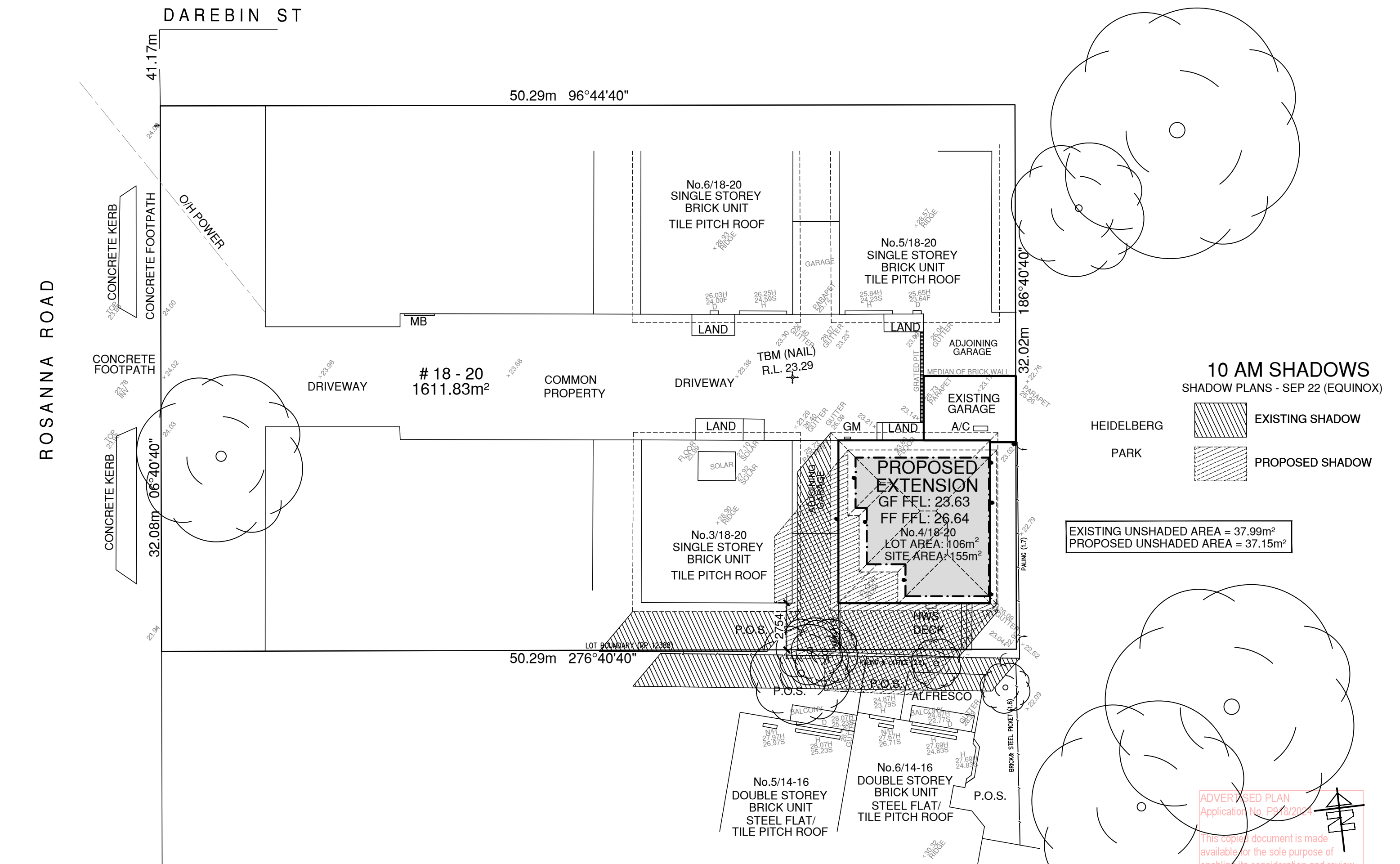
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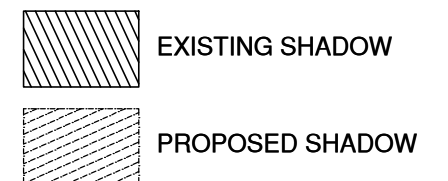


### 10 AM SHADOWS SHADOW PLANS - SEP 22 (EQUINOX)

- HEIDELBERG PARK
- EXISTING SHADOW
- PROPOSED SHADOW

EXISTING UNSHADED AREA = 37.99m<sup>2</sup>  
PROPOSED UNSHADED AREA = 37.15m<sup>2</sup>

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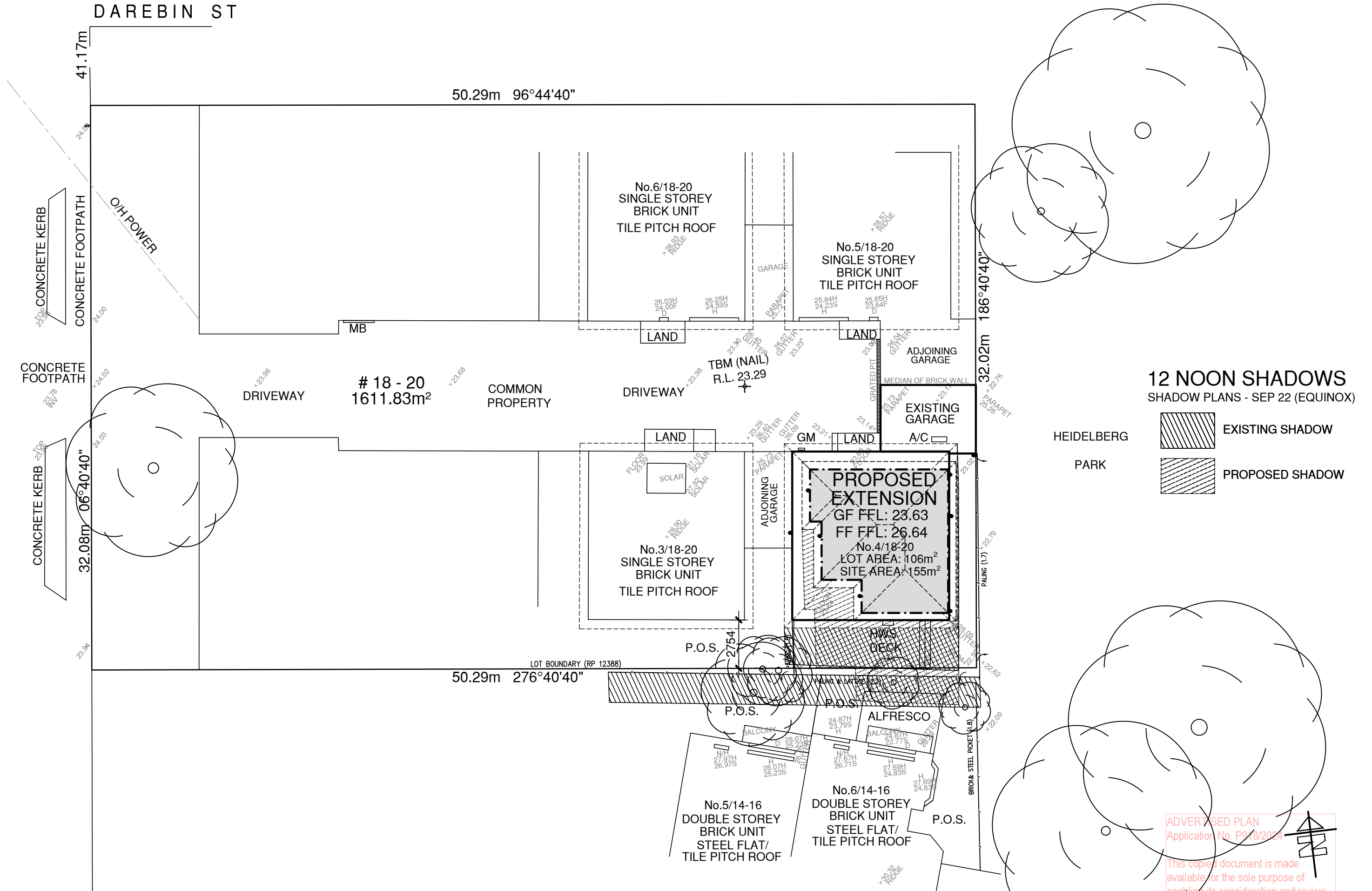
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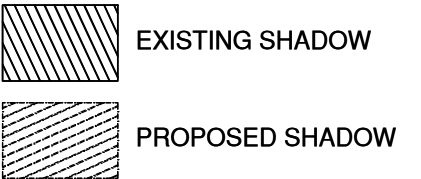
ROSANNA ROAD

DAREBIN ST



## 12 NOON SHADOWS


SHADOW PLANS - SEP 22 (EQUINOX)



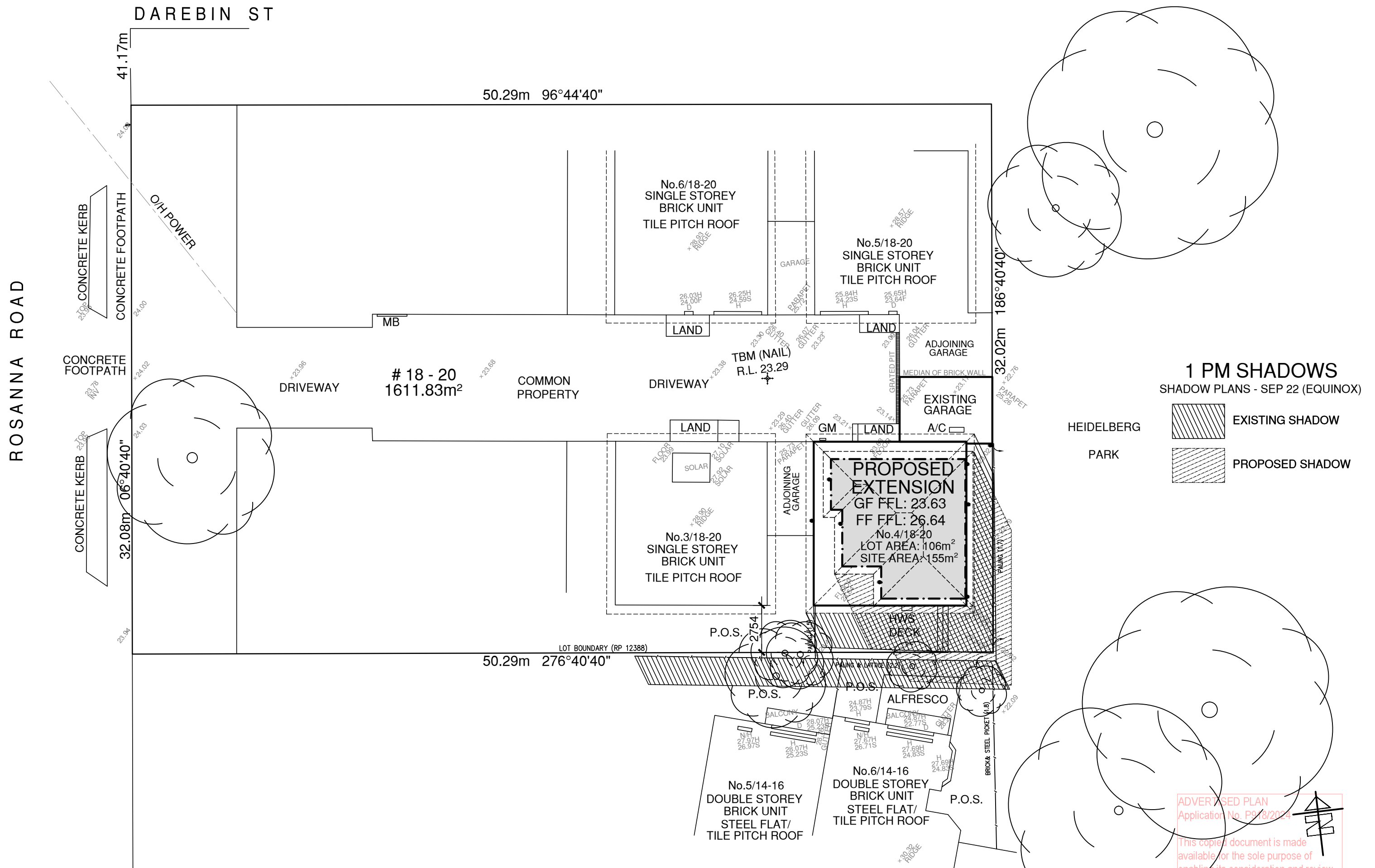
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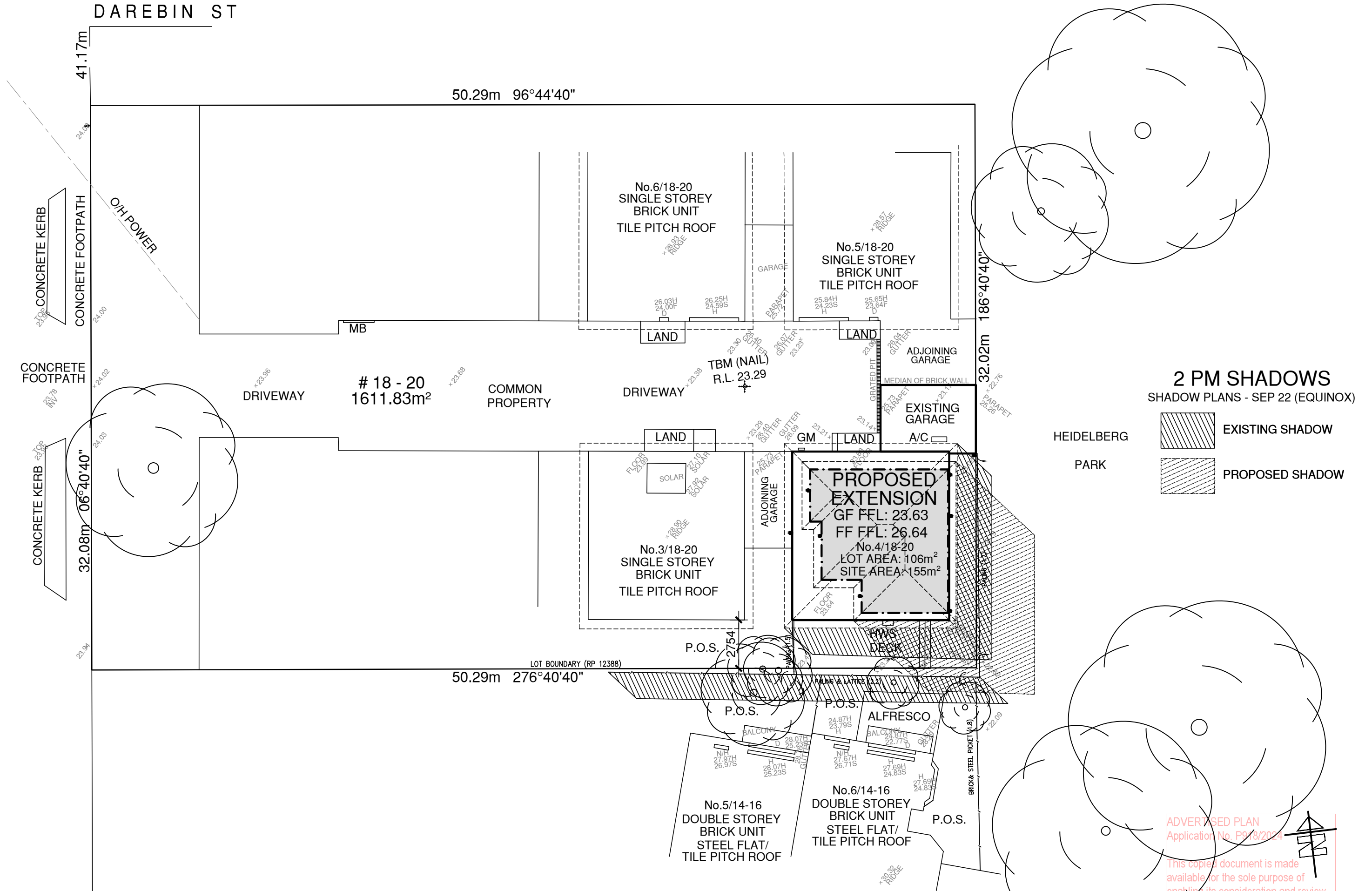




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ROSANNA ROAD


DAREBIN ST

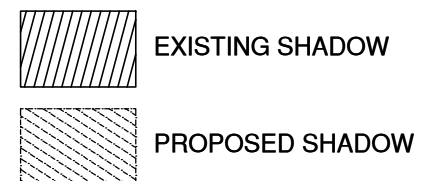


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