

DAREBIN ST

CONCRETE FOOTPATH 41.17m
24.00m 24.00m

50.29m 96°44'40"

Architectural cross-section diagram showing a concrete footpath and curb. The diagram includes labels for 'CONCRETE KERB' and 'CONCRETE FOOTPATH'. A dimension line indicates a height of 24.00 for the concrete footpath. A slope indicator shows a 6° 40' 40" grade. A vertical dimension line on the left indicates a height of 23.78 for the concrete kerb. A horizontal dimension line at the bottom indicates a length of 32.08m.

CONCRETE FOOTPATH

+23.96
DRIVEWAY

18 - 2
1611.83m

COMMON PROPERTY

No.6/18-20
SINGLE STOR.
BRICK UNIT
TILE PITCH RO

No.5/18-20
SINGLE STOR
BRICK UNIT
TILE PITCH RC

~~EXISTING DWELLING~~

P.O.S.

P 12388)

P.O.S.

BALCON

N.H
27.97H
26.97S

28
25

No.5/14-16
DOUBLE STOREY
BRICK UNIT
STEEL FLAT/
TILE PITCH ROOF

HEIDELBERG PARK

**SITE LEVELS AND
FLOOR LEVELS
ARE TO AHD**



FULL NCC/BCA 2022 COMPLIANCE

ADVERTISED PLAN
Application No. P918/2024

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SIGNATURES

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Drawing: EXISTING SITE PLAN	Client: JAMES MONTGOMERY & EMILY CHAMBERS	Job number: 24220	Current Revision: D	Sheet number: 2 of 21
Address: UNIT 4, 18-20 ROSANNA ROAD, HEIDELBERG 3084	Date: 13/11/24	Scale: 1:200	Drawn by: J. MAWDSLEY	Sheet size: A3

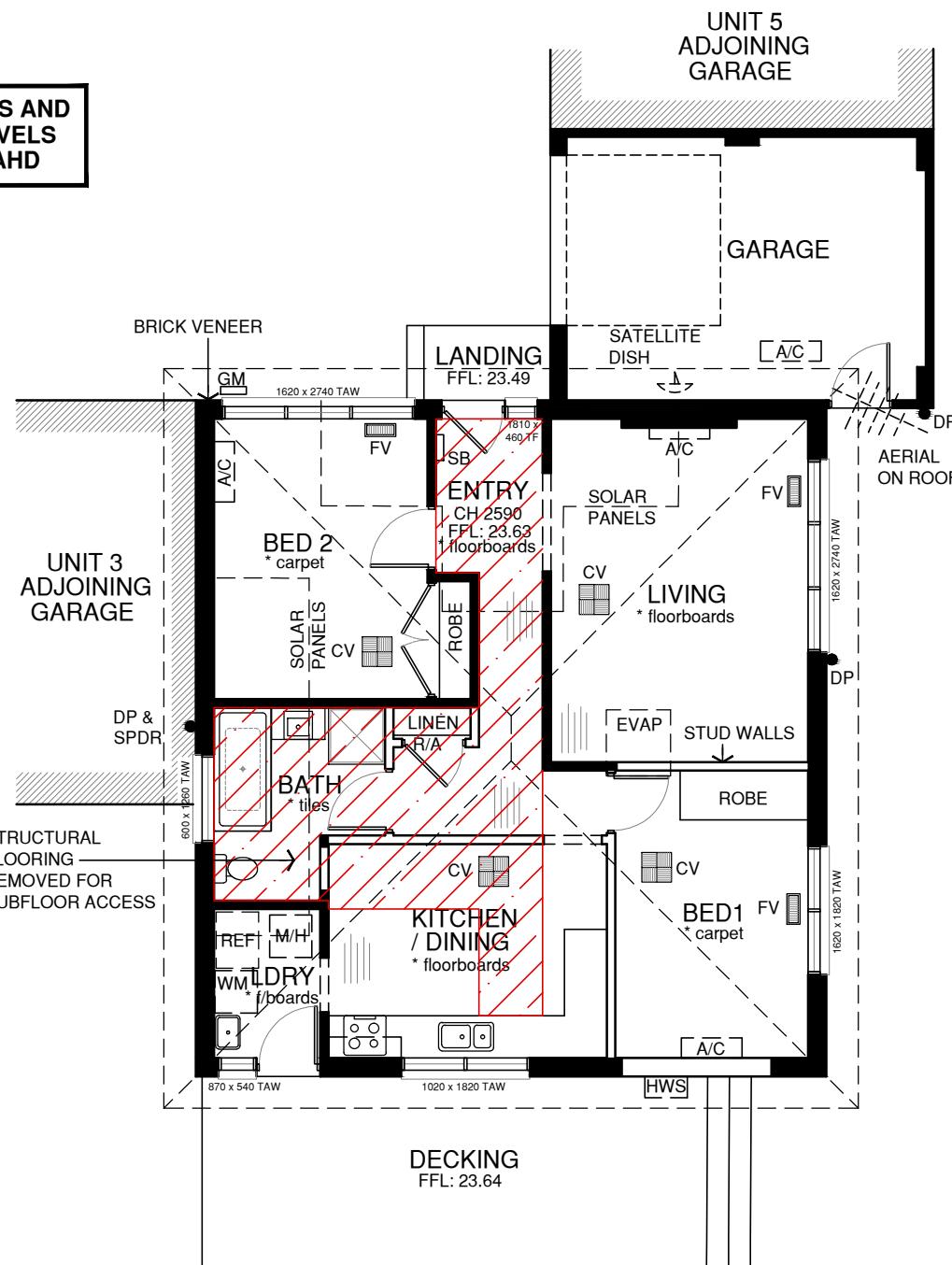
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Building Practitioners Board Registration No. CDB-U 523

SITE LEVELS AND
FLOOR LEVELS
ARE TO AHD



FULL NCC/BCA
2022 COMPLIANCE

DEMOLITION SCHEDULE

REMOVAL/DEMOLITION	=====
EXISTING WALLS TO REMAIN	=====

NOTE:

- DEMOLITION AS REQUIRED BY BUILDER
- BUILDER TO CLEAR SITE (REFER TO SPEC)
- BUILDER TO REMOVE DEMOLITION DEBRIS
- BUILDER TO REMOVE BUILDING DEBRIS
- ALL INTERNAL AND EXTERNAL PAINTING / SURFACE COATINGS BY OWNER

DEMOLITION NOTES:

- ASBESTOS MAY BE PRESENT ONSITE. ASBESTOS MATERIALS TO BE INSPECTED PRIOR TO DEMOLITION. REMOVAL AND DISPOSAL OF ASBESTOS MUST BE CARRIED OUT BY A SUITABLY QUALIFIED CONTRACTOR AND IN ACCORDANCE WITH EPA, DEPARTMENT OF HEALTH, WORKSAFE REGULATIONS AND REQUIREMENTS.
- REMOVE INTERNAL WALLS AND DOORS IN THE WAY OF NEW WORKS AND MAKE GOOD ALL ADJOINING SURFACES AS NECESSARY.
- CREATE NEW OPENING IN EXISTING BED 1 WALL FOR NEW DOOR, RELOCATE EXISTING HOT WATER SERVICE IN THE WAY OF NEW OPENING AND MAKE GOOD WALLS AS NECESSARY.
- DEMOLISH AND REMOVE EXISTING BATHROOM, LIVING CUPBOARD IN THE WAY OF NEW WORKS. CUT, SEAL AND/OR ALTER EXISTING PLUMBING AND ELECTRICAL TO SUIT NEW LAYOUT AND MAKE GOOD ALL ADJOINING SURFACES AS NECESSARY.
- REMOVE EXISTING ROOF TILES, BATTENS AND CUT BACK ROOF IN WAY OF NEW FIRST FLOOR OVER, CONSTRUCT FIRST FLOOR AND TIE IN EXISTING ROOF AS NECESSARY. RE-USE EXISTING ROOF TILES WHERE POSSIBLE (TILES TO BE CHECKED FOR QUALITY PRIOR TO INSTALLATION) AND MAKE GOOD ALL SURFACES AS NECESSARY.

ADVERTISED PLAN
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Drawing:
EXISTING FLOOR PLAN
& DEMOLITION NOTES

Client:
JAMES MONTGOMERY
& EMILY CHAMBERS

Job number:
24220

Current Revision:
D

Sheet number:
3 of 21

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DAREBIN ST

LEGAL POINT OF DISCHARGE
LPOD TO BE CONFIRMED ONSITE PRIOR TO
WORKS COMMENCING. PLUMBER AND
BUILDER TO CONFIRM EXISTING RUNS AND
CONNECT NEW DOWNPINES INTO STORM
WATER LEGAL POINT OF DISCHARGE ONCE
ESTABLISHED TO AUSTRALIAN STANDARDS

SITE NOTES:

- PROVIDE SLIGHT GROUND SCRAPE AS REQUIRED TO OTHER AREAS TO ACHIEVE A MINIMUM OF 150mm CLEARANCE TO PERIMETER OF SLAB AND MIN 400mm CLEARANCE TO UNDERSIDE OF BEARERS AND TO CREATE A FLAT BUILDING AREA. ALL EXCAVATIONS ARE TO EXTEND MINIMUM 1000mm PAST PERIMETER OF NEW WORK AND ARE TO BE GRADED AWAY FROM NEW WALL AS NECESSARY.
- ALL NEW DOWNPipes TO BE CONNECTED TO STORM WATER SYSTEM AND DISCHARGED TO LEGAL POINT TO ENGINEERS CIVIL DESIGN. LOCATION TO BE CONFIRMED BY PLUMBER & BUILDER ONSITE AND MAY CHANGE TO SUIT EXISTING CONDITIONS.
- ALL PLANS TO BE READ IN CONJUNCTION WITH SOIL REPORT AND ENGINEERING DOCUMENTS. FOOTINGS/SLAB FOUNDED TO SUIT SOIL REPORT AND ENGINEERS REQUIREMENTS
- PROVIDE TERMITE TREATMENT TO NEW TIMBER SUB FLOOR & SLAB AREAS ONLY IN ACCORDANCE WITH A.S. 3660.1 2014
- ALL LEVELS INCLUDING FLOOR LEVELS & SITE LEVELS TO BE CONFIRMED ONSITE BY BUILDER.

AREA SUMMARY

<u>AREAS</u>	
EXISTING DWELLING	85.46m ²
EXISTING GARAGE	20.70m ²
PROPOSED EXTENSION	57.86 m ²
TOTAL	164.02m²
<u>SITE AREA</u>	
SITE AREA	155m ² (APRX)
SITE COVERAGE	68.49%
SITE PERMEABILITY	31.51%
HARD COVER	68.49%
GARDEN AREA	N/A

SITE LEVELS AND FLOOR LEVELS ARE TO AHD

HEIDELBERG PARK

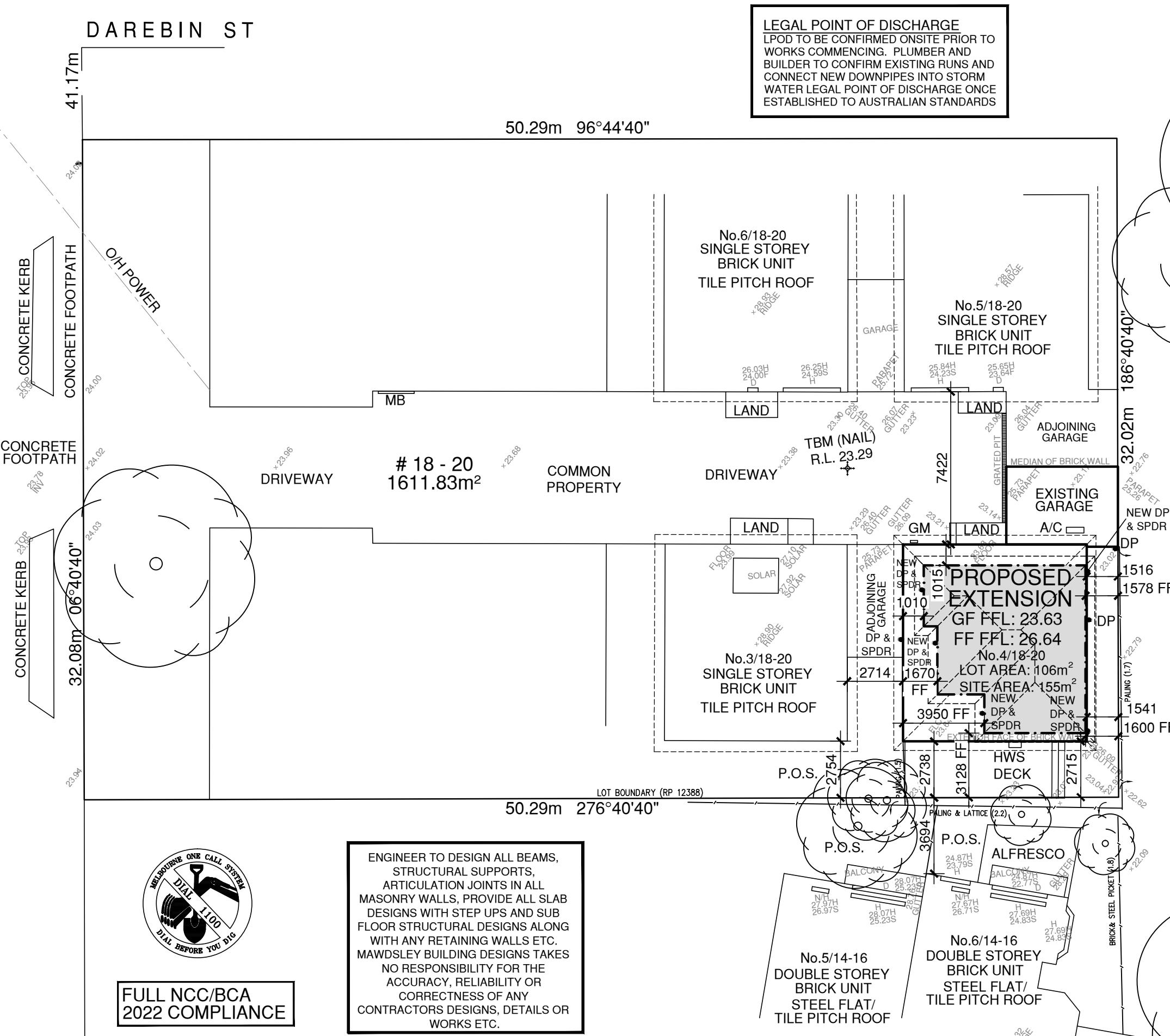
**APPROVAL ITEMS SUBJECT TO RBS REVIEW
REPORT AND CONSENT REQUIRED - REG 79 - NORTH,
WEST AND EAST SETBACKS NON COMPLIANT.**

FIRE ENGINEERS REPORT MOST LIKELY REQUIRED FOR WESTERN SETBACKS, FF BATHROOM WINDOW FACING A BOUNDARY, EAVES WITHIN ALLOWABLE DISTANCES. BRS TO CONFIRM



FULL NCC/BCA 2022 COMPLIANCE

ENGINEER TO DESIGN ALL BEAMS,
STRUCTURAL SUPPORTS,
ARTICULATION JOINTS IN ALL
MASONRY WALLS, PROVIDE ALL SLAB
DESIGNS WITH STEP UPS AND SUB
FLOOR STRUCTURAL DESIGNS ALONG
WITH ANY RETAINING WALLS ETC.
MAWDSEY BUILDING DESIGNS TAKES
NO RESPONSIBILITY FOR THE
ACCURACY, RELIABILITY OR
CORRECTNESS OF ANY
CONTRACTORS DESIGNS, DETAILS OR
WORKS ETC.



ADVERTISED PLAN
Application No. P916/2024

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WINDOW / DOOR SCHEDULE

No.	SIZE (H x W)	DESCRIPTION
W1	1200 x 1500 SAFETY GL	ALUMINIUM AWNING DBL GLZ OBS
W2	550 x 2400	ALUMINIUM AWNING DBL GLZ
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W4	1500 x 1500	ALUMINIUM AWNING DBL GLZ
W5	1500 x 2400	ALUMINIUM AWNING DBL GLZ
W6	550 x 2400	ALUMINIUM AWNING DBL GLZ
W7	1200 x 1500	ALUMINIUM AWNING DBL GLZ
W8	1200 x 900 SAFETY GL	ALUMINIUM AWNING DBL GLZ OBS
D1	2100 x 2100	ALUM SLIDING DOOR DBL GLZ
D2	2040 x 820 LIFT OFF HIN	INTERNAL HINGED DOOR
D3	2040 x 720 UNDER STAIR	INTERNAL HINGED DOOR
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D5	2040 x 820	INTERNAL HINGED DOOR
D6	2040 x 820	INTERNAL HINGED DOOR
D7	2040 x 820 CUPB	INTERNAL HINGED DOOR

* SIZES SHOWN ARE NOMINAL SIZES ONLY AND ARE SUBJECT TO MANUFACTURERS STANDARD SIZE AND PROFILE.

* ALL EXISTING WINDOW AND DOOR OPENINGS ARE TO BE SITE CHECKED PRIOR TO ORDERING NEW/REPLACEMENT WINDOWS.

* ALL GLAZING IS TO COMPLY WITH A.S 1288. (2006) AND A.S. 2047 (2001)

* ALL TIMBER & STEEL LINTELS TO ENGINEERS DESIGN.

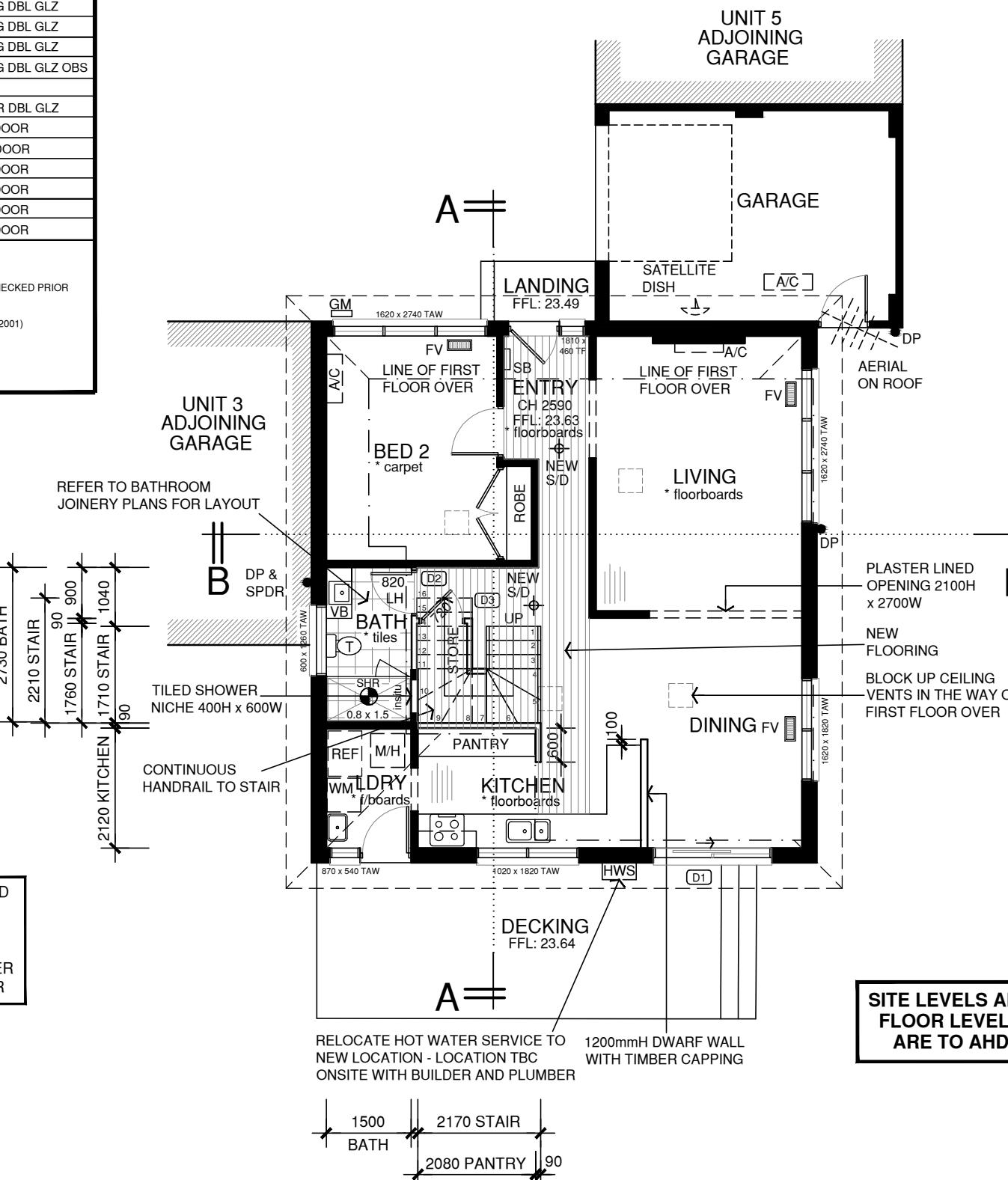
* REFER TO ENERGY RATING NOTES FOR GLAZING TYPES

ENGINEER TO DESIGN ALL BEAMS, STRUCTURAL SUPPORTS, ARTICULATION JOINTS IN ALL MASONRY WALLS, PROVIDE ALL SLAB DESIGNS WITH STEP UPS AND SUB FLOOR STRUCTURAL DESIGNS ALONG WITH ANY RETAINING WALLS ETC. MAWDSLEY BUILDING DESIGNS TAKES NO RESPONSIBILITY FOR THE ACCURACY, RELIABILITY OR CORRECTNESS OF ANY CONTRACTORS DESIGNS, DETAILS OR WORKS ETC.

NOTE: PROVIDE VAPOUR PERMEABLE MEMBRANE TO ALL PROPOSED EXTERNAL WALLS IN ACCORDANCE WITH AS 4200 PART 1 & 2 & CLIMATE ZONES 6, 7 & 8.

- DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.
- BUILDER / CONTRACTOR IS TO CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS OR OF ORDERING MATERIALS.
- ALL ITEMS REQUIRED FOR COMPLETION OF THE BUILDING, WHILST NOT NECESSARY OR INCIDENTAL FOR THE COMPLETION OF THE BUILDING SHALL BE INCORPORATED AND SHALL CONFORM TO GOOD BUILDING TRADE PRACTICES. MANUFACTURERS WRITTEN RECOMMENDATIONS WHERE APPLICABLE.
- ALL WORKS SHALL COMPLY WITH RELEVANT LOCAL HEALTH AND COUNCIL REQUIREMENTS, LOCAL BUILDING REGULATIONS AND RELEVANT A.S. CODES
- DRAWINGS TO BE READ IN CONJUNCTION ENGINEERS PLANS AND DESIGN

- ALL MASONRY OPENINGS GREATER THAN 1.0m TO HAVE WEEP HOLES PROVIDED AT 1.2m CENTRED WITH HEAD/SILL FLASHING PROVIDED IN ACCORDANCE WITH AS 2904
- SUB FLOOR VENTILATION TO BE PROVIDED AT A MINIMUM RATE OF 6000mm² PER METER RUN OF EXTERNAL WALL AS PER BCA.
- ALL EXHAUST FANS TO BE DUCTED EXTERNALLY VIA DUCTING IN ACCORDANCE WITH AS 1668.2. NOTE: KITCHEN RANGEHOOD EXHAUST MIN: 25L/S BATH/ENS/WC EXHAUST MIN: 50L/S AS PER NCC 10.8.2
- BALUSTRADE TO HAVE OPENINGS RESTRICTED TO MAXIMUM 125mm OR WIRE BALUSTRADE TO BCA TABLE 11.3.4.



S/D HARD WIRED SMOKE DETECTORS ALL INTERCONNECTED

AJ MASONRY ARTICULATION JOINT

EDB ENGINEER DESIGNED BEAMS

LH LIFT-OFF HINGES TO W.C. DOOR

FG FULLY GLAZED DOOR

⊕ EX. FAN - UNDER CUT DOOR 20mm AND CONNECT TO LIGHT SWITCH

⊖ EXHAUST FAN

* BLOCK UP EXISTING OPENS AS SHOWN TO SUIT NEW LAYOUT

- STEPS TO BE PROVIDED TO AREAS WITH HEIGHTS/STEP DOWNS GREATER THAN 190mm - MAX 190mm RISER & MIN 240mm TREAD.
- STAIRCASE & BALUSTRADE TO BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS1170.1.
- SLIP RESISTANCE IN ACCORDANCE WITH AS4586 - NOT LESS THAN P3 FOR INTERNAL TREADS AND NOT LESS THAN P4 FOR EXTERNAL TREADS

THE BUILDER AND SUB-CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THE BUILDER IS TO CHECK THE CONDITION OF EXISTING STRUCTURES WHERE NEW WORKS TAKE PLACE AND TAKE NECESSARY STEPS TO UPGRADE EXISTING STRUCTURES TO ENSURE COMPLIANCE WITH ALL RELEVANT CURRENT CODES AND STANDARDS

FOAM CLADDING:
FOAM CLADDING IS TO CONFORM TO AND BE COMPLIANT WITH THE NCC/BCA 2022 AND MUST MEET THE PERFORMANCE REQUIREMENTS AS STATED IN THE BCA. ONLY APPROVED CLADDING OPTIONS THAT HAVE BEEN REVIEWED AND APPROVED BY THE RESPONSIBLE BUILDING SURVEYOR ARE TO BE USED

ADVERTISED PLAN
Application No. P9180224

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Address: UNIT 4, 18-20 ROSANNA ROAD, HEIDELBERG 3084		Date: 13/11/24	Scale: 1:100	Drawn by: J. MAWDSLEY	Sheet size: A3	

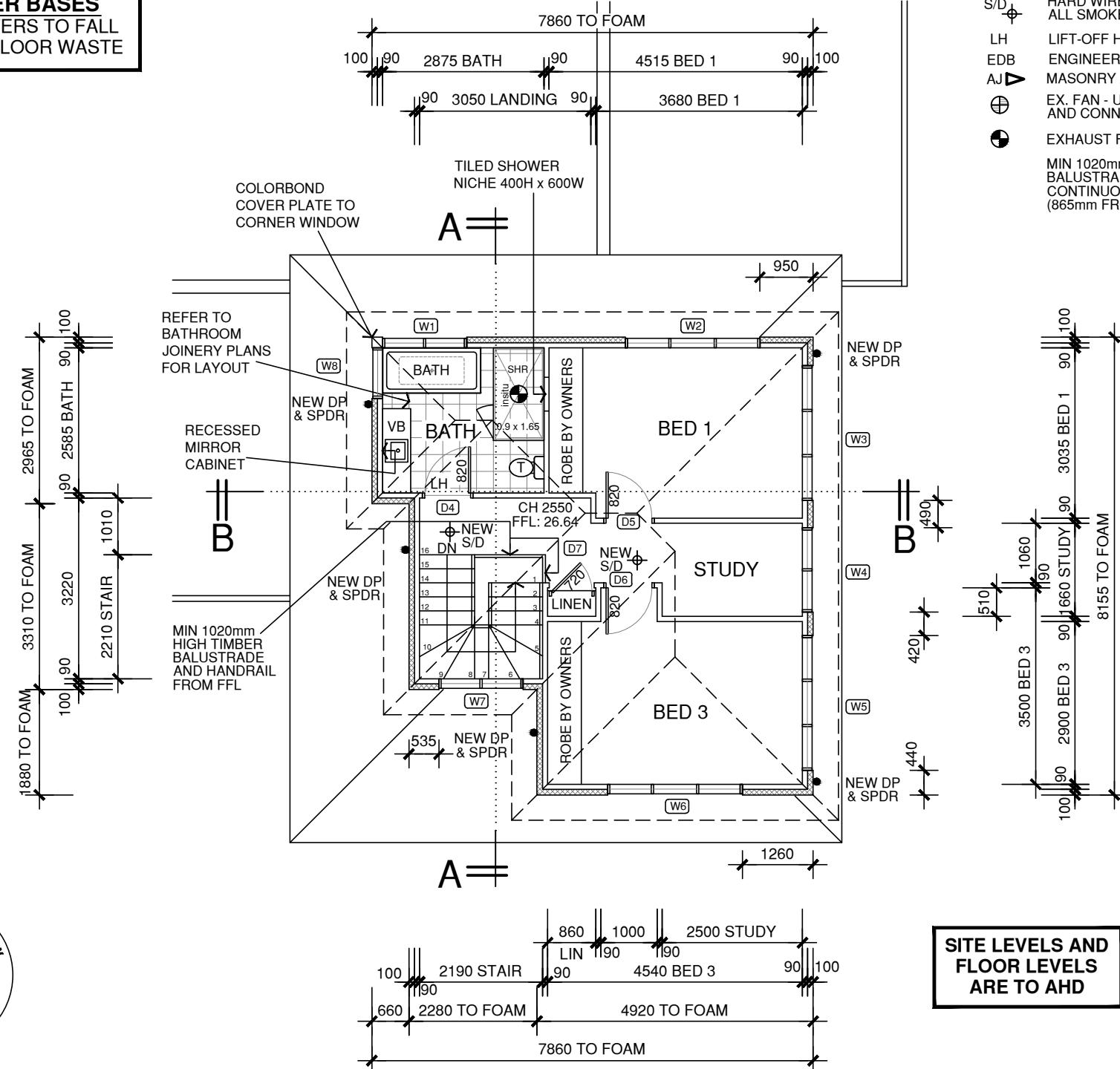
WINDOW OPENINGS
OPENABLE WINDOWS WITH SILL HEIGHTS LESS THAN 1.7m ABOVE FIRST FLOOR LEVEL AND/OR 2.0m ABOVE GROUND LINES TO BE RESTRICTED TO ONLY 124mm TO COMPLY WITH BCA 11.3.7.

ENGINEER TO DESIGN ALL BEAMS, STRUCTURAL SUPPORTS, ARTICULATION JOINTS IN ALL MASONRY WALLS, PROVIDE ALL SLAB DESIGNS WITH STEP UPS AND SUB FLOOR STRUCTURAL DESIGNS ALONG WITH ANY RETAINING WALLS ETC. MAWDSLEY BUILDING DESIGNS TAKES NO RESPONSIBILITY FOR THE ACCURACY, RELIABILITY OR CORRECTNESS OF ANY CONTRACTORS DESIGNS, DETAILS OR WORKS ETC.

NOTE: PROVIDE VAPOUR PERMEABLE MEMBRANE TO ALL PROPOSED EXTERNAL WALLS IN ACCORDANCE WITH AS 4200 PART 1 & 2 & CLIMATE ZONES 6, 7 & 8.

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SHOWER BASES
ALL SHOWERS TO FALL 1:80 TO A FLOOR WASTE



FULL NCC/BCA 2022 COMPLIANCE

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Address: UNIT 4, 18-20 ROSANNA ROAD, HEIDELBERG 3084		Date: 13/11/24	Scale: 1:100	
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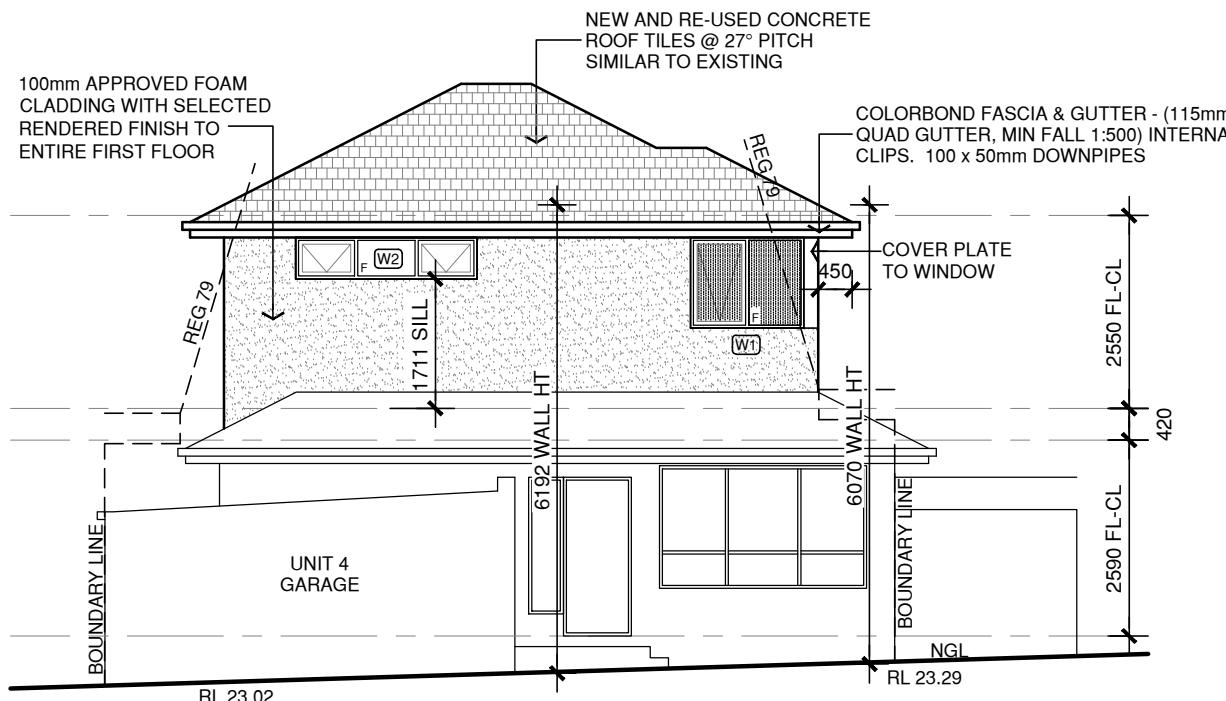
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WINDOW OPENINGS
OPENABLE WINDOWS WITH SILL HEIGHTS LESS THAN 1.7m ABOVE FIRST FLOOR LEVEL AND/OR 2.0m ABOVE GROUND LINES TO BE RESTRICTED TO ONLY 124mm TO COMPLY WITH BCA 11.3.7.

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NORTH ELEVATION

GLAZING BANDS ARE REQUIRED TO FULL HEIGHT DOORS AND WINDOWS WHICH CAN BE MISTAKEN FOR AN OPENING.

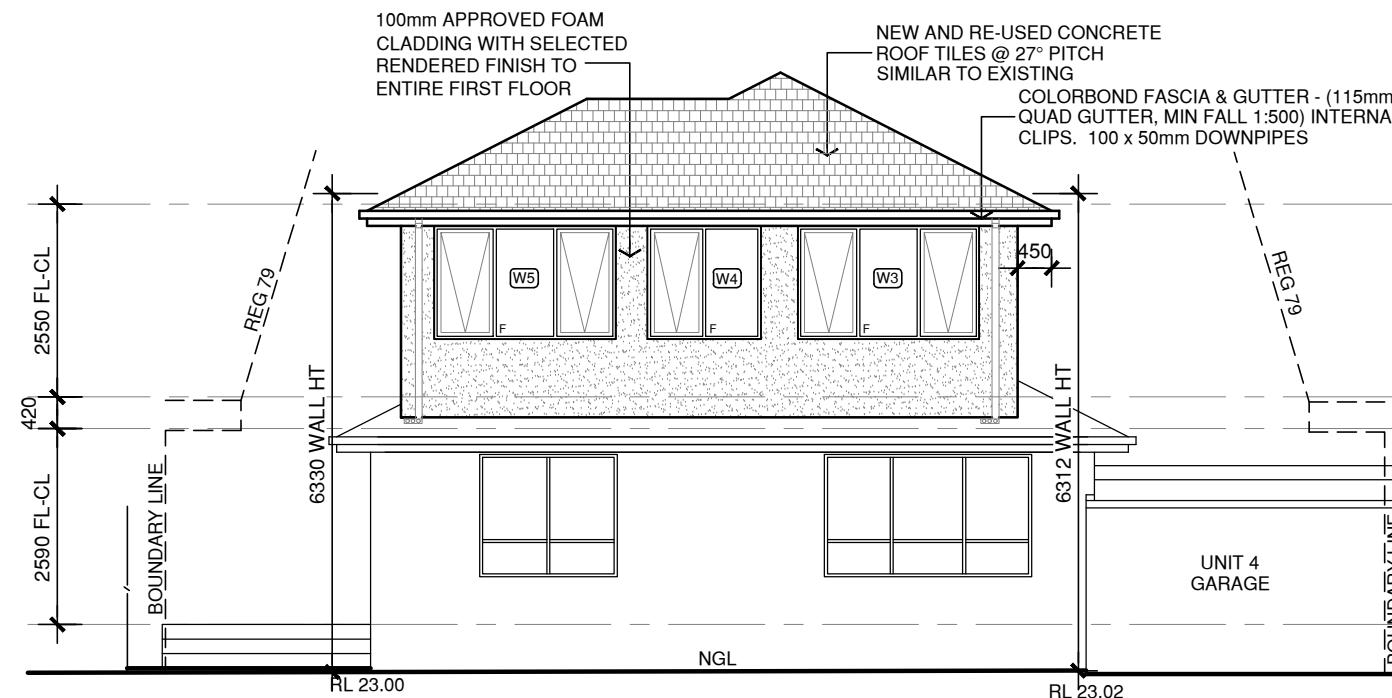
MARKING MUST BE IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT LOCATED SO THAT:

- THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR; AND
- THE LOWER EDGE IS NOT MORE THAN 1.2m ABOVE THE FLOOR.

A BAND IS NOT REQUIRED WHERE:

- THE HEIGHT OF THE GLAZING IS NOT MORE THAN 1m;
- THE WIDTH OF THE GLAZING IS NOT MORE THAN 500mm;
- THERE IS NO GLAZING WITHIN 700mm OF THE FLOOR.

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EAST ELEVATION



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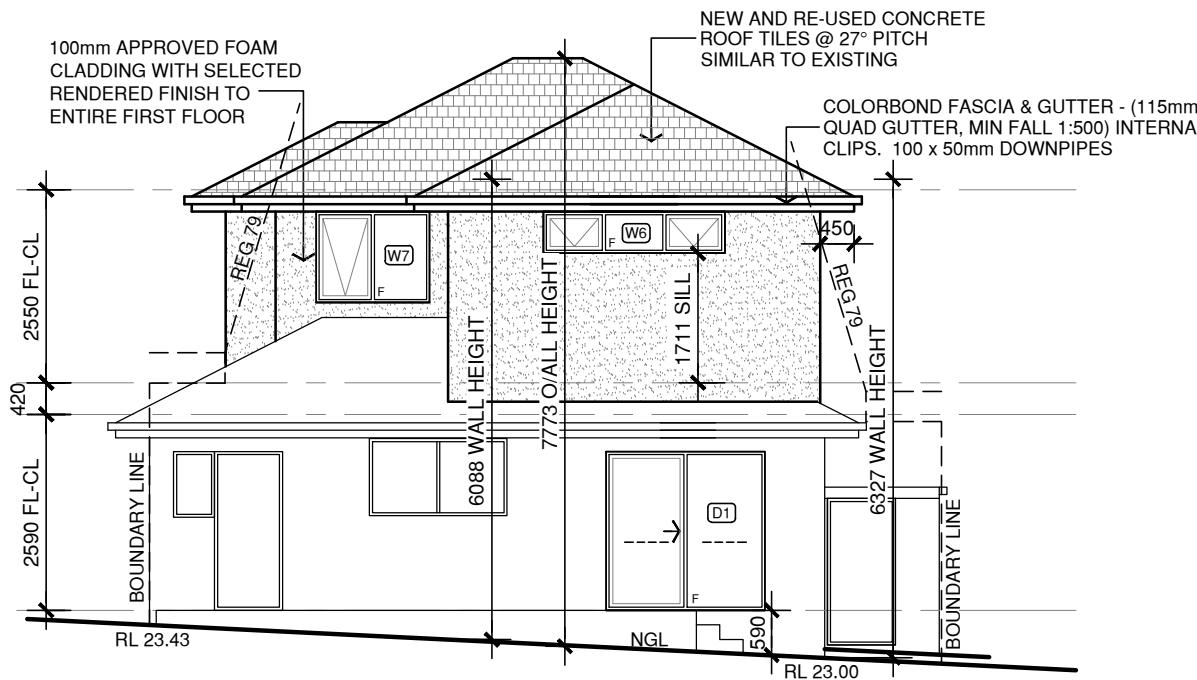
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SOUTH ELEVATION

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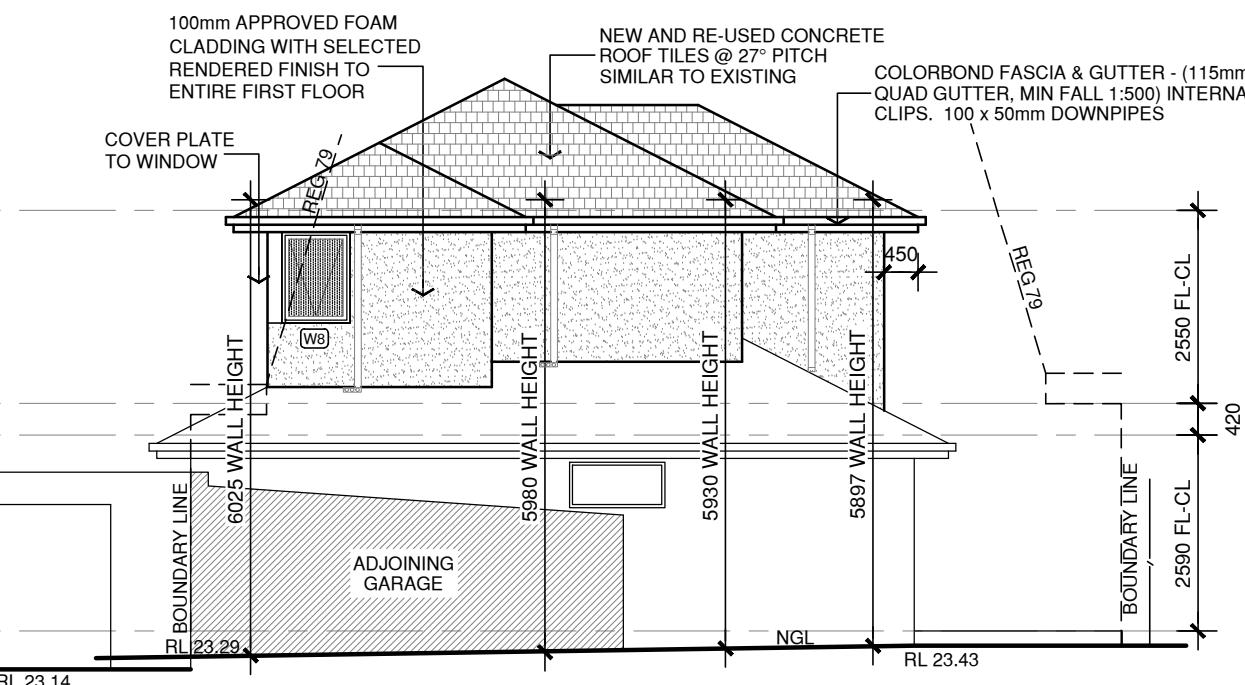
MARKING MUST BE IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT LOCATED SO THAT:

- THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR; AND
- THE LOWER EDGE IS NOT MORE THAN 1.2m ABOVE THE FLOOR.

A BAND IS NOT REQUIRED WHERE:

- THE HEIGHT OF THE GLAZING IS NOT MORE THAN 1m;
- THE WIDTH OF THE GLAZING IS NOT MORE THAN 500mm;
- THERE IS NO GLAZING WITHIN 700mm OF THE FLOOR.

FOAM CLADDING:
FOAM CLADDING IS TO CONFORM TO AND BE COMPLIANT WITH THE NCC/BCA 2022 AND MUST MEET THE PERFORMANCE REQUIREMENTS AS STATED IN THE BCA. ONLY APPROVED CLADDING OPTIONS THAT HAVE BEEN REVIEWED AND APPROVED BY THE RESPONSIBLE BUILDING SURVEYOR ARE TO BE USED



WEST ELEVATION



FULL NCC/BCA 2022 COMPLIANCE

ADVERTISED PLAN
Application No. P918/2024

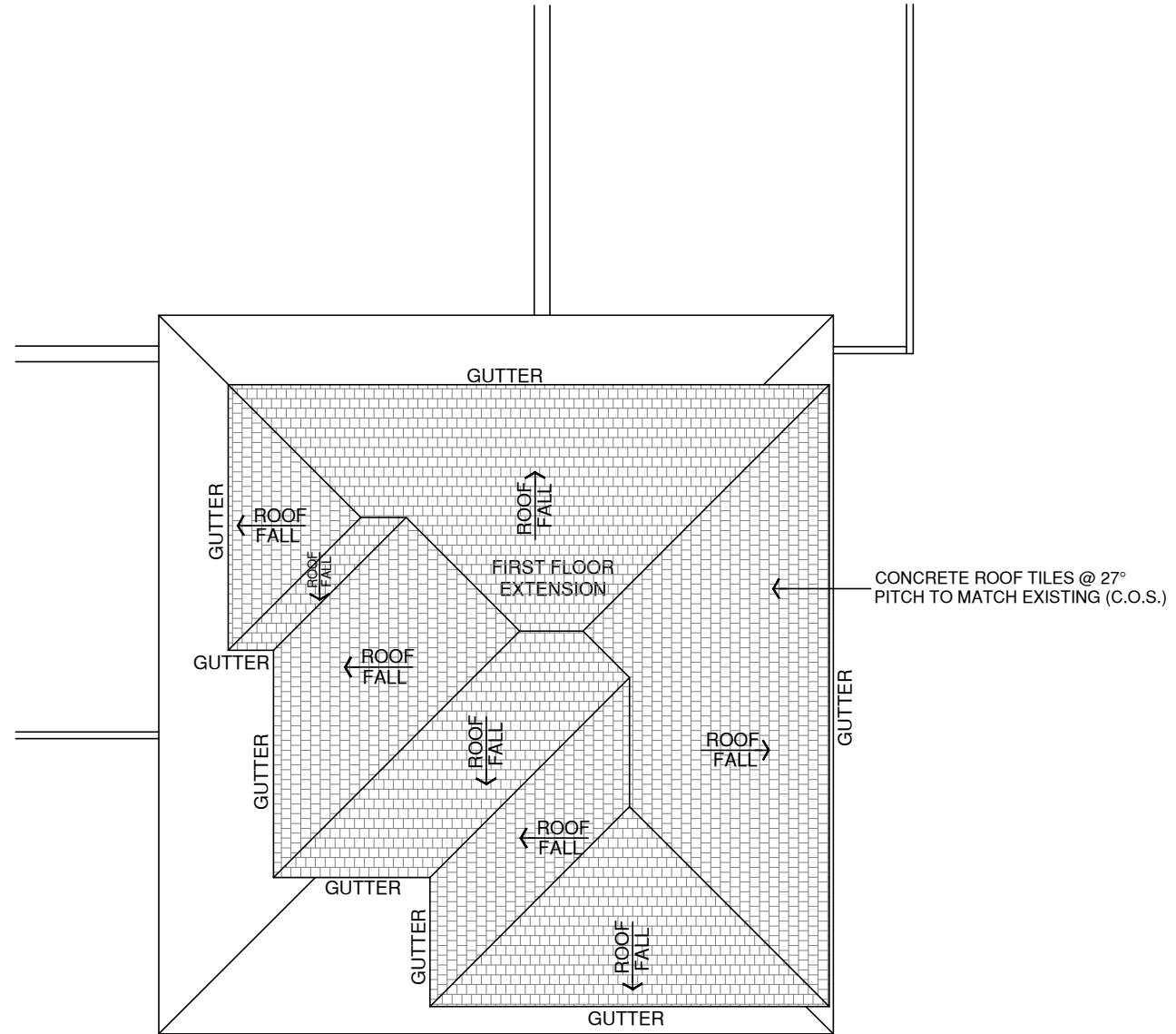
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ADVERTISED
Application No. P918/2024

**FULL NCC/BCA
2022 COMPLIANCE**

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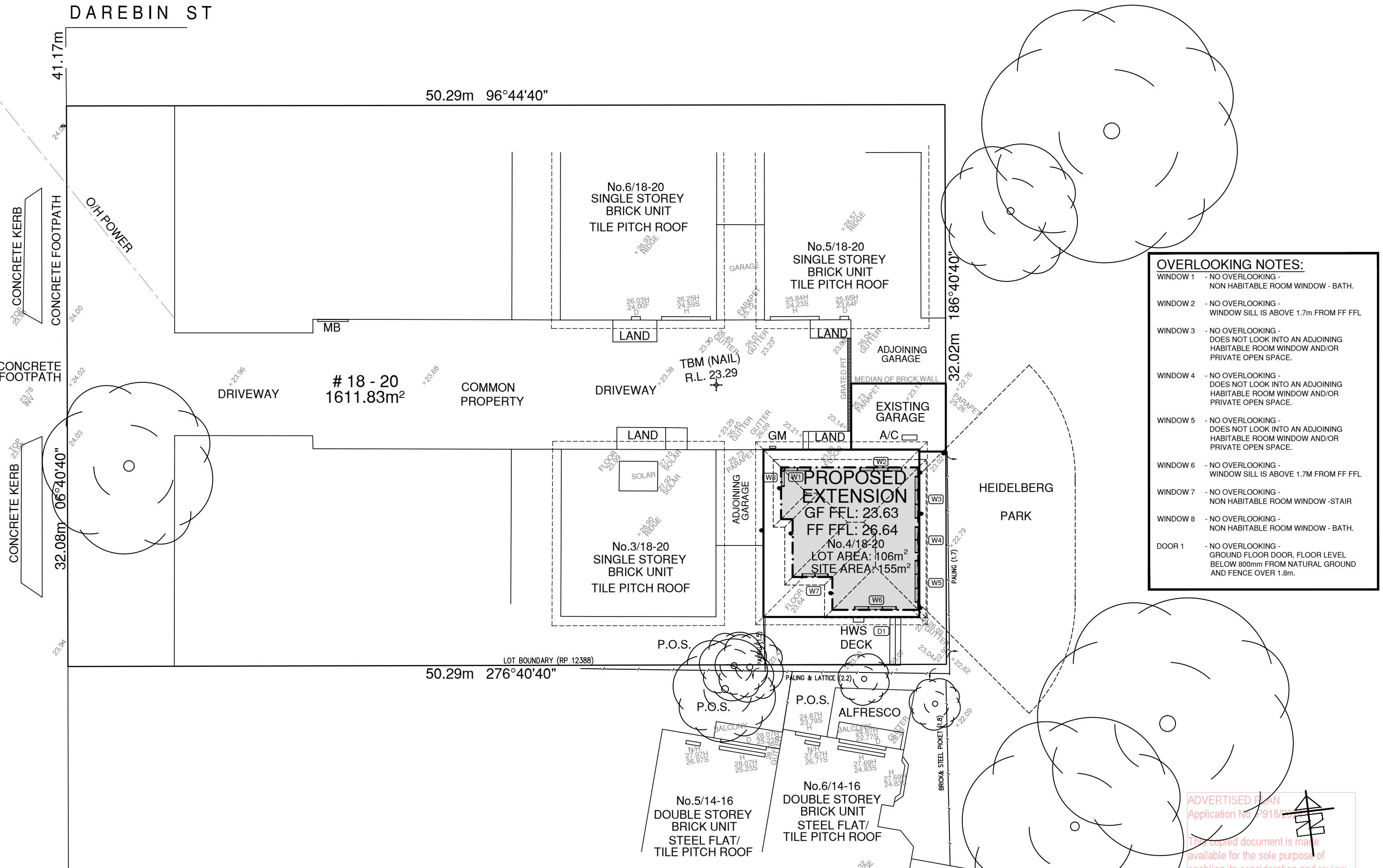
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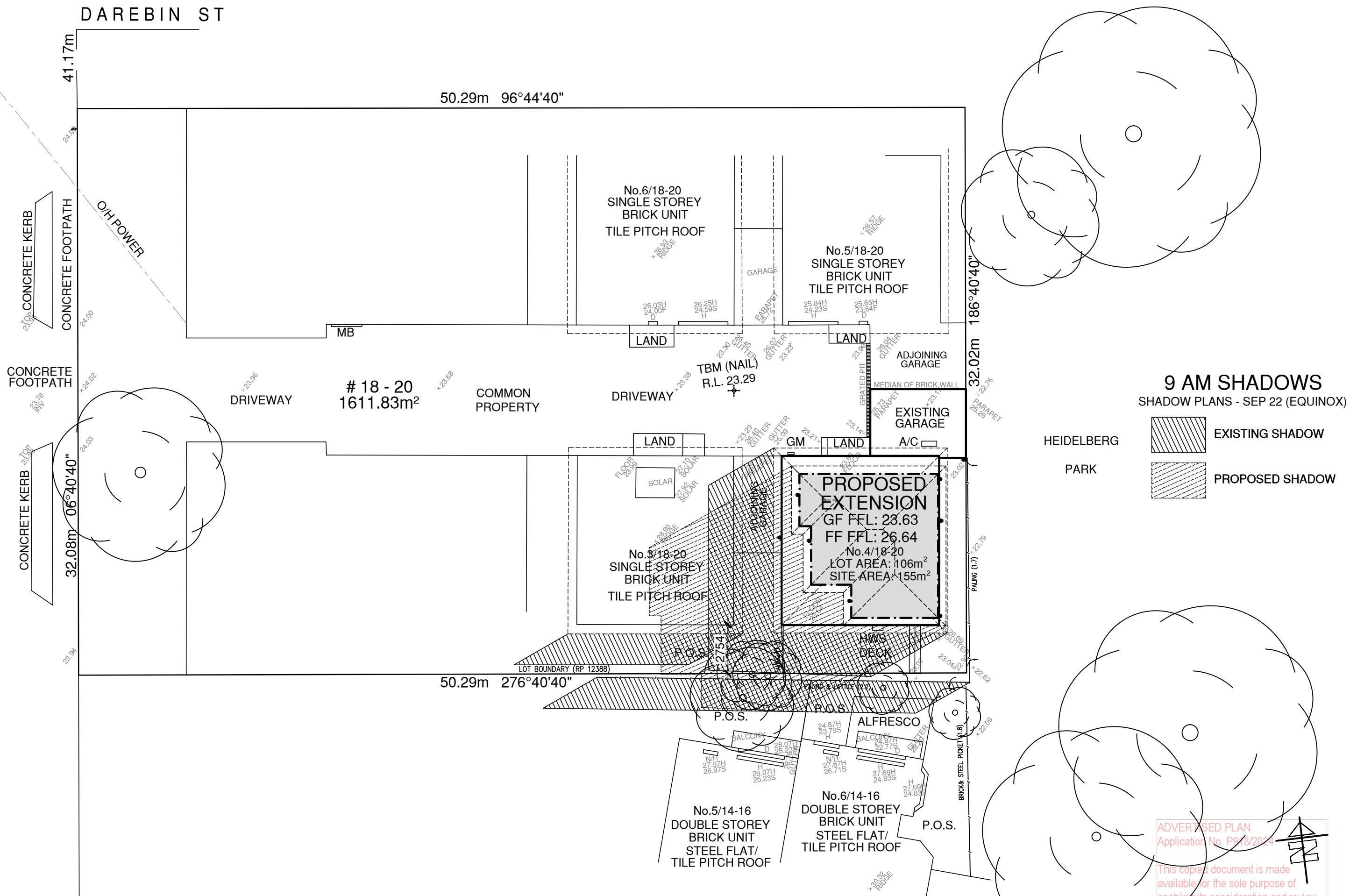
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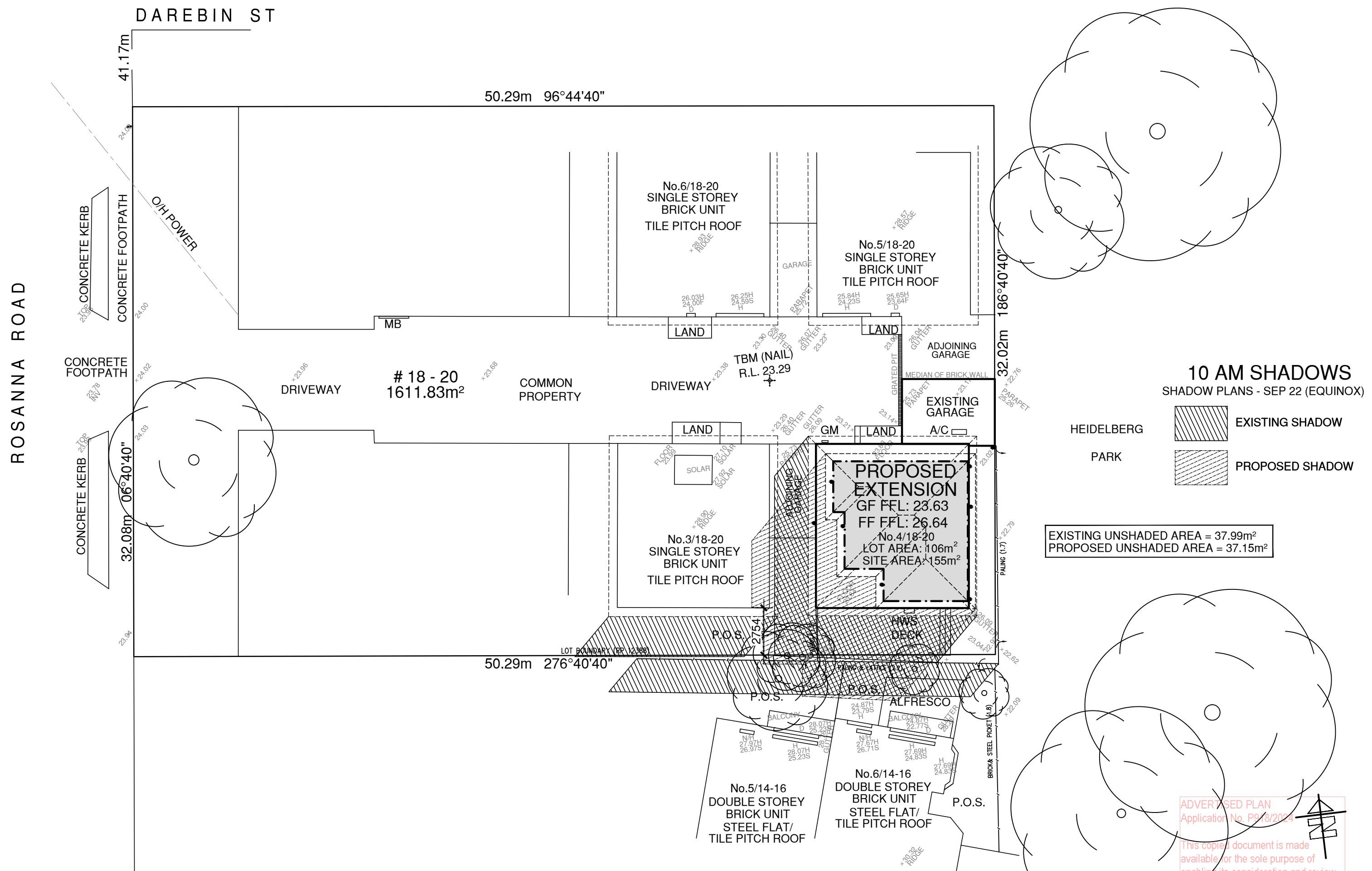


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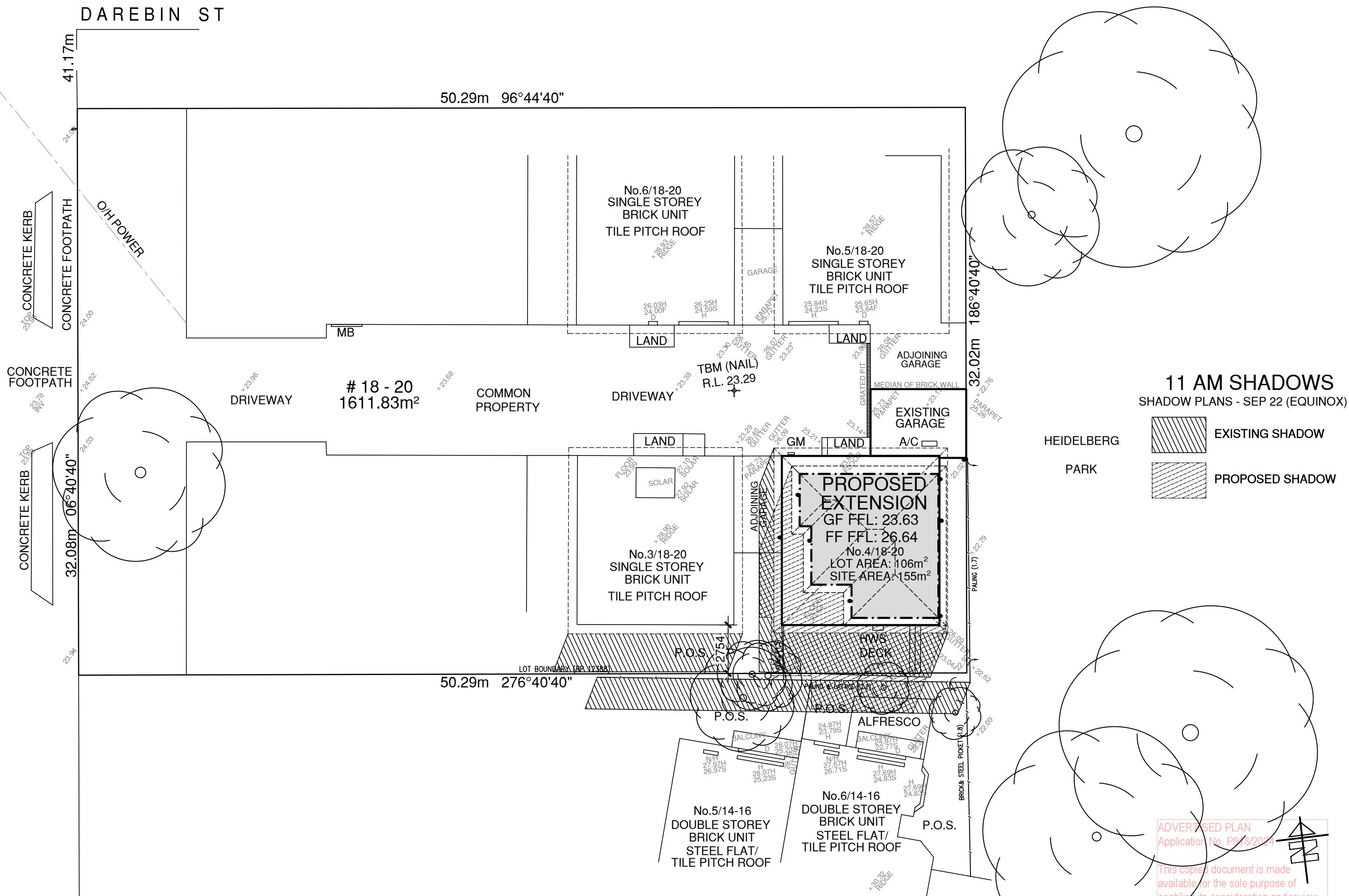


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11 AM SHADOWS
SHADOW PLANS - SEP 22 (EQUINOX)



ADVERTISED PLAN
Application No. P918/2024

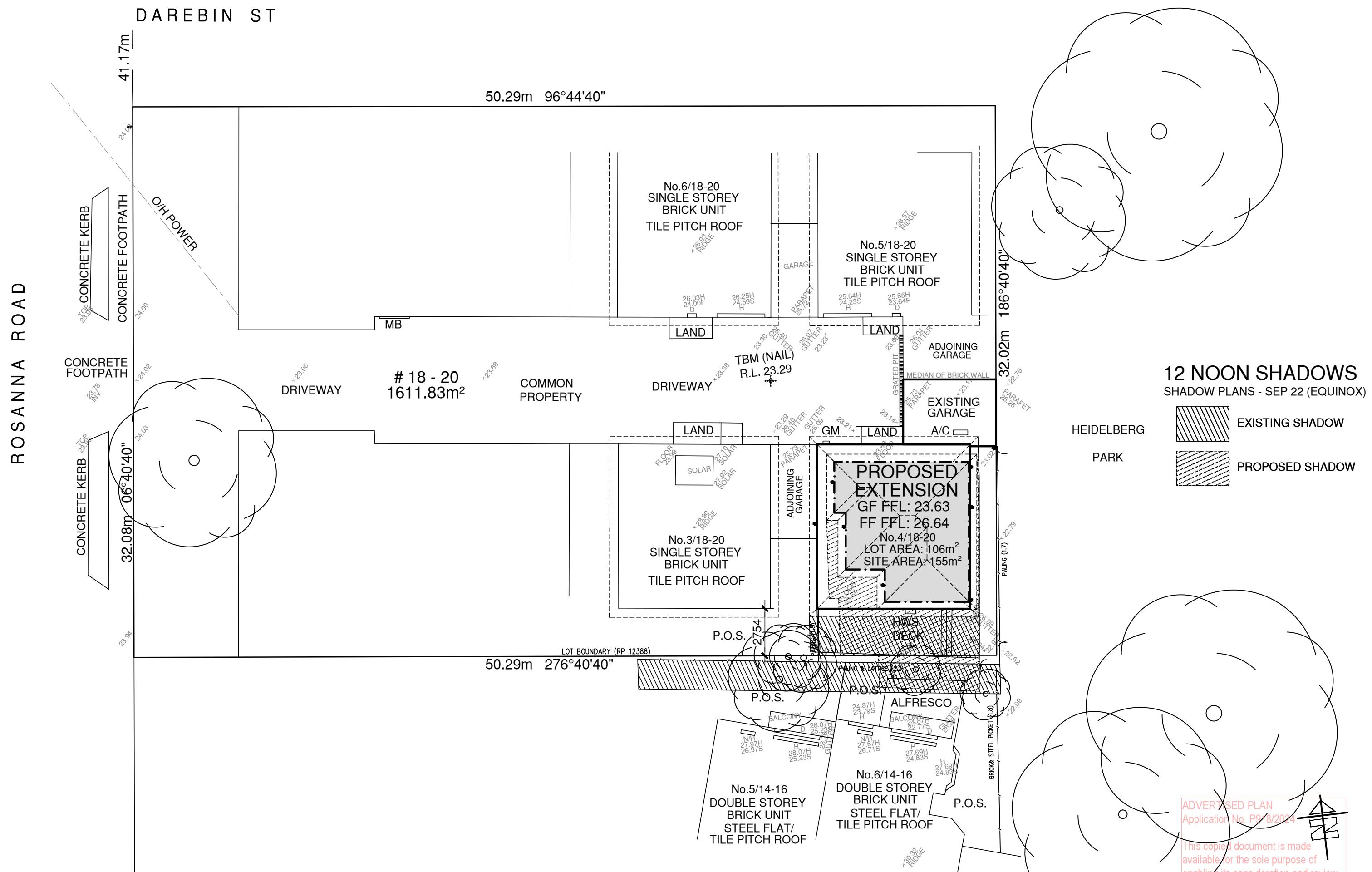
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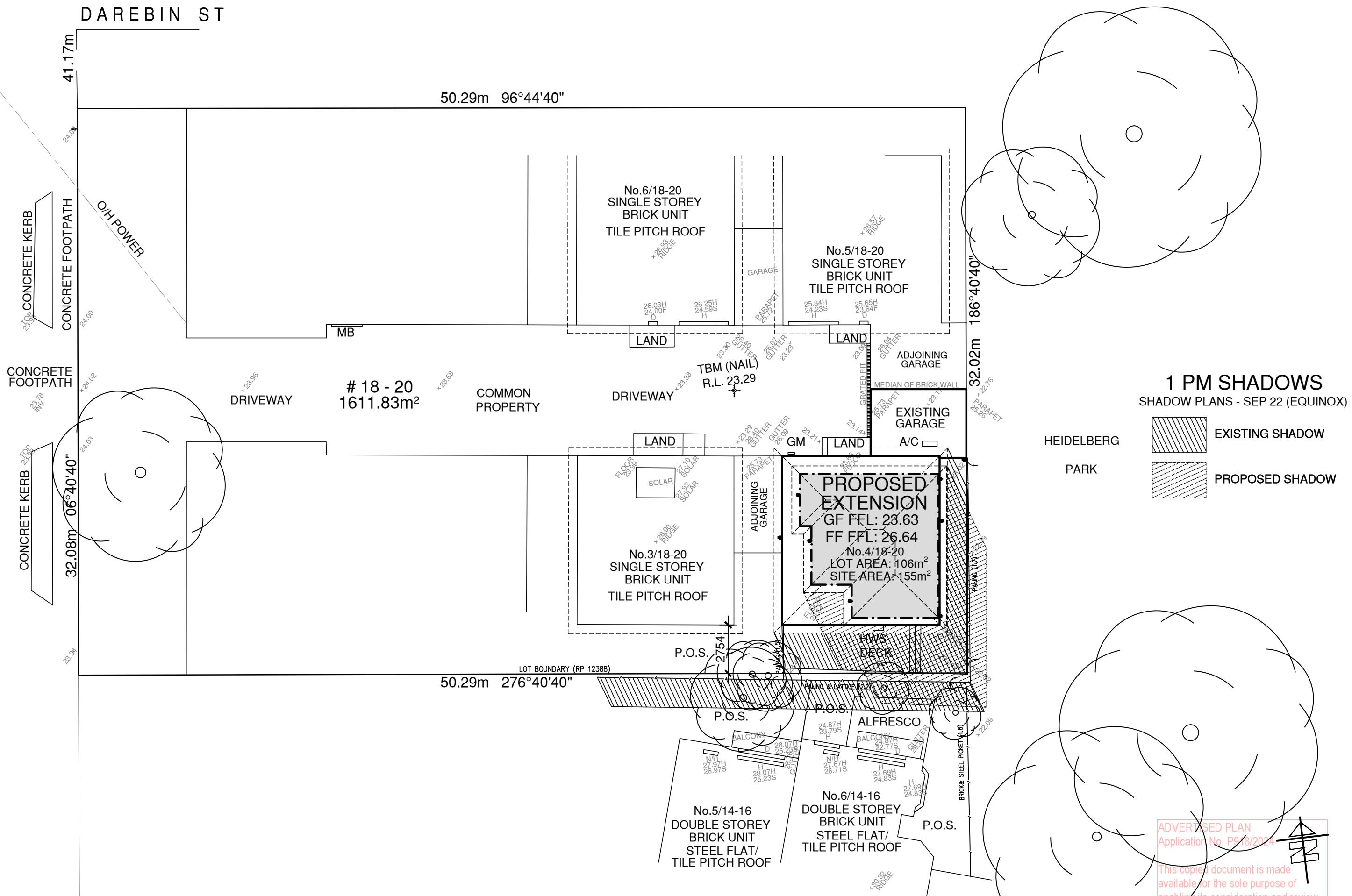
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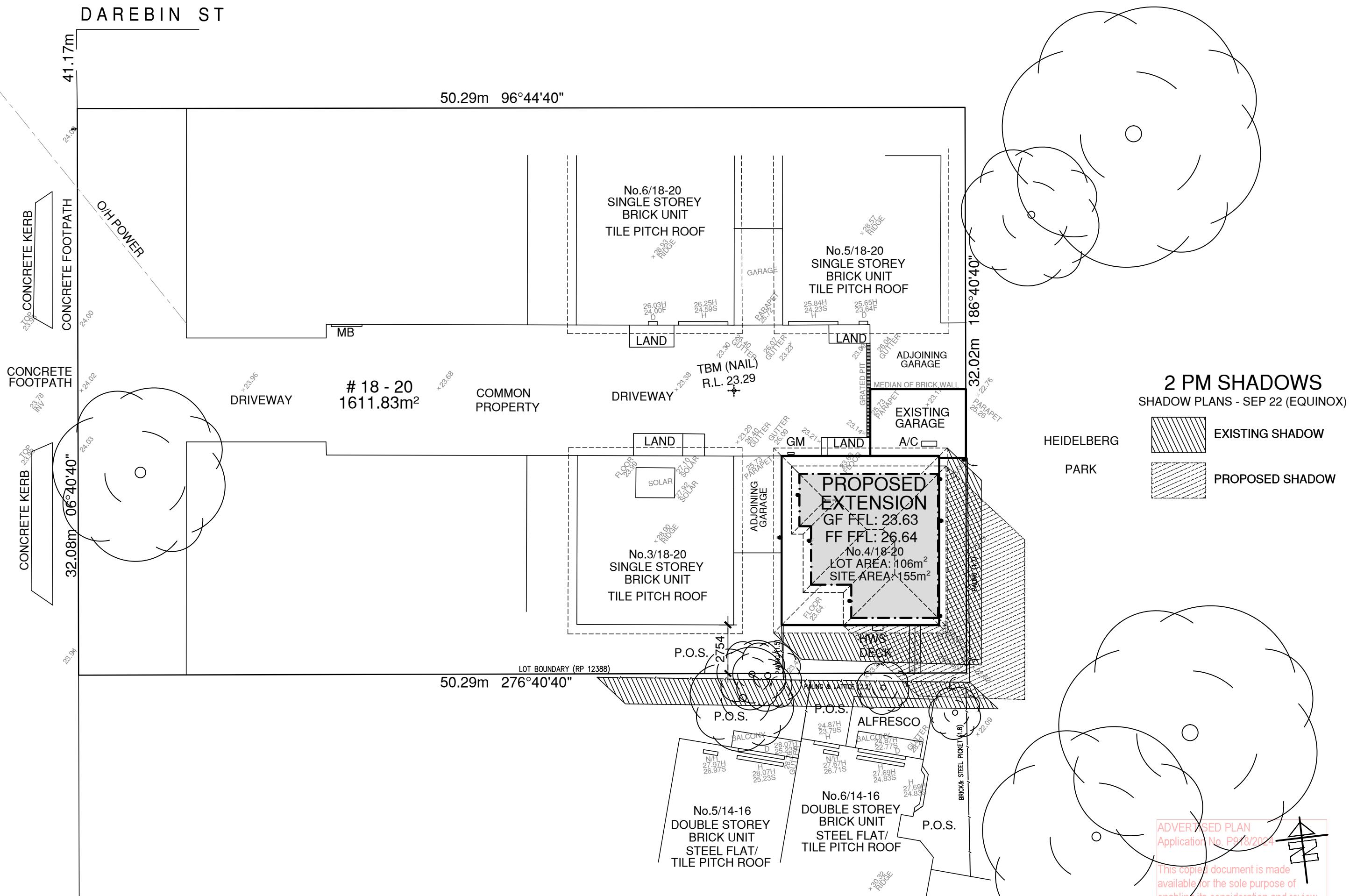
Drawing: 12 NOON SHADOW PLAN	Client: JAMES MONTGOMERY & EMILY CHAMBERS	Job number: 24220	Current Revision: D	Sheet number: 18 of 21	© Copyright Supa Group Constructions Pty. Ltd. All Rights reserved. "This work is exclusively owned by Supa Group Constructions Pty. Ltd. and cannot be reproduced or copied, either wholly or in part, in any form (graphic, electronic or mechanical, including photocopying) without the written permission of Supa Group Constructions Pty. Ltd.	 SUPAGROUP CONSTRUCTIONS 63 NORTHERN ROAD, WEST HEIDELBERG, VICTORIA 3081 AUS. T: 9458 1666 F: 9457 5995 E: EXTEND@SUPAGROUP.COM.AU A DIVISION OF SUPA GROUP PTY. LTD. A.B.N. 58 005 079 514 Building Practitioners Board Registration No. CDB-U 52357	SIGNATURES <small>Part of a planning process under the Planning Environment Act 1987.</small> Builder: <small>document must not be used for any purpose which may breach any copyright.</small> Client: <small>copyright.</small>
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Job number: 24220 Current Revision: D Sheet number: 20 of 21
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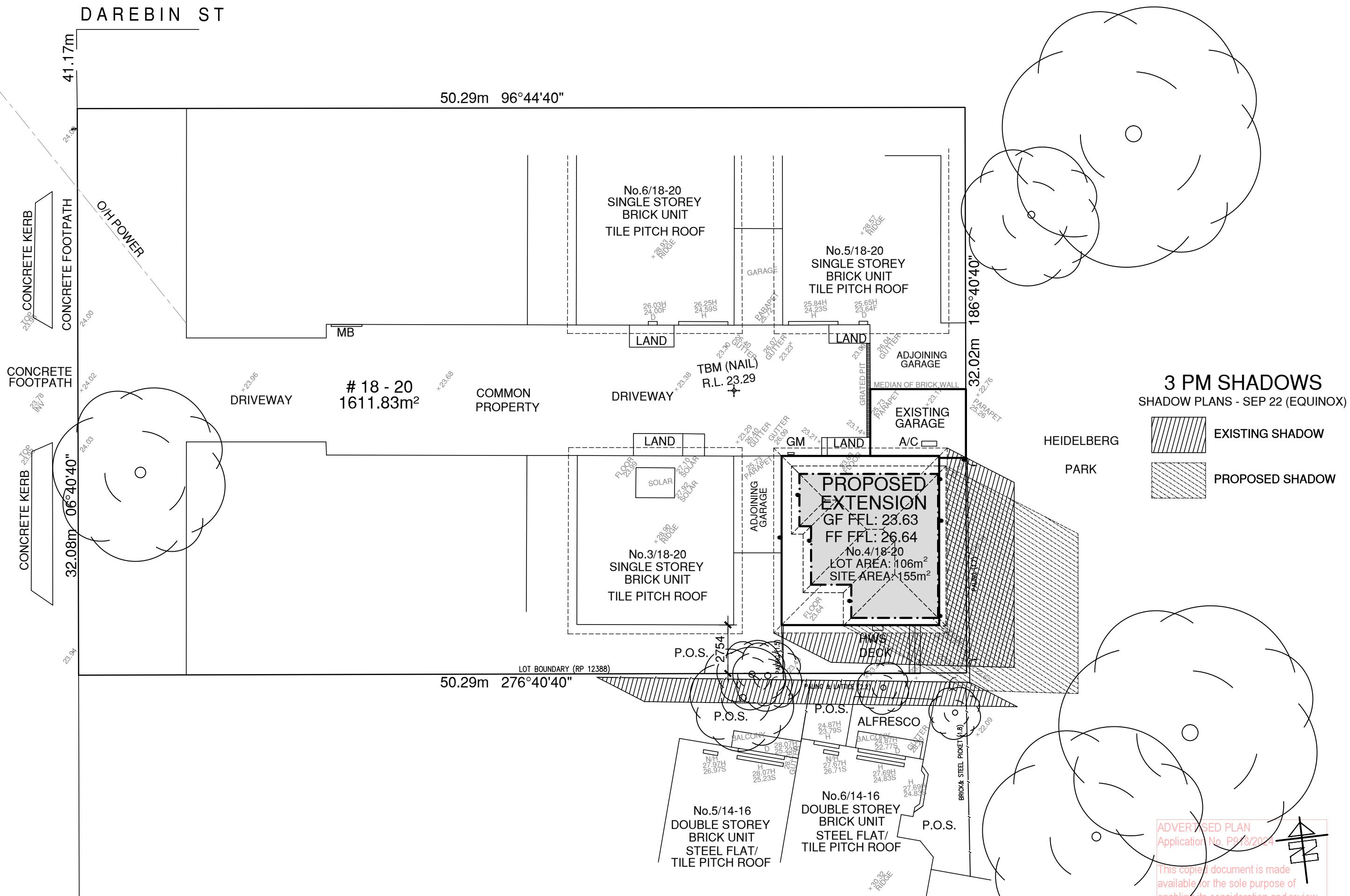
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3 PM SHADOWS
SHADOW PLANS - SEP 22 (EQUINOX)

EXISTING SHADOW

PROPOSED SHADOW

ADVERTISED PLAN
Application No. P918/2024

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