

PHOTO No. 1

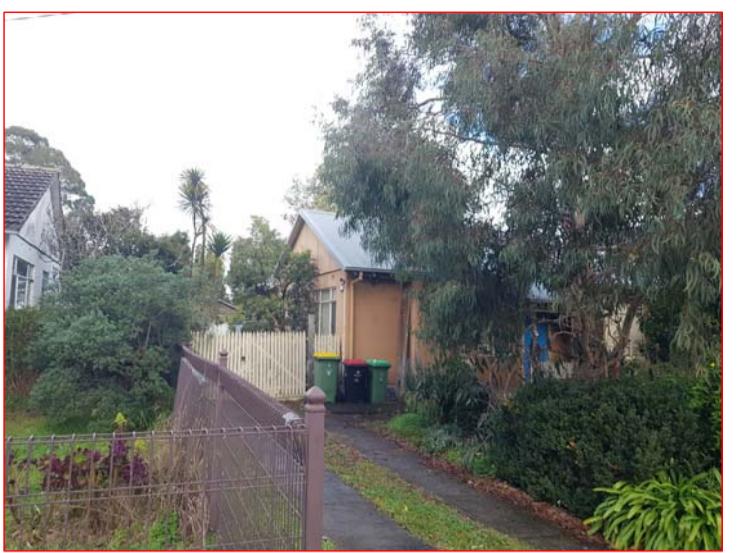


PHOTO No. 2



PHOTO No. 3



PHOTO No. 4



PHOTO No. 5



PHOTO No. 6



PHOTO No. 7

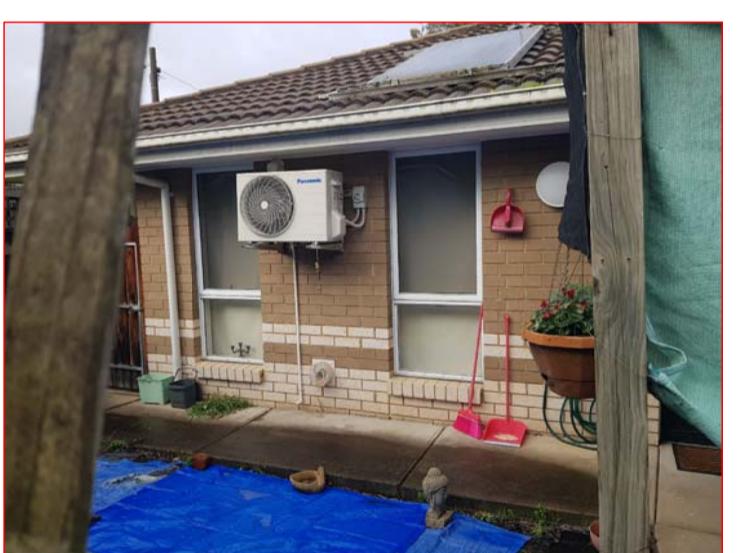


PHOTO No. 8

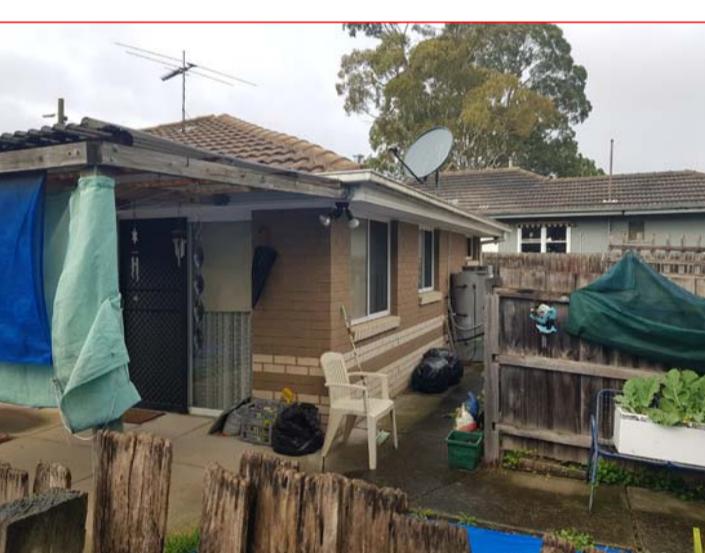


PHOTO No. 9

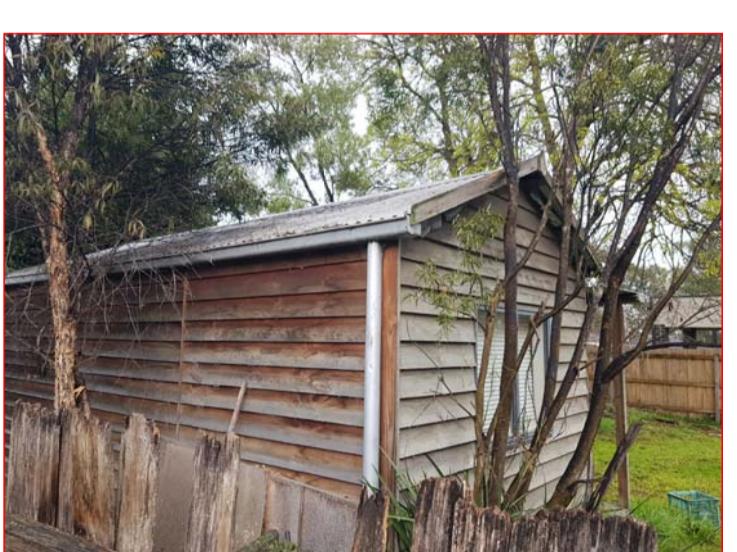


PHOTO No. 10



LEGEND:

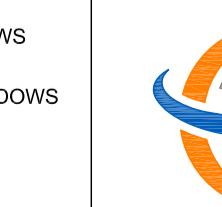
DISABLED PARKING	EXISTING TREE
TACTILE PAVERS	TITLE LINE
TEMPORARY BENCH MARK	JP JUNCTION PIT
HOUSE DRAIN	GP GRATED PIT
ELECTRICAL LIGHT POLE	SEP SIDE ENTRY PIT
BOLLARD	PHOTOS

DO NOT SCALE DRAWING

SCALE 1:200
LENGTHS ARE IN METRES

WINDOW NOTATIONS:
 1HW DENOTES FIRST FLOOR HABITABLE WINDOWS
 HW DENOTES GROUND FLOOR HABITABLE WINDOWS
 NH DENOTES NON-HABITABLE WINDOWS
 W CANNOT ASCERTAIN IF HABITABLE OR NON-HABITABLE WINDOW
 S-P-O-S DENOTES SECLUDED PRIVATE OPEN SPACE

DO NOT SCALE DRAWING
SURVEYED BY:



MOONLAND
GROUP
ABN 97 994 395 762
info@moonland.com.au
Level 1, 1 Carters Avenue
Toorak, VIC, 3142

NOTES:
 • ACCURACY OF FEATURES $\pm 0.05m$ AND ACCURACY OF REDUCED LEVELS $\pm 0.02m$.
 • TRAVERS BEARINGS AND DISTANCES SHOWN HEREON HAVE BEEN DERIVED FROM EDM MEASUREMENT.
 • ALL LENGTHS ARE IN METRES.
 • ONLY VISIBLE SERVICES HAVE BEEN SHOWN, ANY UNDERGROUND SERVICES WILL REQUIRE A DIAL BEFORE YOU DO A SEARCH.
 • ALL WINDOWS ON ADJACENT PROPERTIES MUST BE VERIFIED ON SITE BY ANYONE RELYING ON THIS PLAN.
 • TREE SPREAD SHOWN ON THIS PLAN IS INDICATIVE ONLY.
 • LOCATION OF ABUTTING BUILDING AND ENVIRONMENT IS INDICATIVE ONLY UNLESS OTHERWISE SHOWN.
 • DIMENSIONS LABELED NOMINAL ARE DERIVED FROM NEARMAP MEASUREMENTS

NOTES:

SURVEY BY: MF
SURVEY OF FEATURES EXISTING ON: 12/07/2024
DRAWN BY: MF
DATE DRAWN: 25/07/2024
LEVELS SHOWN THUS z_{eg} ARE TO AHD VIDE KEELBUNDORA PM 839 WITH STATED RL 73.55
Original Size: A1 File name: M3354 - A1.DWG

Client: DEVELOPRO CONSTRUCTIONS / PEMBROOK HOMES
Project: 9 GONA STREET, HEIDELBERG WEST

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Rev: A

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Sheet: 1

Page: 1

Page: 1

TOWN PLANNING APPLICATION
JANUARY 2025

9 GONA STREET,
HEIDELBERG WEST

info@m3group.au
Unit 2, 1 Bik Lane
Fitzroy North 3068



M3 GROUP

ADVERTISED PLAN
Application No. P5852024
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PROJECT SUMMARY

9 GONA STREET, HEIDELBERG WEST

4 DOUBLE STOREY TOWNHOUSES



PLANNING SHEET LIST				
SHEET NO.	SHEET NAME	REV.	CURRENT REV. DATE	CURRENT REV. DESCRIPTION
TP.00	PROJECT SUMMARY	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.100	SITE ANALYSIS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.101	DESIGN RESPONSE	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.200	GROUND FLOOR PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.201	FIRST FLOOR PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.202	ROOF PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.300	ELEVATIONS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.301	ELEVATIONS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.302	FINISHES SCHEDULE	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.400	CATCHMENT PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.401	ESD TABLE NOTES	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.500	GARDEN AREA PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.600	9AM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.601	10AM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.602	11AM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.603	12PM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.604	1PM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.605	2PM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.606	3PM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.700	LANDSCAPE PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.800	DESIGN INTENT	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.801	DESIGN INTENT	C	13/01/2025	Issue in Response to Council RFI (PN)

DEVELOPMENT SUMMARY

NAME	AREA
AREA	635.64 m ²

A5 & B8 SITE COVERAGE

NAME	AREA	% OF SITE
AREA	356.80 m ²	56

PERMEABLE AREA

NAME	AREA	(%) OF SITE
AREA	180.74 m ²	29

GARDEN AREA

NAME	AREA	% SITE
AREA	204.47 m ²	32.17

AREA SCHEDULE - D.01	
NAME	AREA
D.01 GF	60.62 m ²
D.01 GARAGE	25.80 m ²
D.01 FF	57.05 m ²
D.01 BAL	9.74 m ²
	153.21 m ²

AREA SCHEDULE - D.02	
NAME	AREA
D.02 GF	45.37 m ²
D.02 GARAGE	23.25 m ²
D.02 FF	59.03 m ²
D.02 BAL	9.32 m ²
	136.98 m ²

AREA SCHEDULE - D.03	
NAME	AREA
D.03 GARAGE	23.24 m ²
D.03 GF	72.76 m ²
D.03 FF	65.89 m ²
D.03 BAL	161.89 m ²
	160.24 m ²

AREA SCHEDULE - D.04	
NAME	AREA
D.04 GF	70.39 m ²
D.04 CARPORT	21.58 m ²
D.04 FF	68.28 m ²
D.04 POS	42.21 m ²

AREA SCHEDULE - D.01 OPEN SPACE	
NAME	AREA
D.01 POS	11.24 m ²
D.01FOS	38.31 m ²

AREA SCHEDULE - D.02 OPEN SPACE	
NAME	AREA
D.02 FOS	49.00 m ²
D.02 POS	31.59 m ²

AREA SCHEDULE - D.03 OPEN SPACE	
NAME	AREA
D.03 FOS	33.86 m ²
D.03 POS	26.98 m ²

AREA SCHEDULE - D.04 OPEN SPACE	
NAME	AREA
D.04 FOS	34.06 m ²
D.04 POS	42.21 m ²

Project Address	9 GONA STREET, HEIDELBERG WEST	Project Number	241937
Drawing Title	PROJECT SUMMARY	Drawing Number	TP.00
Drawing Issue	TOWN PLANNING	Issue Date	JAN 2025
Client	PBH	Revision Issue	C
		Drawn by	DE
		Checked by	GM
		Scale	A3 / A1 /

Rev	Description	Date
-	Concept Plans	04/09/2024
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Council RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025

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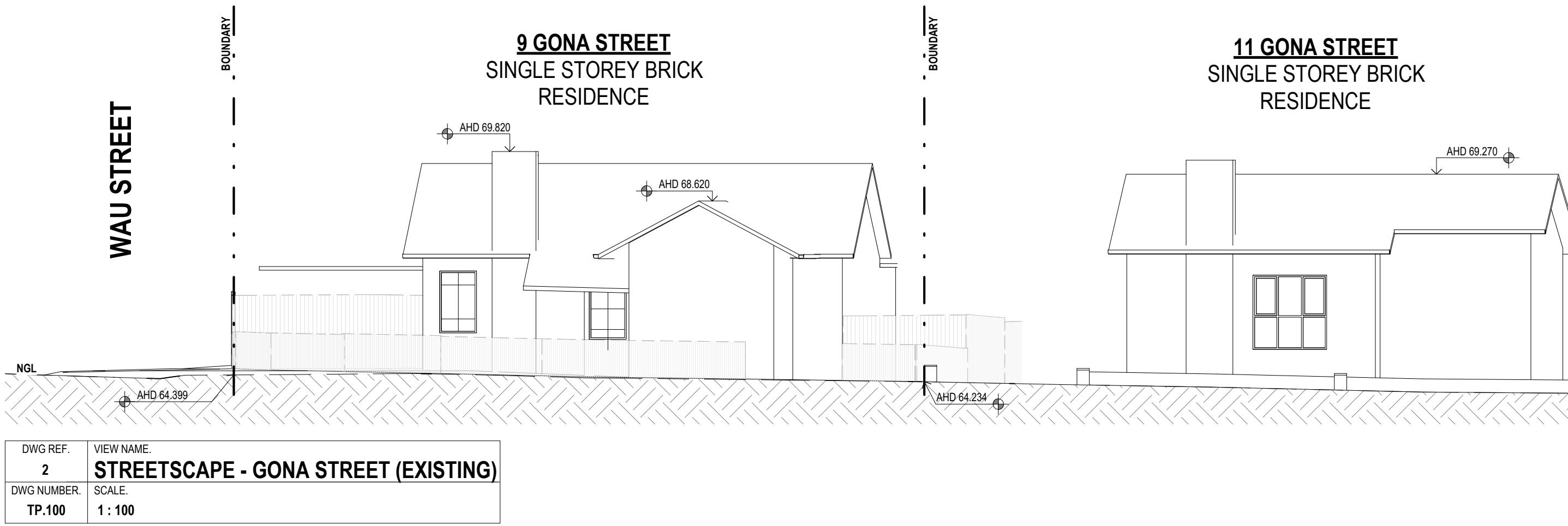
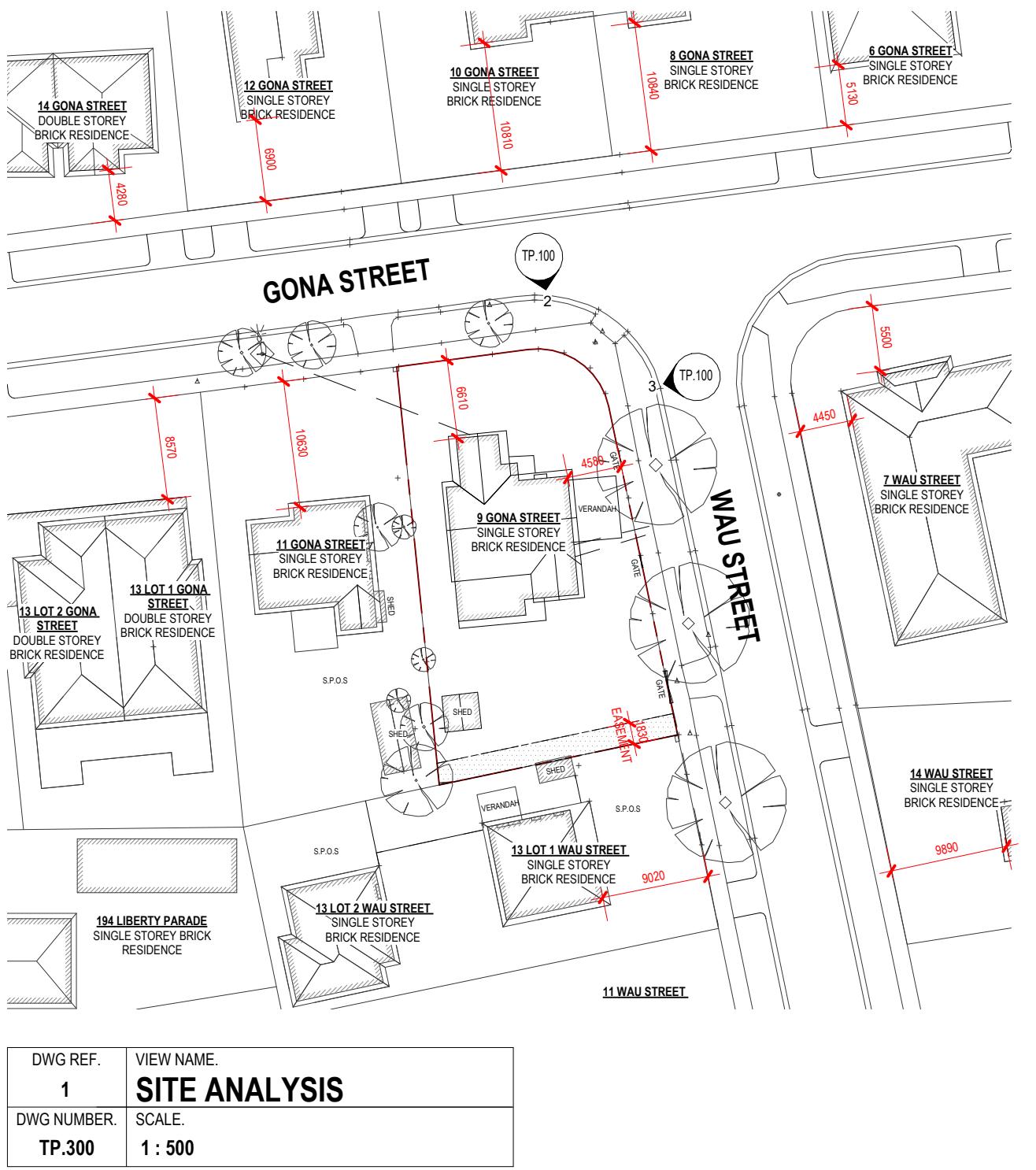
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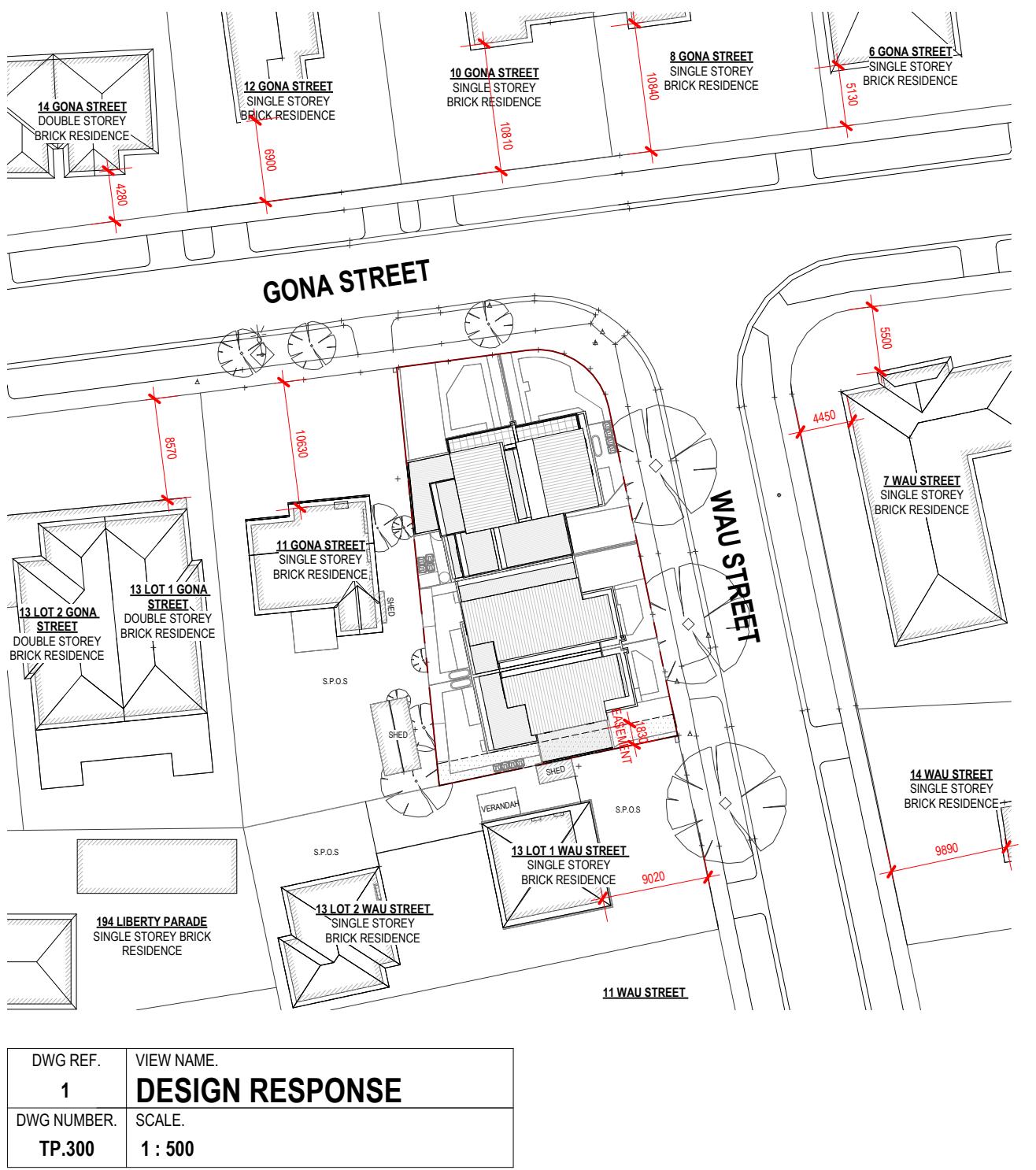
Project Address: 9 GONA STREET, HEIDELBERG WEST
Drawing Title: SITE ANALYSIS
Drawing Issue: TOWN PLANNING
Client: PBH
Project Number: 241937
Drawing Number: TP.100
Issue Date: JAN 2025
Revision Issue: C
Drawn by: KE
Checked by: GM
Scale: A3 / A1 / As indicated

Rev	Description	Date
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Council RFI	28/11/2024
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Project Address: 9 GONA STREET, HEIDELBERG WEST
Drawing Title: DESIGN RESPONSE
Drawing Issue: TOWN PLANNING
Client: PBH
Project Number: 241937
Drawing Number: TP.101
Issue Date: JAN 2025
Revision Issue: C
Drawn by: KE
Checked by: GM
Scale: A3 / A1 / As indicated

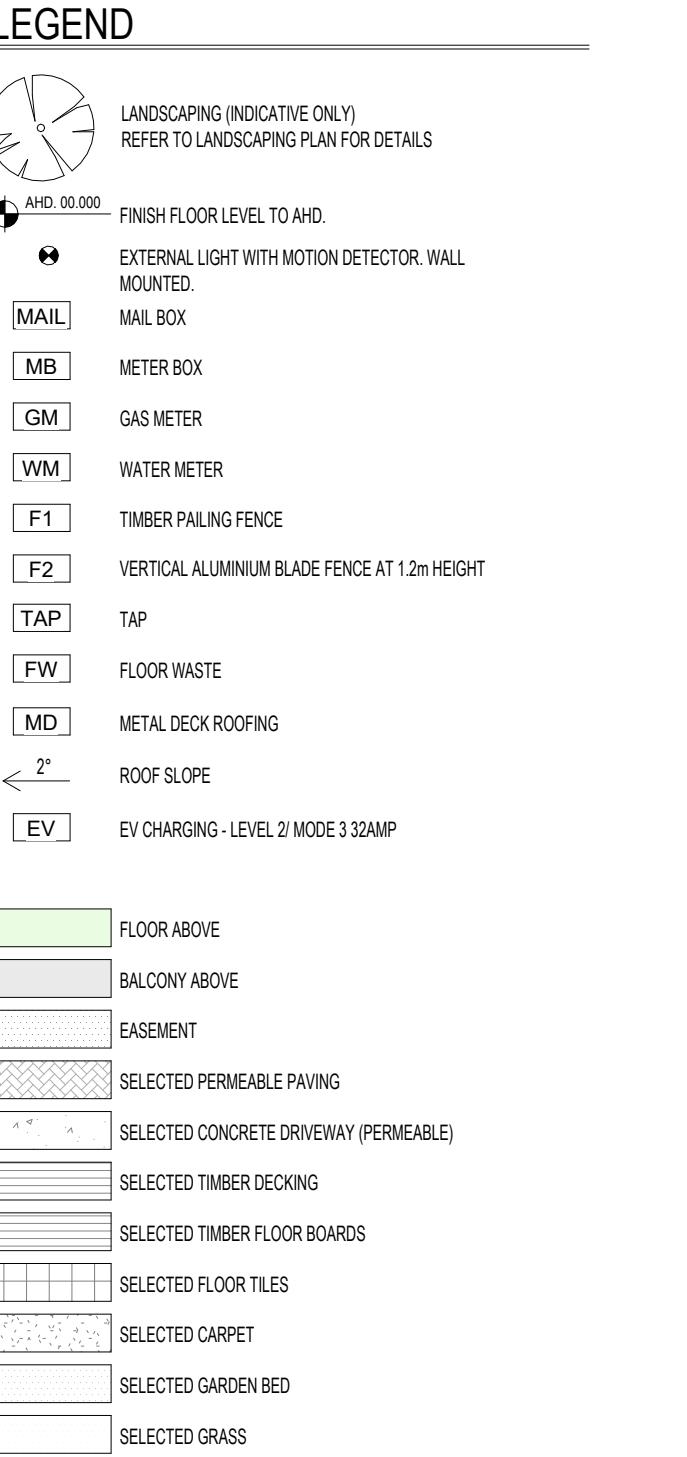
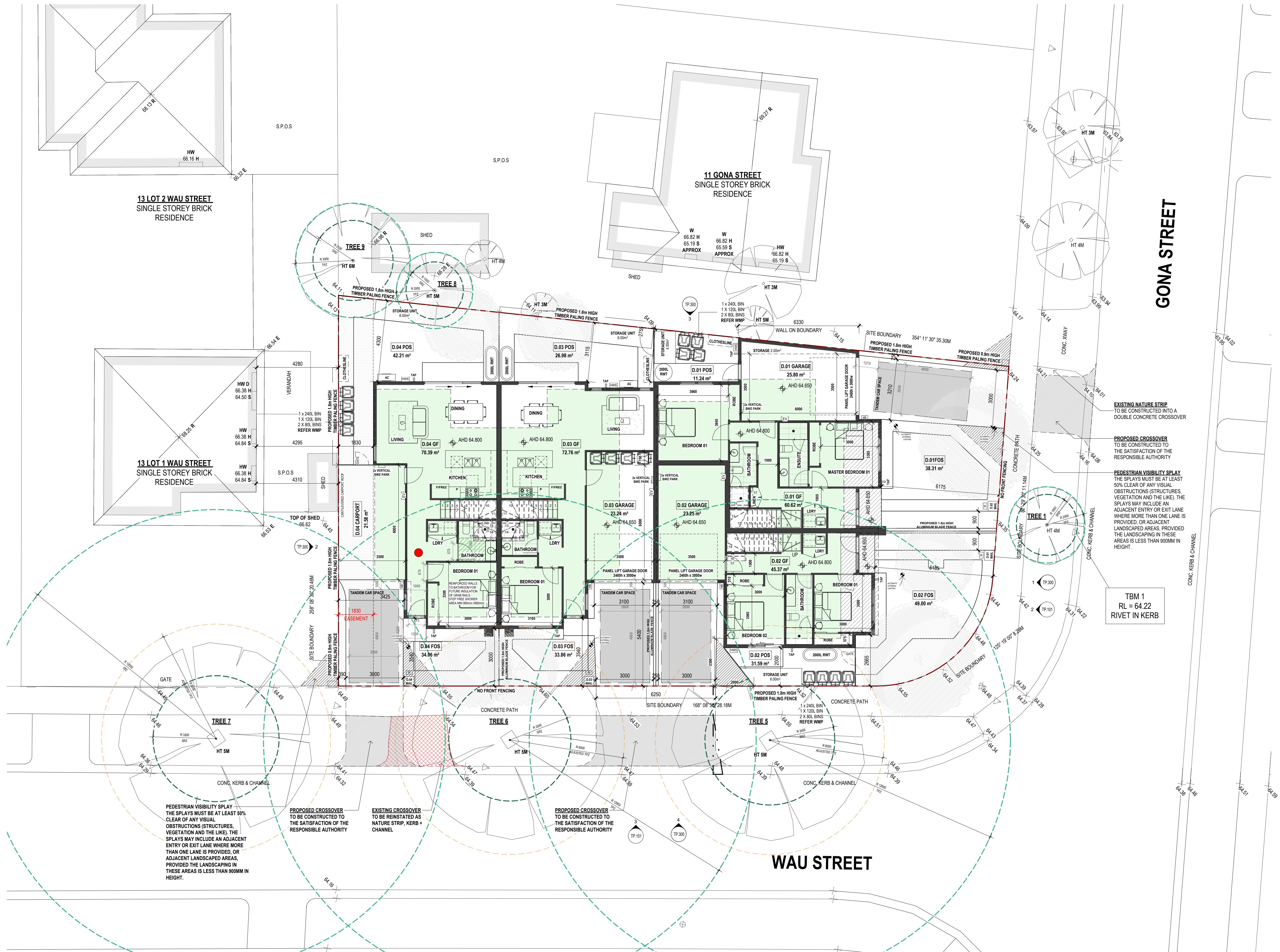
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NOTES.

- DOUBLE GLAZING (OR BETTER) TO BE USED TO ALL HABITABLE AREAS

BANYULE LIVEABLE HOUSING DESIGN GUIDELINES.

- 1. ACCESS TO THE DWELLING**
A CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM THE STREET TO THE DWELLING ENTRANCE. A CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM CAR PARKING AREAS TO THE MAIN ENTRANCE. THE PATH OF TRAVEL MUST BE A MAXIMUM 1000mm WIDE AND AT A MAXIMUM GRADIENT OF 1:14 AND WITH A CROSSFALL NO GREATER THAN 1:40.
- 2. ENTRANCE**
AT LEAST ONE LEVEL (STEP FREE) ENTRANCE INTO THE DWELLING THAT PROVIDES: DIRECT ACCESS FROM THE ACCESSIBLE PATH OF TRAVEL DESCRIBED ABOVE. A LEVEL LANDING AREA OF 1200mm x 200mm, EXCLUSIVE OF THE SWING OF THE DOOR. A MINIMUM DOORWAY WIDTH OF 850mm. THE HEIGHT DIFFERENCE BETWEEN ADJACENT SURFACES MUST BE NO GREATER THAN 5mm.
- 3. CORRIDORS**
THE WIDTH OF INTERNAL CORRIDORS MUST BE A MINIMUM OF 1000mm.
- 4. DOORWAYS**
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- 5. TOILET**
A TOILET ON GROUND FLOOR THAT PROVIDES: A CLEAR WIDTH OF 900mm AND A SPACE OF 1200mm (LENGTH) FORWARD OF THE PAN (EXCLUSIVE OF THE SWING OF THE DOOR) IF TOILET IS LOCATED IN A SEPARATE ROOM. REINFORCED WALLS TO ALLOW FOR FUTURE INSTALLATION OF GRAB RAIL.
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- 7. BEDROOM**
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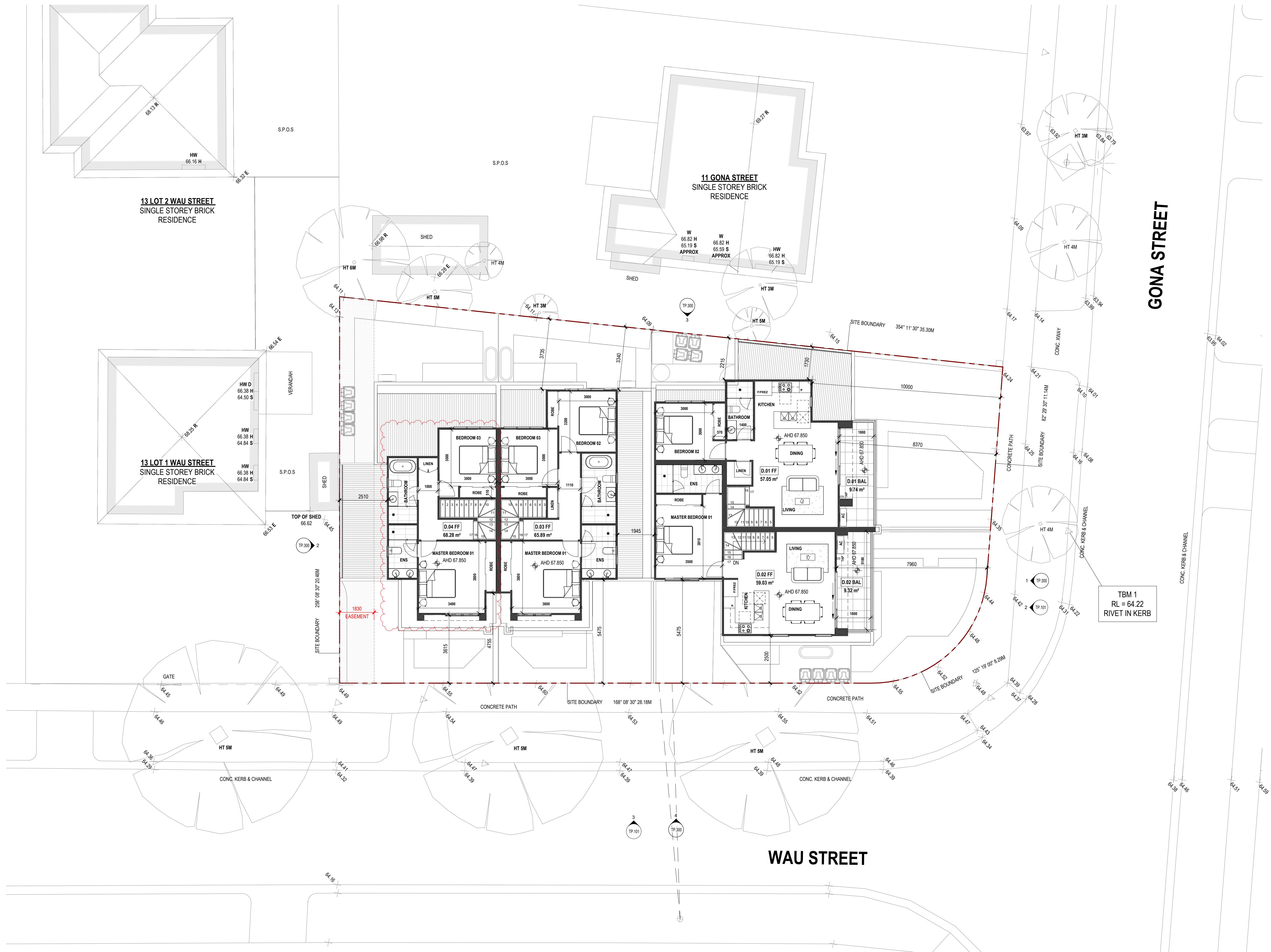
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Project Address: 9 GONA STREET, HEIDELBERG WEST
Drawing Title: GROUND FLOOR PLAN
Drawing Issue: TOWN PLANNING
Client: PBH
North Point

Rev	Description	Date
-	Concept Plans	04/09/2024
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Council RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025

1 : 100



LEGEND

	LANDSCAPING (INDICATIVE ONLY) REFER TO LANDSCAPING PLAN FOR DETAILS
	FINISH FLOOR LEVEL TO AHD.
	EXTERNAL LIGHT WITH MOTION DETECTOR, WALL MOUNTED
	MAIL BOX
	METER BOX
	GAS METER
	WATER METER
	TIMBER RAILING FENCE
	VERTICAL ALUMINIUM BLADE FENCE AT 1.2m HEIGHT
	TAP
	FLOOR WASTE
	METAL DECK ROOFING
	ROOF SLOPE
	EV CHARGING - LEVEL 2 MODE 3 32AMP
	FLOOR ABOVE
	BALCONY ABOVE
	EASEMENT
	SELECTED PERMEABLE PAVING
	SELECTED CONCRETE DRIVEWAY (PERMEABLE)
	SELECTED TIMBER DECKING
	SELECTED TIMBER FLOOR BOARDS
	SELECTED FLOOR TILES
	SELECTED CARPET
	SELECTED GARDEN BED
	SELECTED GRASS

NOTES.

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BANYULE LIVEABLE HOUSING DESIGN GUIDELINES.

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- CLEARANCE AREA

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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
FIRST FLOOR PLAN
TOWN PLANNING
Client: PBH

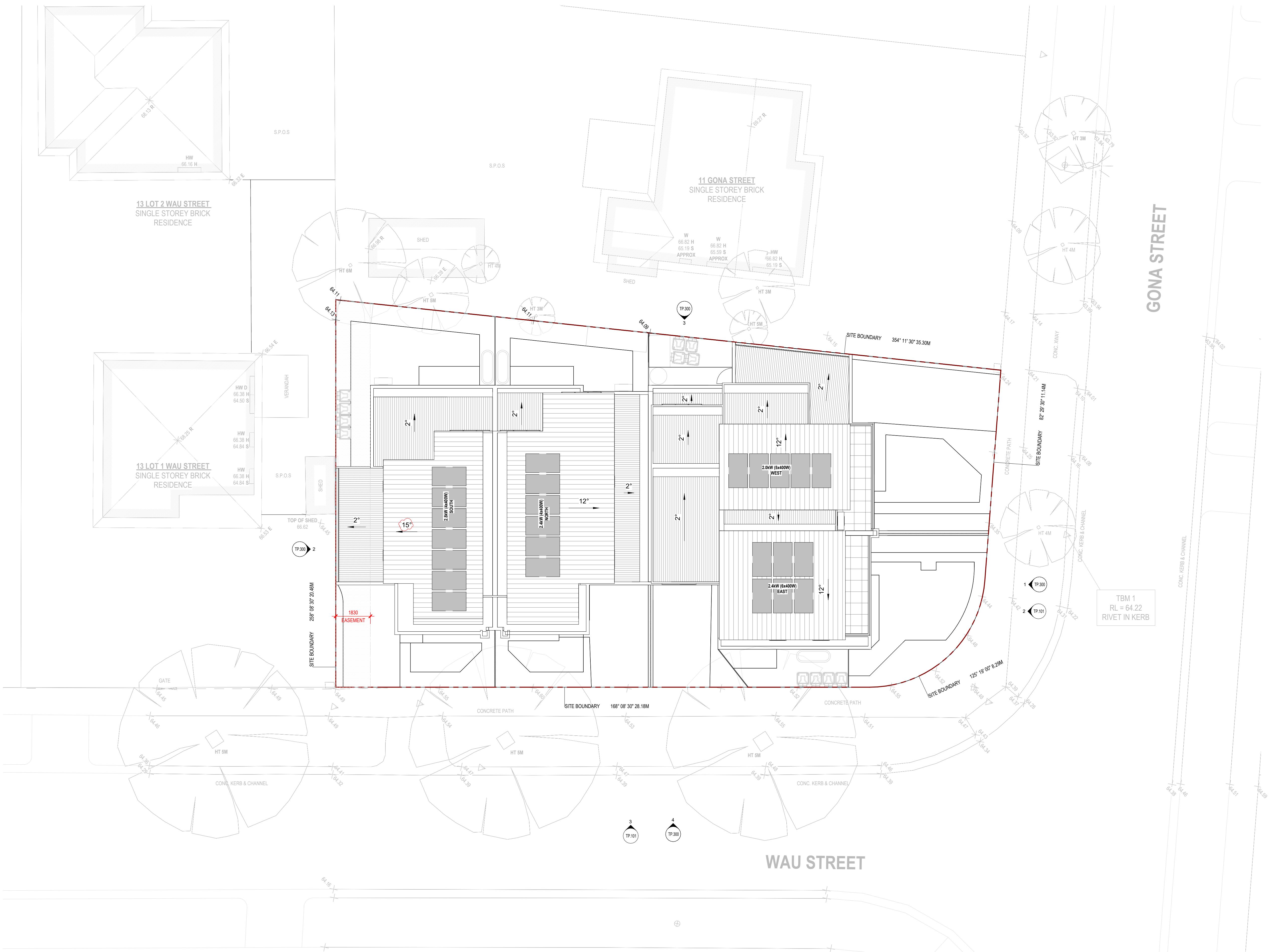
Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

241937
TP.201
JAN 2025
C
DE
GM
A3 /
A1 /

1 : 100

Rev	Description	Date
-	Concept Plans	04/09/2024
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LEGEND

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	TIMBER RAILING FENCE
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- 3. CORRIDORS**
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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
ROOF PLAN
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

241937
TP.202
JAN 2025
C
DE
GM
A3 /
A1 /

1 : 100

Rev Description
A Issue for Lodgement
B Issue in Response to Council RFI
C Issue in Response to Council RFI (PN)

Date
16/09/2024
28/11/2024
13/01/2025

M3 GROUP



DWG REF. 1 VIEW NAME: NORTH ELEVATION
DWG NUMBER: TP.200 SCALE: 1:100



DWG REF. 2 VIEW NAME: SOUTH ELEVATION
DWG NUMBER: TP.200 SCALE: 1:100



DWG REF. 3 VIEW NAME: EAST ELEVATION
DWG NUMBER: TP.200 SCALE: 1:100



DWG REF. 4 VIEW NAME: WEST ELEVATION
DWG NUMBER: TP.200 SCALE: 1:100

FINISHES LEGEND

LEGEND
MATERIAL A SELECTED BRICK
PRODUCT BRICK
COLOUR CHARCOAL OR SIMILAR
FINISH -
MOTOR COLOUR CHARCOAL OR SIMILAR

LEGEND
MATERIAL B SELECTED VERTICAL LINE CEMENT SHEET
PRODUCT -
COLOUR COLORBOND SHALE GREY
FINISH PAINT

LEGEND
MATERIAL C SELECTED RENDER
PRODUCT -
COLOUR COLORBOND SHALE GREY
FINISH -

LEGEND
MATERIAL D SELECTED RENDER
PRODUCT -
COLOUR COLORBOND BASALT
FINISH -

LEGEND
MATERIAL E SELECTED ALUMINIUM BATTENS
PRODUCT -
COLOUR WHITE
FINISH -

LEGEND
MATERIAL F SELECTED ALUMINIUM SCREENS, SHROUDS,
PRODUCT FASCIA & CUTTERS
COLOUR COLORBOND MONUMENT
FINISH POWDERCOAT

LEGEND
MATERIAL G SELECTED ALUMINIUM FRAMED GLAZING
FRAME COLOUR COLORBOND MONUMENT
FRAME FINISH POWDERCOAT
GLAZING CLEAR

LEGEND
MATERIAL H SELECTED ALUMINIUM FRAMED GLAZING
FRAME COLOUR COLORBOND MONUMENT
FRAME FINISH GLAZING
GLAZING OBFUSCATE

LEGEND
MATERIAL I SELECTED TIMBER PALING FENCE
PRODUCT -
COLOUR NATURAL (BOUNDARY) BASALT (INTERNAL)
FINISH -

LEGEND
MATERIAL J SELECTED ALUMINUM BLADE FENCE
PRODUCT -
COLOUR COLORBOND MONUMENT
FINISH -

LEGEND
MATERIAL K SELECTED TIMBER FRONT DOOR
PRODUCT -
COLOUR COLORBOND MONUMENT
FINISH -

LEGEND
MATERIAL L SELECTED GARAGE DOOR
PRODUCT -
COLOUR COLORBOND MONUMENT
FINISH -

NOTES.

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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
ELEVATIONS
TOWN PLANNING
PBH

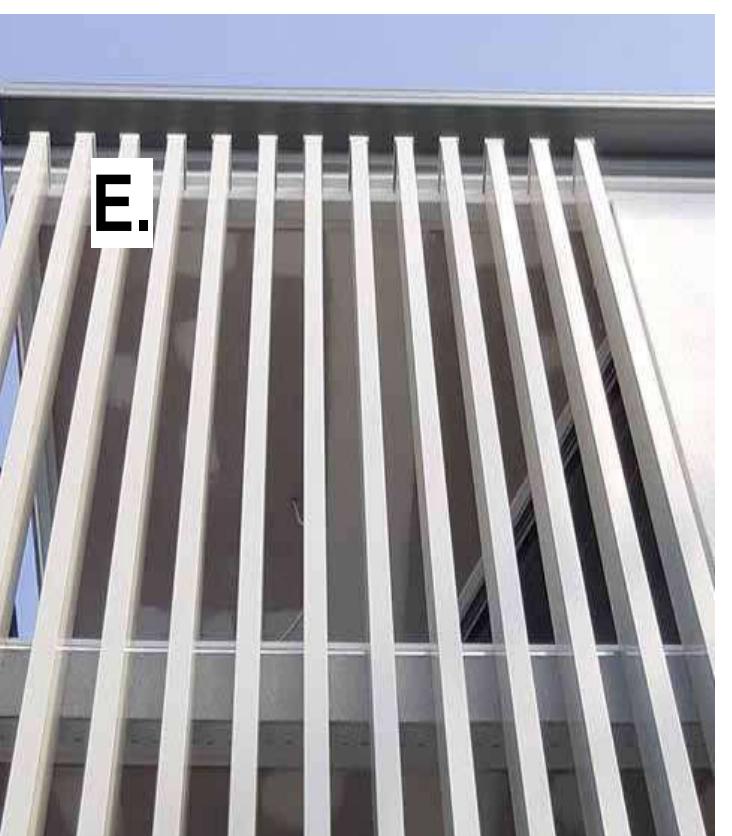
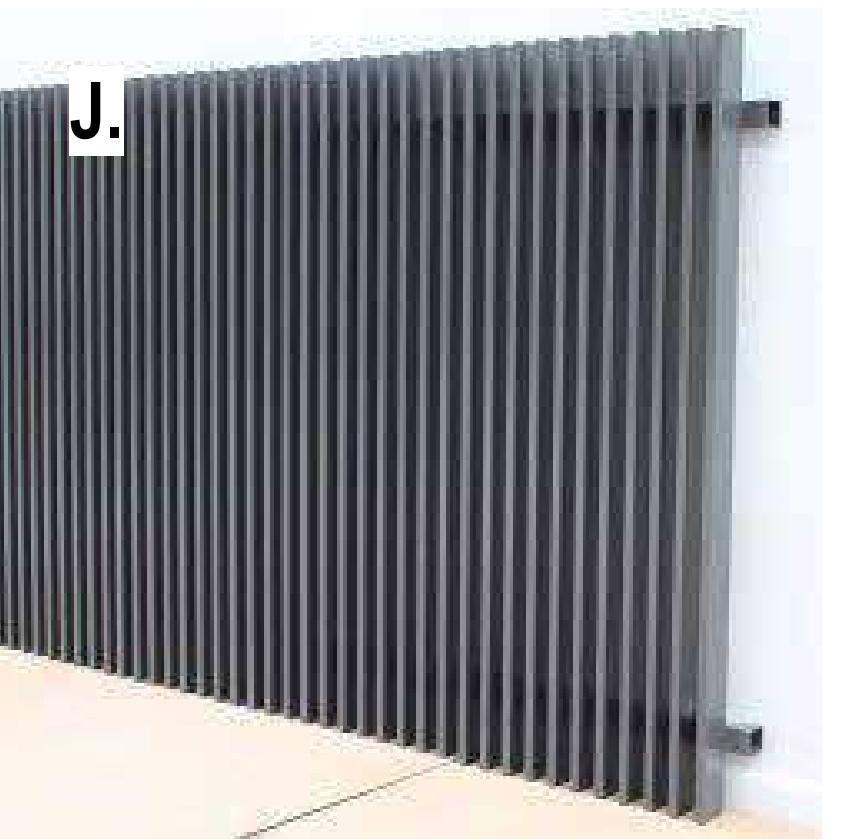
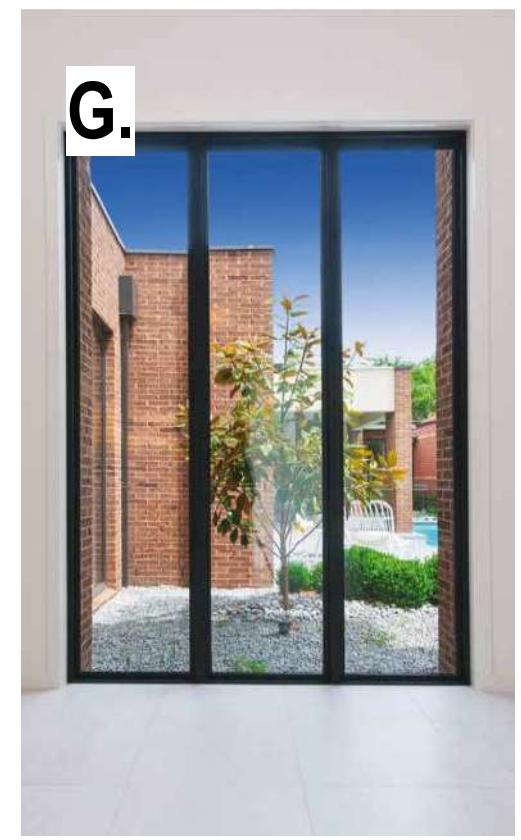
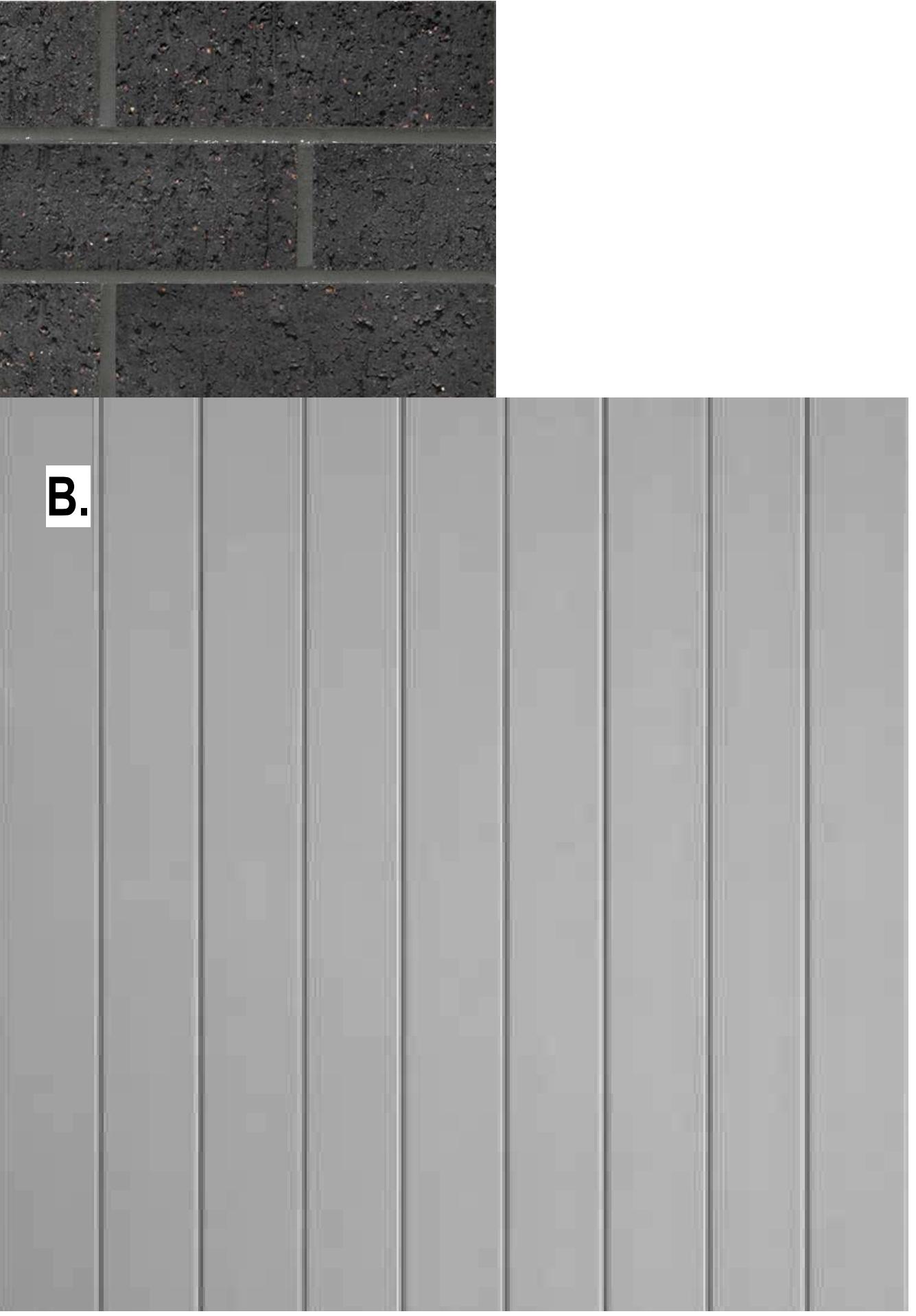
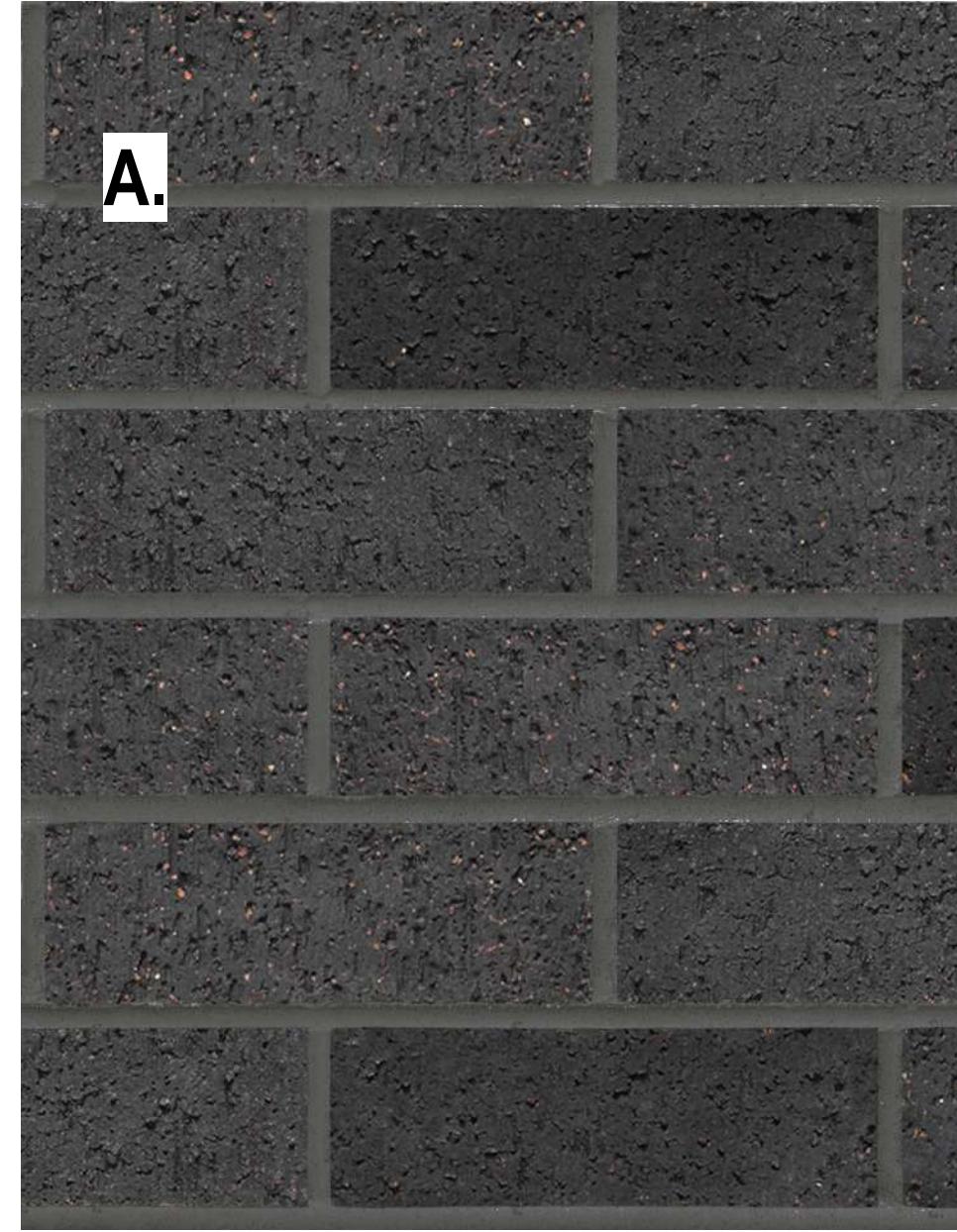
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Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale
As indicated

Rev	Description	Date
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Council RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025



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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
FINISHES SCHEDULE
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale
As indicated

241937
TP.302
JAN 2025
C
DE
GM
A3 /
A1 /

Rev Description
A Issue for Lodgement
B Issue in Response to Council RFI
C Issue in Response to Council RFI (PN)

Date
16/09/2024
28/11/2024
13/01/2025

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FINISHES LEGEND

LEGEND
A
MATERIAL
SELECTED BRICK
PRODUCT
BRICK
COLOUR
CHARCOAL OR SIMILAR
FINISH
-
MORTAR COLOUR
CHARCOAL OR SIMILAR

LEGEND
B
MATERIAL
SELECTED VERTICAL LINE CEMENT SHEET
PRODUCT
-
COLOUR
COLORBOND SHALE GREY
FINISH
PAINT

LEGEND
C
MATERIAL
SELECTED RENDER
PRODUCT
-
COLOUR
COLORBOND SHALE GREY
FINISH
-

LEGEND
D
MATERIAL
SELECTED RENDER
PRODUCT
-
COLOUR
COLORBOND BASALT
FINISH
-

LEGEND
E
MATERIAL
SELECTED ALUMINIUM BATTENS
PRODUCT
-
COLOUR
WHITE
FINISH
-

LEGEND
F
MATERIAL
SELECTED ALUMINIUM SCREENS, SHROUDS,
FASCIA & GUTTERS
PRODUCT
COLORBOND MONUMENT
FINISH
POWDERCOAT

LEGEND
G
MATERIAL
SELECTED ALUMINIUM FRAMED GLAZING
FRAME COLOUR
COLORBOND MONUMENT
FRAME FINISH
POWDERCOAT
GLAZING
CLEAR

LEGEND
H
MATERIAL
SELECTED ALUMINIUM FRAMED GLAZING
FRAME COLOUR
-
FRAME FINISH
COLORBOND MONUMENT
GLAZING
OBSCURE

LEGEND
I
MATERIAL
SELECTED TIMBER PALING FENCE
PRODUCT
-
COLOUR
NATURAL (BOUNDARY) BASALT (INTERNAL)
FINISH
-

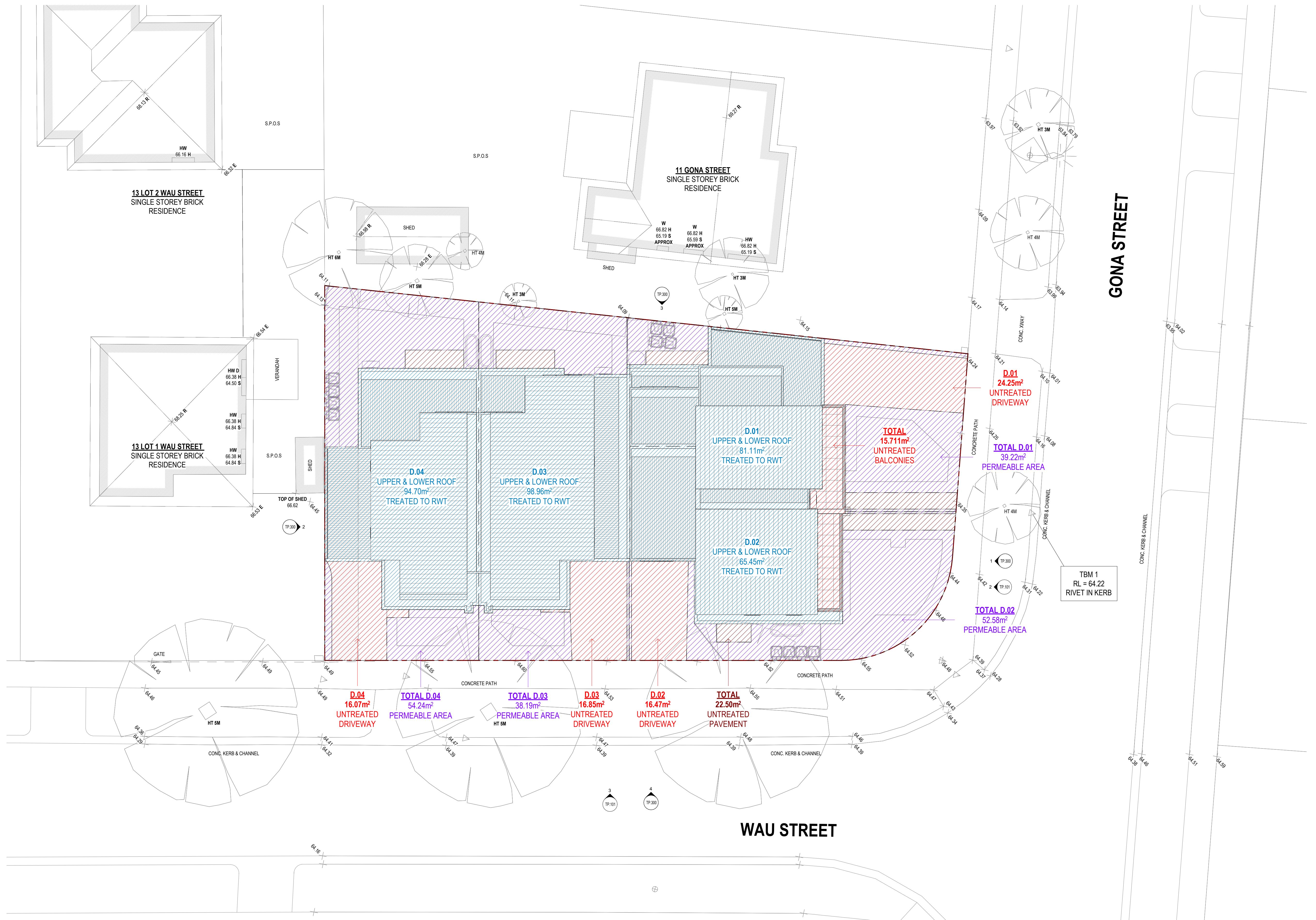
LEGEND
J
MATERIAL
SELECTED ALUMINIUM BLADE FENCE
PRODUCT
-
COLOUR
COLORBOND MONUMENT
FINISH
-

LEGEND
K
MATERIAL
SELECTED TIMBER FRONT DOOR
PRODUCT
-
COLOUR
COLORBOND MONUMENT
FINISH
-

LEGEND
L
MATERIAL
SELECTED GARAGE DOOR
PRODUCT
-
COLOUR
COLORBOND MONUMENT
FINISH
-

NOTES.

- DOUBLE GLAZING (OR BETTER) TO BE USED TO ALL HABITABLE AREAS



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Project Address: 9 GONA STREET, HEIDELBERG WEST
Drawing Title: CATCHMENT PLAN
Drawing Issue: TOWN PLANNING
Client: PBH
North Point:

Rev	Description	Date
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Council RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025

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Key Sustainability Initiatives

INTEGRATED WATER MANAGEMENT	
Shower Heads	4 Star WELS rated (>6.0 L/min but <7.5 L/min).
Toilets	4 Star WELS rated.
Bathroom & Kitchen Taps	5 Star WELS rated.
Washing Machines	Default or Unrated - Occupant to Install
Dishwashers	Default or Unrated
Stormwater Management	2,000L rainwater tank capacity to be installed to each dwelling, serving as catchment for the entire roof area. Rainwater tanks to be connected to all toilets for flushing. Contaminated water must not be discharged from the site into the stormwater system. Drainage system to be installed before commencement of construction and any stormwater is to be diverted away from exposed soil.
Irrigation System & Landscaping	Water efficient plants to be incorporated into the landscape design. Water efficient irrigation system to be installed, and have a rain shut-off device installed.
ENERGY	
Energy Efficiency	Preliminary NATHERS Energy Efficiency assessments were carried out on all dwellings based on NCC 2022 to a minimum 7 Star rating and an overall development average of 7.6 Star.
All Electric Site	Site proposed as 'All Electric' - no gas connection to site for appliances.
Windows & Glazed Doors	Double Glazed Low e Clear - Refer to Window Performance table in Energy Efficiency report by Enrate (Aust) Pty Ltd.
Heating & Cooling System	Reverse Cycle split systems to Bedrooms and Living rooms to each dwelling - Variable Capacity. Whole of Home Efficiency requirements as follows: Min. Heating Efficiency - HSPF Value = 2.5 (1.0 Star); Min. Cooling Efficiency - TCSPF Value = 3.50 (2.0 Star)
Solar PV Systems	Minimum total 8.0kW Solar PV system to be provided to site (D1 - 2.0kW, D2 & 3 - 2.4kW, D4 - 2.8kW). PV system must be manufactured to Australian Standards and be installed in compliance with all relevant installation standards.
Water Heater	Electric instantaneous hot water units to each dwelling.
Lighting	Energy Efficient – LED & Fluorescent lighting to be installed throughout each dwelling. The average Illumination Power Density to achieve a 20% reduction on NCC allowances, refer to Power Density table requirements in SDA. External perimeter lighting to be controlled by motion sensors.
Building Sealing	The building must be constructed to an acceptable level of air tightness as per NCC requirements.
INDOOR ENVIRONMENT QUALITY	
Natural Ventilation	Aggregate ventilation openings to all Living areas and Bedrooms are to be >5% of the floor area served as required by the NCC Volume 2 – Part 10.6. Effective cross-flow ventilation to D2, D3, D4. Dwelling 1 fails for ground floor Bedrooms. Internal doors to be provided with door catches.
Non Toxic Materials	Low VOC paints to be used for both internal and external finishes. Floor coverings such as underlays, carpet and timber to be sourced as low VOC products where practical. Sealants and adhesives used during construction to be Low VOC products where available and appropriate for the application.
TRANSPORT	
Electric Vehicle Charging	Dwellings to be wired to accommodate Level 2/Mode 3 (32Amp) EV Charging point.
WASTE MANAGEMENT	
Construction Waste	Separate bins to be provided on-site for separation of at least 80% of the construction waste material such as but not restricted to paper, plastics, timber etc and removal by qualified recycling contractors. Paint waste to be discarded appropriately as per manufacturer recommendations or by using paint waste hardeners. Paint waste must not be disposed of down drains or on-site.
Operational Waste	Separate bins for general waste, recycling and FOGO to be provided as shown in the Bin area.
URBAN ECOLOGY	
Biodiversity	Landscaping plants to be generally drought tolerant. Where possible Landscaping to incorporate as much Native or Local indigenous plants as possible. Where possible all proposed Plants to be sourced locally.
Private Open Spaces	Tap & Floor waste to be provided in POS & Balconies of each dwelling.
INNOVATION	
Innovation	This development is not claiming any initiatives under this category.
BUILDING MATERIALS	
Sustainable Materials	Where timber is proposed in the construction, commitment to use only sustainable timber products, sourced as plantation timber. Development to use only E1 or E0 grade engineered wood products (eg. MDF, Plywood, Engineered Wood Flooring). Where possible and applicable, recycled steel should be used in the construction.

Dwellings 1, 4 - Windows & Glazed Doors	WERS Code	Frame Type	Glazing	Total System	
				U-Value	SHGC Value
All Awning Windows	AWS-008-12	Aluminium	Double Glazed - CP Clear	3.69	0.45
All Glazed Sliding Doors	AWS-013-10	Aluminium	Double Glazed - CP Clear	3.31	0.50
NOTE: Any supplied glazing is considered in compliance only where the supplied 'Total System' performances (Glass & Frame) meet each of the following criteria:					
<ul style="list-style-type: none"> • Less than or Equal to the U-Value specified, and • Within +/- 5% of the SHGC value specified. 					

Dwellings 2, 3 - Windows & Glazed Doors	WERS Code	Frame Type	Glazing	Total System	
				U-Value	SHGC Value
All Awning Windows	AWS-008-12	Aluminium	Double Glazed - CP Clear	3.69	0.45
D02 Bed 2 - Glazed Sliding Door	AWS-013-10	Aluminium	Double Glazed - CP Clear	3.31	0.50
All Living Glazed Sliding Doors	AWS-013-61	Aluminium	Double Glazed - AGG Max Clear	2.96	0.23

NOTE: Any supplied glazing is considered in compliance only where the supplied 'Total System' performances (Glass & Frame) meet each of the following criteria:

- Less than or Equal to the U-Value specified, and
- Within +/-5% of the SHGC value specified.

APPLIANCE - All Dwellings	TYPE
Water Heater	Electric Instantaneous
Cooktop	Electric
Oven	Electric
Onsite Renewable	<p>Photovoltaic System:</p> <p>Dwelling 1: 2.0kW - 5 x 400W Panels West.</p> <p>Dwelling 2: 2.4kW - 6 x 400W Panels East.</p> <p>Dwelling 3: 2.4kW - 6 x 400W Panels North.</p> <p>Dwelling 4: 2.8kW - 7 x 400W Panels South.</p>
Heating & Cooling System	Space Reverse Cycle to Living Rooms & Bedrooms - Variable Capacity
Min. Heating Efficiency	HSPF Value = 2.5 (1.0 Star)
Min. Cooling Efficiency	TCSFP Value = 3.50 (2.0 Star)

Power Density	BESS Allowance - 20% Reduction
Class 1 Dwelling	4 W/m ²
Balcony	4 W/m ²
Class 10a Garage	3 W/m ²



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Project Address	9 GONA STREET, HEIDELBERG WEST	Project Number	241937
Drawing Title	ESD TABLE NOTES	Drawing Number	TP.401
Drawing Issue	TOWN PLANNING	Issue Date	JAN 2025
Client	PBH	Revision Issue	C
		Drawn by	DE
		Checked by	GM
		Scale	A3 /
			A1 /

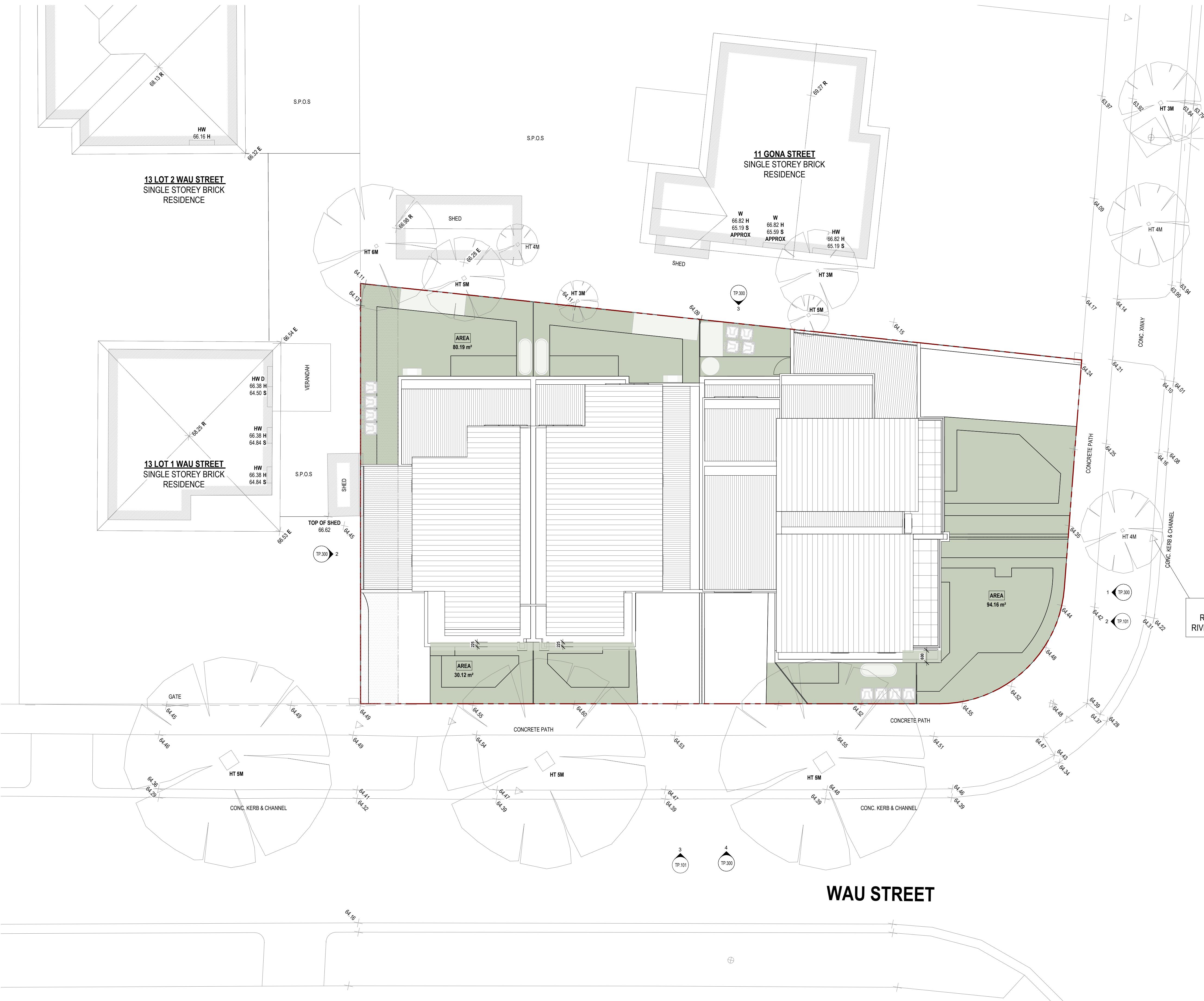
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ADVERTISED PLAN
Application No. T-1360/2024

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Project Address: 9 GONA STREET, HEIDELBERG WEST
 Drawing Title: GARDEN AREA PLAN
 Drawing Issue: TOWN PLANNING
 Client: PBH
 North Point:

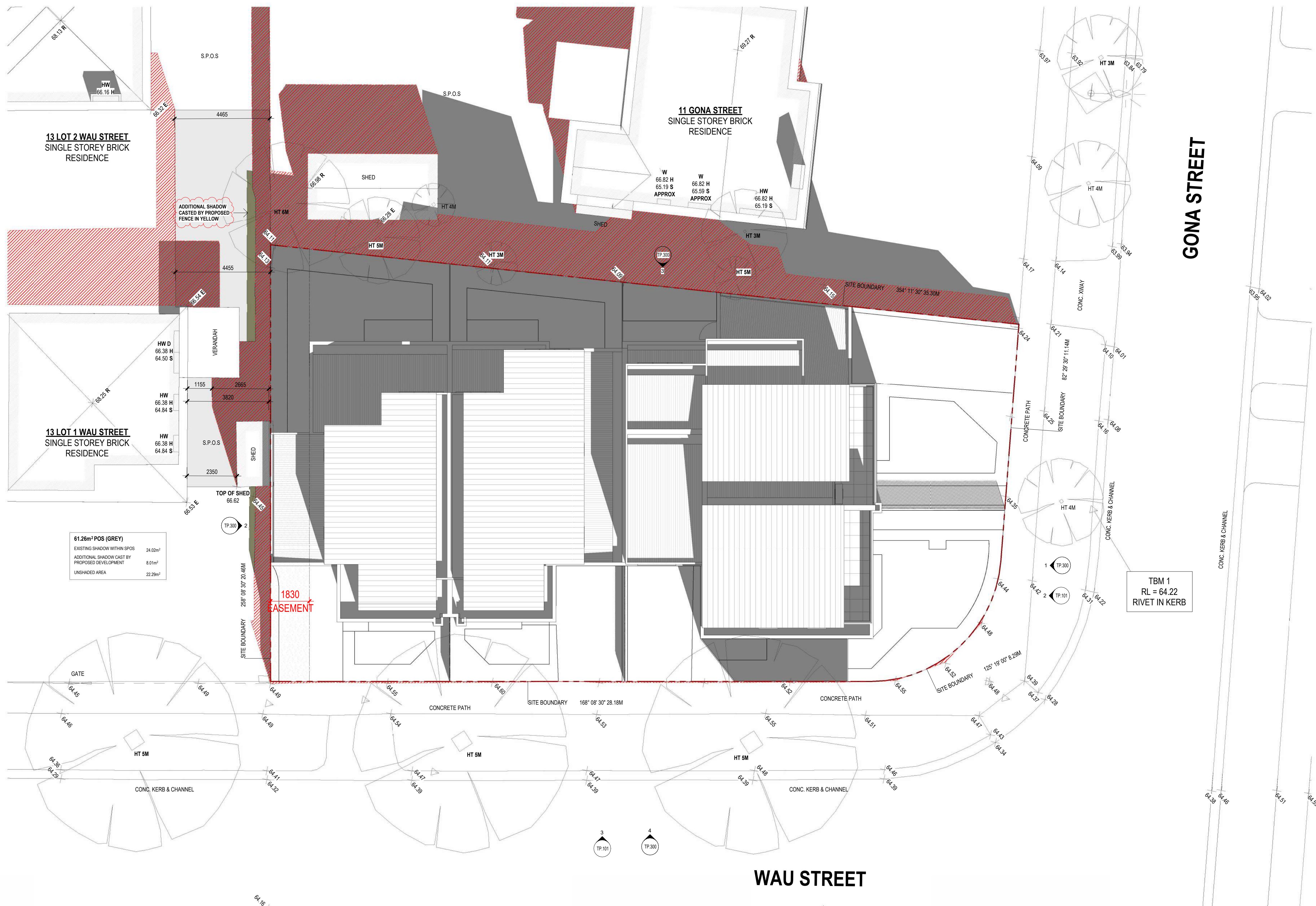
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Rev	Description	Date
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Council RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025

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LEGEND

 EXISTING SHADOW

PROPOSED SHADOW

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Unit 2, 1 Bik Lane, Fitzroy North 3068

Project Address
Drawing Title

9 GONA STREET, HEIDELBERG W/

9AM SHADOWS

Project Number
Drawing Number

241937
TP.600

Rev	Description	Date
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Council RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025

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ADVERTISED PLAN
Application No. 980/2024

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LEGEND

 EXISTING SHADOW

PROPOSED SHADOW

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Project Address	9 GONA STREET, HEIDELBERG WEST	Project Number	241937
Drawing Title	10AM SHADOWS	Drawing Number	TP.601
Drawing Issue	TOWN PLANNING	Issue Date	JAN 2025
Client	PBH	Revision Issue	C
		Drawn by	DE
		Checked by	GM
North Point		Scale	A3 / A1 / A0 /

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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST

Project Number
Drawing Number
Issue Date
Revision Issue

241937
TP.602
JAN 2025
C

Drawn by
Checked by
Scale

DE
GM
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Rev Description

A

Issue for Lodgement

B

Issue in Response to Council RFI

C

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Date

16/09/2024

28/11/2024

13/01/2025

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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST

Project Number

241937

Drawing Number

TP.603

Issue Date

JAN 2025

Revision Issue

C

Drawn by

DE

Checked by

GM

Scale

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Rev	Description	Date
A	Issue for Lodgement	16/09/2024
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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST

1PM SHADOWS

TOWN PLANNING

PBH

Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

241937

TP.604

JAN 2025

C

DE

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A3 /

A1 /

1 : 100

Rev Description

A Issue for Lodgement

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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
2PM SHADOWS
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

241937
TP.605
JAN 2025
C
DE
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A3 /
A1 /

1 : 100

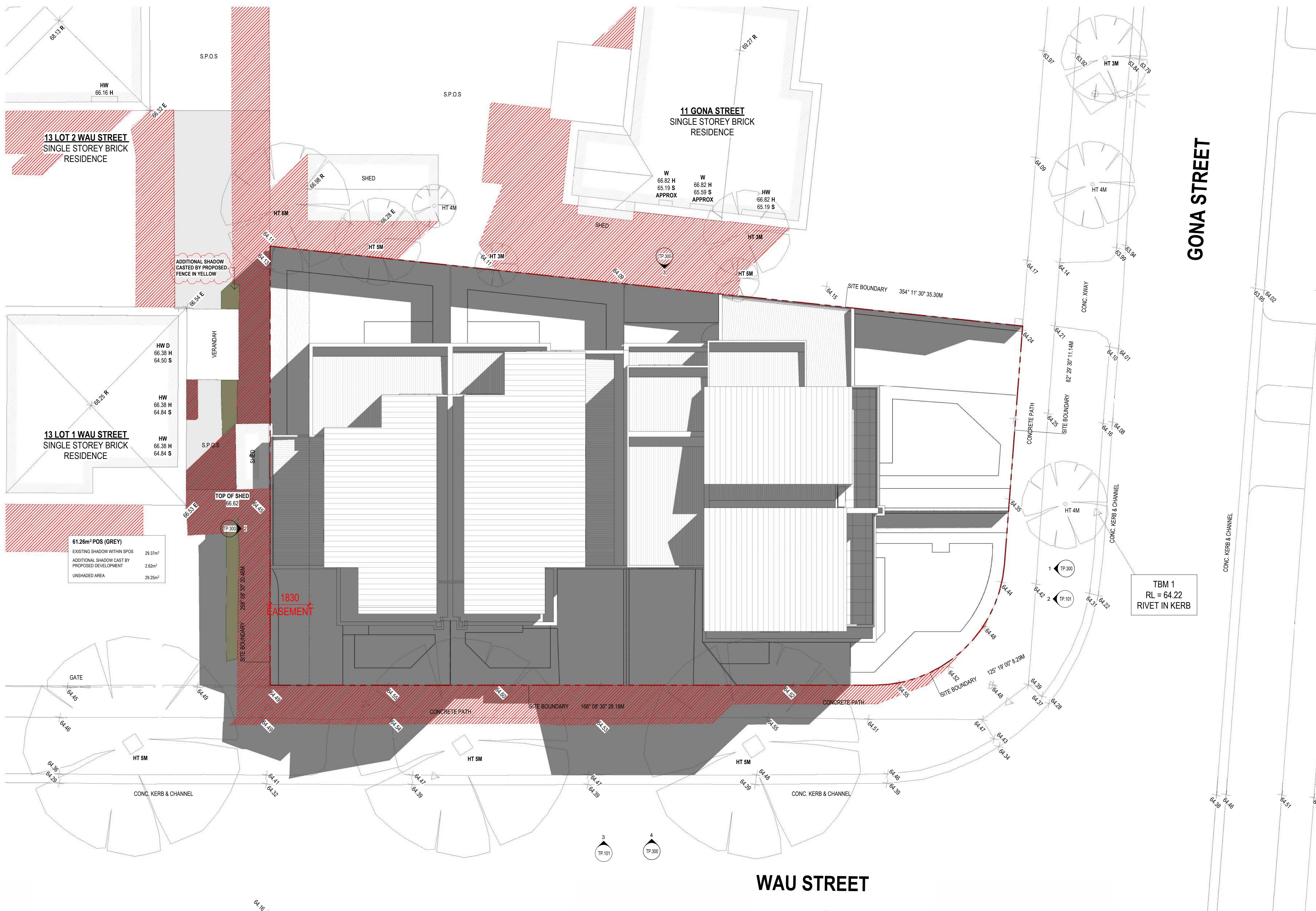
Rev	Description	Date
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Project Address	9 GONA STREET, HEIDELBERG WEST	Project Number	241937
Drawing Title	3PM SHADOWS	Drawing Number	TP.606
Drawing Issue	TOWN PLANNING	Issue Date	JAN 2025
Client	PBH	Revision Issue	C
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		Checked by	GM
North Point		Scale	A3 /

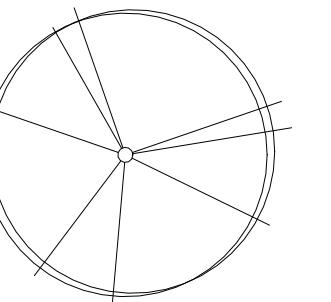
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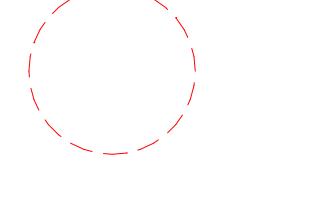
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LANDSCAPING LEGEND



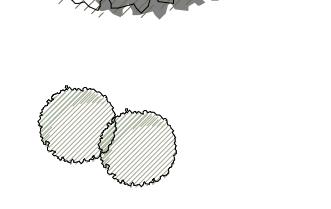
EXISTING TREE TO BE RETAINED
OR EXISTING STREET TREE



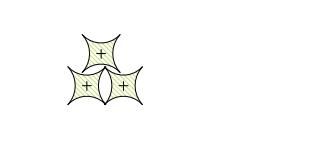
TREE TO BE
DEMOLISHED



TREE



SHRUBS



GROUNDCOVER



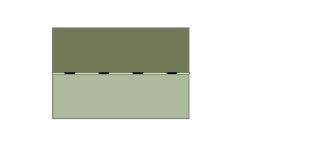
CONCRETE PAVING
(HARD, IMPERVIOUS)



PERMEABLE CONCRETE PAVING



GRASS (LAWN)



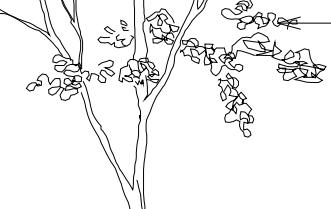
PLANTER BED



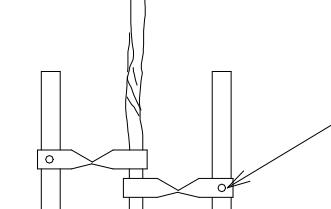
EDGING - TIMBER GARDEN EDGING
TO BE PROVIDED BETWEEN ALL
GARDEN BEDS, LAWN AND GRAVEL
PATHS AT 100MM DEEP.



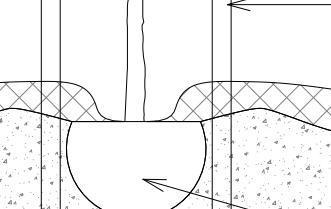
NOTE:
WIDTH OF PLANTING HOLE TO BE EITHER 3
TIMES ROOTBALL DIA IN HIGHLY
COMPACTED SOILS OR 2 TIMES ROOTBALL
DIA MIN. IN ALL OTHER SOIL TYPES



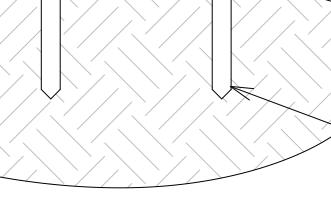
NEW TREE TO BE A HEALTHY, WELL
GROWN SPECIMEN AND WATERED PRIOR
TO PLANTING



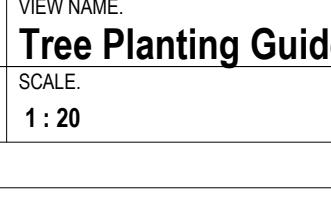
50MM WIDE CANVAS TIE IN FIGURE 8 LOOP
SEC'D TO STAKES WITH GALVANIZED
NAILS



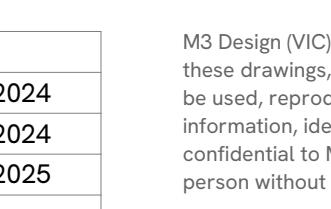
50 X 50 X 200MM HARDWOOD STAKES
EXTEND 200MM INTO GROUND OUTSIDE
ROOTBALL



75MM ORGANIC MULCH TO FORM SHALLOW
MOUND AROUND BASE OF TRUNK



BACKFILL EXCAVATED FROM SITE
INTO HOLE

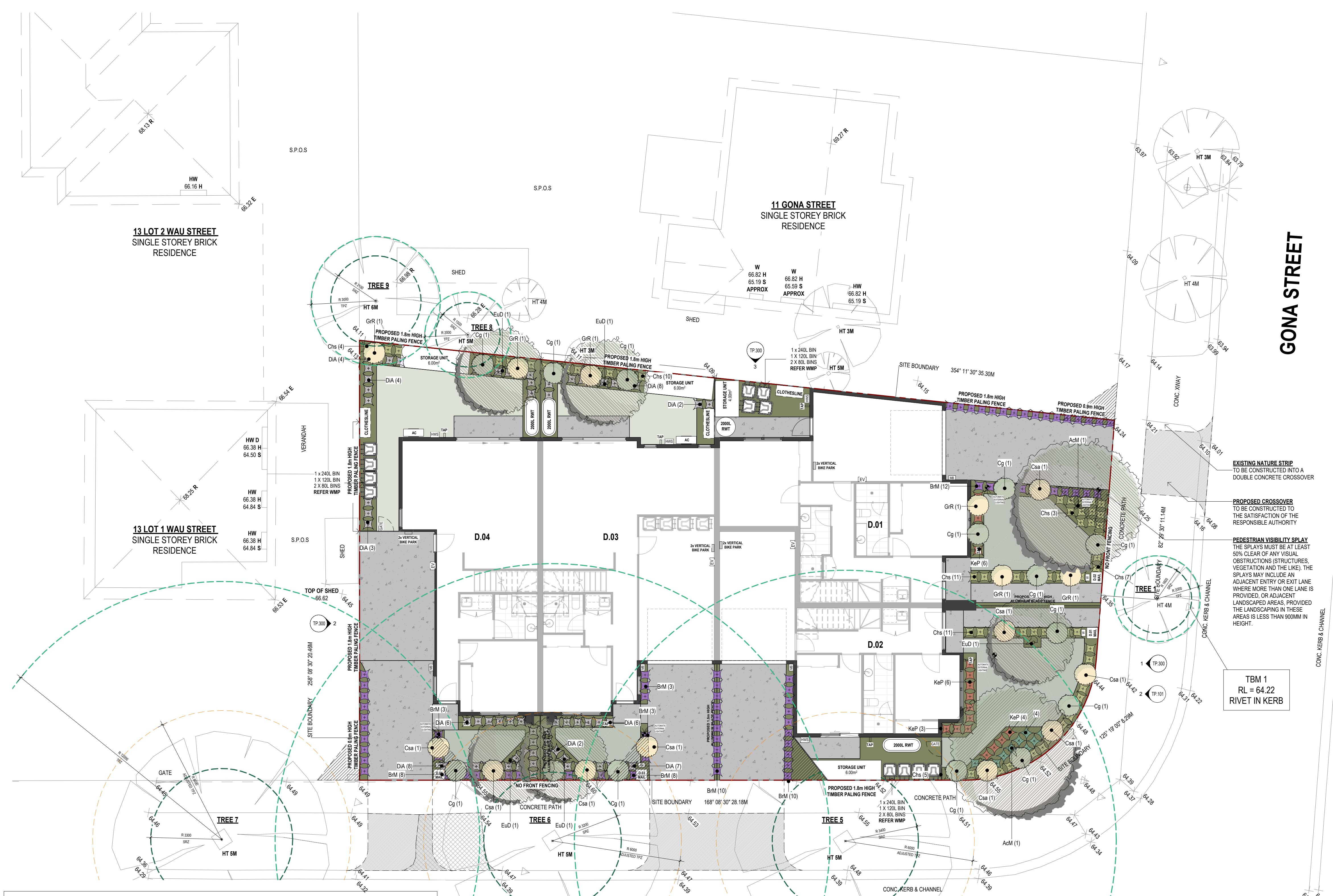


EXISTING SUB-GRADE



TREE STAKES EXTENDED 200MM MIN. INTO
UNDISTURBED SOIL

GONA STREET



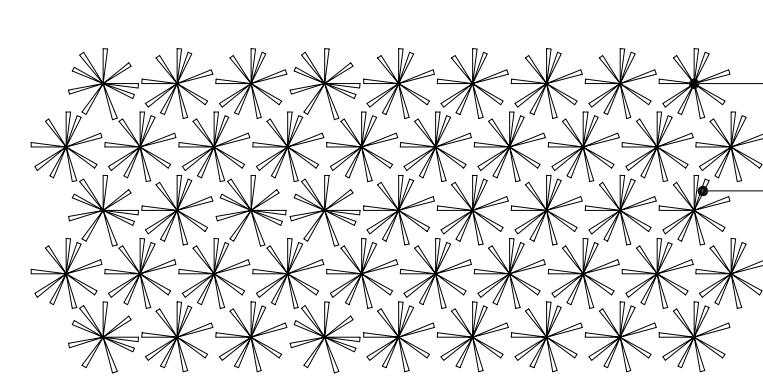
PLANTING SCHEDULE

ABBREV.	BOTANICAL NAME	COMMON NAME	D/E	H x W	SUPPLY SIZE	DENSITY	COUNT
TREES							
AcM	Acacia melanoxylon	Blackwood	E	5 - 8m x 5 - 8m	Min. Height 1.6m, 40L Container	-	2
EuD	Eucalyptus leucoxylon	Euky Dwarf	E	4.0-10.0m x 3.0-4.0m	50cm Pot (52L) / 1.8m High	-	5

ABBREV.	BOTANICAL NAME	COMMON NAME	D/E	H x W	SUPPLY SIZE	DENSITY	COUNT
SHRUBS							
Cg	Correa glabra	Rock Correa	E	1.0m x 1.0m	140mm Pots	-	14
Csa	Cassinia arcuata	Drooping Cassinia	E	1-3 m x 1.2m	140mm Pots	-	9
GrR	Grevillea rosmarinifolia	Rosemary Grevillea	E	1-3 m x 2-3m	140mm Pots	-	6

ABBREV.	BOTANICAL NAME	COMMON NAME	D/E	H x W	SUPPLY SIZE	DENSITY	COUNT
GROUND COVER							
Bm	Brachyscome multifida	Cut-leaf Daisy	E	10-40 cm x 20cm-1.0m	140mm Pots	-	83
ChS	Chrysocephalum semipapposum	Clustered Everlasting	E	0.3 - 1.0m x 1.0-3.0m	140mm Pots	-	80
DiA	Dianella admixta	Black Anther Flax-lily	E	0.3 - 1.0m x 0.5 - 2.5m	150mm Pots	-	73
KeP	Kennedia prostrata	Running Postman	E	Prostrate 1-2.5m	140mm Pots	-	19
WaC	Wahlenbergia communis	Tufted Bluebell	E	0.15-0.5m x 0.15m	150mm Pots	-	10

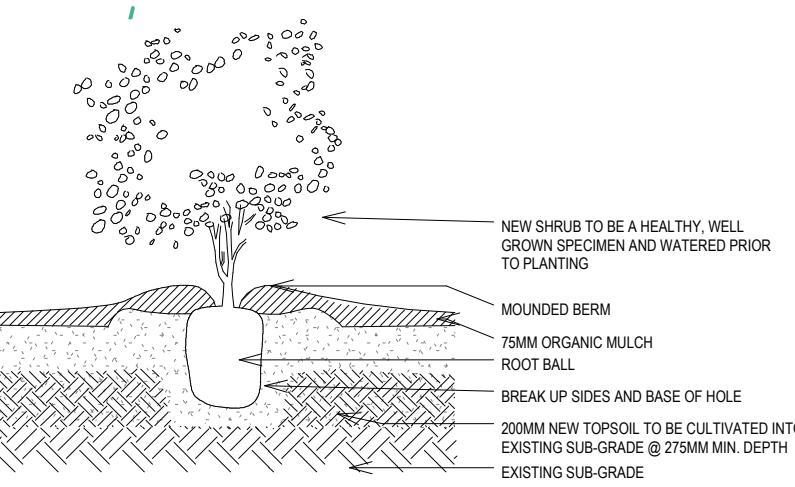
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NEW GROUNDCOVERS TO BE HEALTHY,
WELL-GROWN SPECIMENS AND WELLWATERED
PRIOR TO PLANTING

DIAGONAL PLANTING IN ROWS TO ENSURE A NEAT
AND CONSISTENT LAYOUT IS ACHIEVED WITHIN
EACH GARDEN-BED

DWG REF.	VIEW NAME.	SCALE.
3	Groundcover Planting	1: 20



NEW SHRUBS TO BE A HEALTHY, WELL
GROWN SPECIMEN AND WATERED PRIOR
TO PLANTING

MOUNTED BERM
75MM ORGANIC MULCH
ROOT BALL

BREAK UP SIDES AND BASE OF HOLE
200MM NEW TOPSOIL @ 275MM MIN. DEPTH
EXISTING SUB-GRADE

DWG REF.	VIEW NAME.	SCALE.
2	Shrub Planting	1: 20

DWG REF.	VIEW NAME.	SCALE.
1	Tree Planting Guide	1: 20

Project Address	9 GONA STREET, HEIDELBERG WEST	Project Number	241937
Drawing Title	LANDSCAPE PLAN	Drawing Number	TP.700
Drawing Issue	TOWN PLANNING	Issue Date	JAN 2025
Client	PBH	Revision Issue	C
		Drawn by	DE
		Checked by	GM
		Scale	A3 / A1 /
			As indicated

Rev	Description	Date
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Council RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025

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Project Address	9 GONA STREET, HEIDELBERG WEST	Project Number	241937
Drawing Title	DESIGN INTENT	Drawing Number	TP.800
Drawing Issue	TOWN PLANNING	Issue Date	JAN 2024
Client	PBH	Revision Issue	C
		Drawn by	DE
		Checked by	GM
		Scale	A3 /
			A1 /

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Issue Date: JAN 2025
Revision Issue: C
Drawn by: DE
Checked by: GM
Scale: A3 / A1 /

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