

TOWN PLANNING APPLICATION
JANUARY 2025

9 GONA STREET,
HEIDELBERG WEST

info@m3group.au
Unit 2, 1 Bik Lane
Fitzroy North 3068



M3 GROUP

ADVERTISED PLAN
Application No. P5002024
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available for the sole purpose of
seeking for consideration and review
as part of a planning process under the
Planning, Environment and Heritage
Act 2007.
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PROJECT SUMMARY

9 GONA STREET, HEIDELBERG WEST

4 DOUBLE STOREY TOWNHOUSES

PLANNING SHEET LIST				
SHEET NO.	SHEET NAME	REV.	CURRENT REV. DATE	CURRENT REV. DESCRIPTION
TP.00	PROJECT SUMMARY	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.100	SITE ANALYSIS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.101	DESIGN RESPONSE	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.200	GROUND FLOOR PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.201	FIRST FLOOR PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.202	ROOF PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.300	ELEVATIONS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.301	ELEVATIONS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.302	FINISHES SCHEDULE	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.400	CATCHMENT PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.401	ESD TABLE NOTES	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.500	GARDEN AREA PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.600	9AM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.601	10AM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.602	11AM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.603	12PM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.604	1PM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.605	2PM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.606	3PM SHADOWS	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.700	LANDSCAPE PLAN	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.800	DESIGN INTENT	C	13/01/2025	Issue in Response to Council RFI (PN)
TP.801	DESIGN INTENT	C	13/01/2025	Issue in Response to Council RFI (PN)

DEVELOPMENT SUMMARY	
NAME	AREA
AREA	635.64 m²

A5 & B8 SITE COVERAGE		
NAME	AREA	% OF SITE
AREA	356.80 m²	56

PERMEABLE AREA		
NAME	AREA	(%) OF SITE
AREA	180.74 m²	29

GARDEN AREA		
NAME	AREA	% SITE
AREA	204.47 m²	32.17

AREA SCHEDULE - D.01	
NAME	AREA
D.01 GF	60.62 m²
D.01 GARAGE	25.80 m²
D.01 FF	57.05 m²
D.01 BAL	9.74 m²
	153.21 m²

AREA SCHEDULE - D.02	
NAME	AREA
D.02 GF	45.37 m²
D.02 GARAGE	23.25 m²
D.02 FF	59.03 m²
D.02 BAL	9.32 m²
	136.98 m²

AREA SCHEDULE - D.03	
NAME	AREA
D.03 GARAGE	23.24 m²
D.03 GF	72.76 m²
D.03 FF	65.89 m²
	161.89 m²

AREA SCHEDULE - D.04	
NAME	AREA
D.04 GF	70.39 m²
D.04 CARPORT	21.58 m²
D.04 FF	68.28 m²
	160.24 m²

AREA SCHEDULE - D.01 OPEN SPACE	
NAME	AREA
D.01 POS	11.24 m²
D.01FOS	38.31 m²

AREA SCHEDULE - D.02 OPEN SPACE	
NAME	AREA
D.02 FOS	49.00 m²
D.02 POS	31.59 m²

AREA SCHEDULE - D.03 OPEN SPACE	
NAME	AREA
D.03 FOS	33.86 m²
D.03 POS	26.98 m²

AREA SCHEDULE - D.04 OPEN SPACE	
NAME	AREA
D.04 FOS	34.06 m²
D.04 POS	42.21 m²



info@m3group.au
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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
PROJECT SUMMARY
TOWN PLANNING
PBH

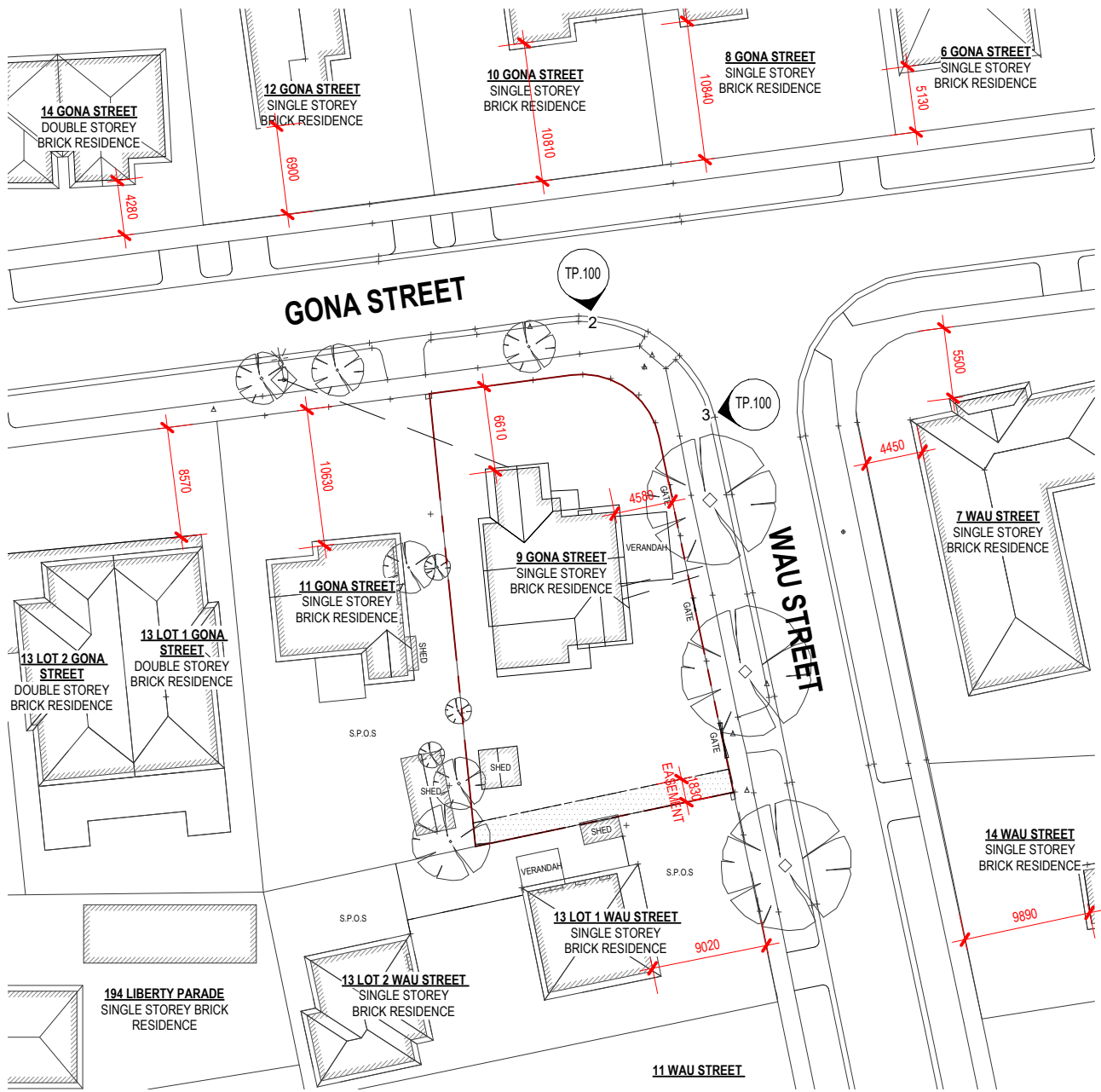
Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

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TP.00
JAN 2025
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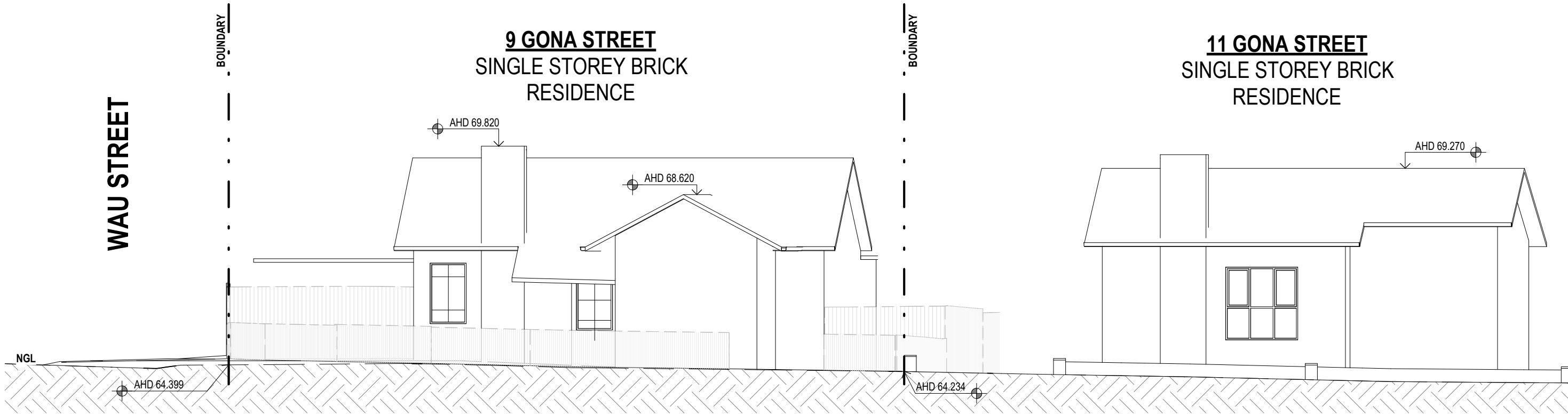
Rev	Description	Date
-	Concept Plans	04/09/2024
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Coucil RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025

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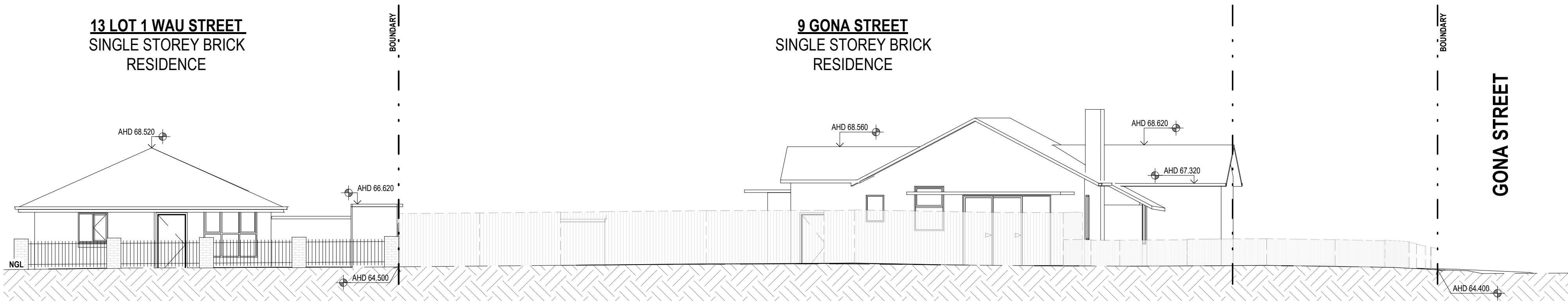
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DWG REF.	VIEW NAME
1	SITE ANALYSIS
DWG NUMBER	SCALE
TP.300	1 : 500



DWG REF.	VIEW NAME
2	STREETSCAPE - GONA STREET (EXISTING)
DWG NUMBER	SCALE
TP.100	1 : 100



DWG REF.	VIEW NAME
3	STREETSCAPE - WAU STREET (EXISTING)
DWG NUMBER	SCALE
TP.100	1 : 100



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Client

9 GONA STREET, HEIDELBERG WEST
SITE ANALYSIS
TOWN PLANNING
PBH

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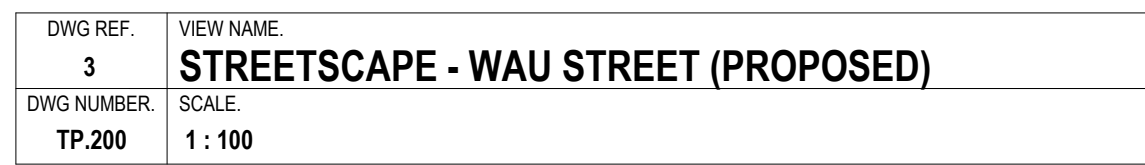
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Project Address
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9 GONA STREET, HEIDELBERG WEST
GROUND FLOOR PLAN
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

241937
TP-200
JAN 2025
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North Point



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LEGEND

- LANDSCAPING (INDICATIVE ONLY).
REFER TO LANDSCAPING PLAN FOR DETAILS
- AHD: 66.000 FINISH FLOOR LEVEL TO AHD.
- EXTERNAL LIGHT WITH MOTION DETECTOR. WALL MOUNTED.
- MAIL BOX
- MB METER BOX
- GM GAS METER
- WM WATER METER
- F1 TIMBER PALING FENCE
- F2 VERTICAL ALUMINUM BLADE FENCE AT 1.2m HEIGHT
- TAP
- FW FLOOR WASTE
- MD METAL DECK ROOFING
- 2° ROOF SLOPE
- EV EV CHARGING - LEVEL 2I MODE 3 32AMP

- FLOOR ABOVE
- BALCONY ABOVE
- EASEMENT
- SELECTED PERMEABLE PAVING
- SELECTED CONCRETE DRIVEWAY (PERMEABLE)
- SELECTED TIMBER DECKING
- SELECTED TIMBER FLOOR BOARDS
- SELECTED FLOOR TILES
- SELECTED CARPET
- SELECTED GARDEN BED
- SELECTED GRASS

NOTES.

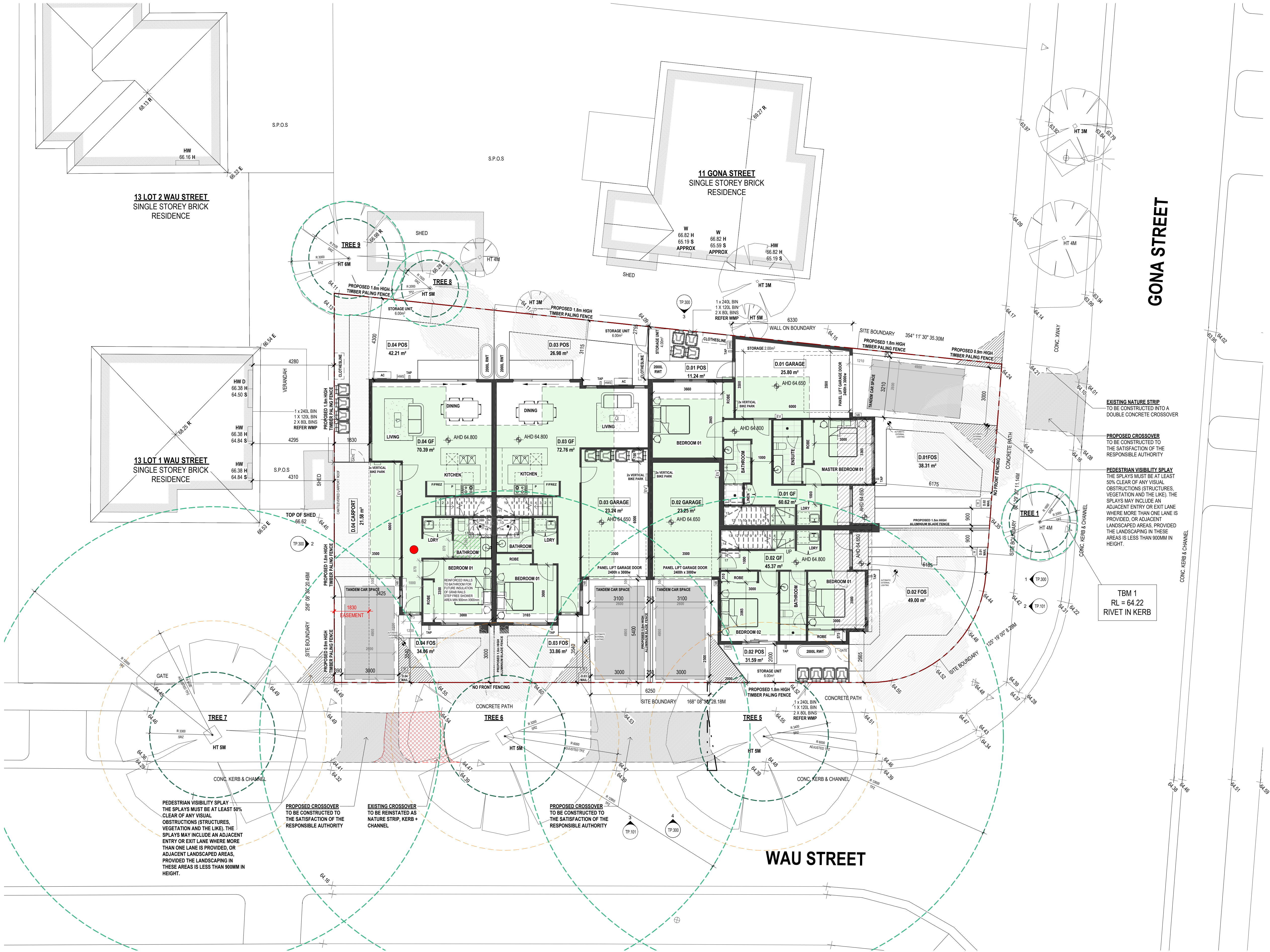
- DOUBLE GLAZING (OR BETTER) TO BE USED TO ALL HABITABLE AREAS

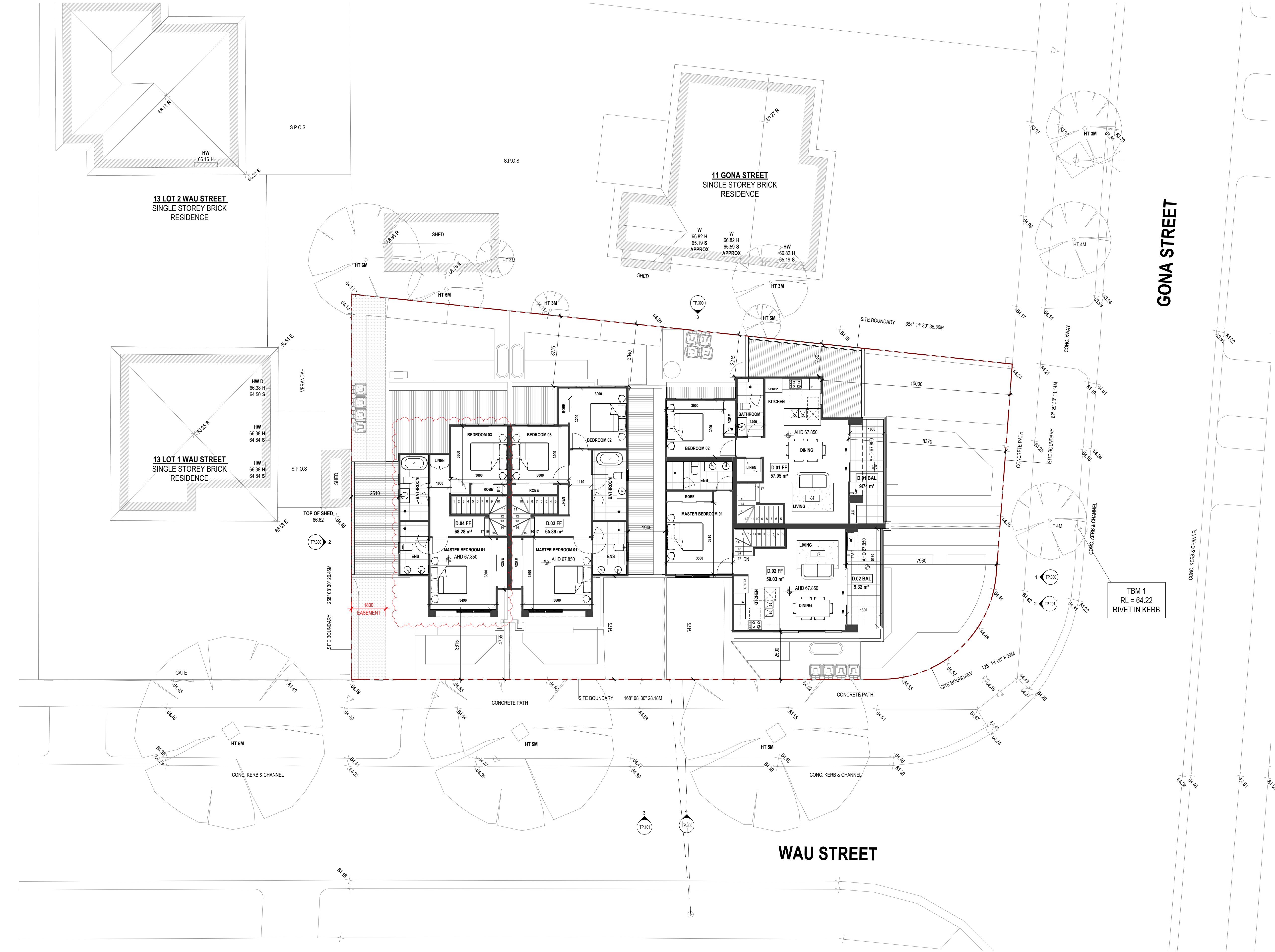
BANYULE LIVEABLE HOUSING DESIGN GUIDELINES.

- NOMINATED DWELLING COMPLIANT WITH BANYULE LIVEABLE HOUSING DESIGN GUIDELINES

- CLEARANCE AREA

- ACCESS TO THE DWELLING**
A CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM THE STREET TO THE DWELLING ENTRANCE. A CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM CAR PARKING AREAS TO THE MAIN ENTRANCE OR ANOTHER DWELLING ENTRY. THE PATH OF TRAVEL MUST BE MINIMUM 1000 mm WIDE AND AT A MAXIMUM GRADIENT OF 1:14 AND WITH A CROSSFALL NO GREATER THAN 1:40.
- ENTRANCE**
AT LEAST ONE LEVEL (STEP FREE) ENTRANCE INTO THE DWELLING THAT PROVIDES: DIRECT ACCESS FROM THE ACCESSIBLE PATH OF TRAVEL DESCRIBED ABOVE. A LEVEL LANDING AREA OF 1200 mm x 1200 mm, EXCLUSIVE OF THE SWING OF THE DOOR. A MINIMUM DOORWAY WIDTH OF 850 mm. THE HEIGHT DIFFERENCE BETWEEN ADJUTING SURFACES MUST BE NO GREATER THAN 5 mm.
- CORRIDORS**
THE WIDTH OF INTERNAL CORRIDORS MUST BE A MINIMUM OF 1000 mm.
- DOORWAYS**
THE WIDTH OF DOORWAYS MUST BE A MINIMUM WIDTH OF 850 mm.
- TOILET**
A TOILET ON GROUND FLOOR THAT PROVIDES: A CLEAR WIDTH OF 800 mm AND A SPACE OF 1200 mm (LENGTH FORWARD OF THE PAN EXCLUSIVE OF THE SWING OF THE DOOR) IF TOILET IS LOCATED IN A SEPARATE ROOM. REINFORCED WALLS TO ALLOW FOR FUTURE INSTALLATION OF GRAB RAIL.
- BATHROOM AND SHOWER**
ACCESS TO A SHOWER ON THE GROUND FLOOR THAT PROVIDES: A STEP FREE SHOWER AREA OF AT LEAST 800 mm x 900 mm IN WIDTH AND LENGTH. A CLEAR SPACE IN FRONT OF THE SHOWER THAT IS 1200 mm x 1200 mm IN WIDTH AND LENGTH. REINFORCED WALLS TO ALLOW FOR FUTURE INSTALLATION OF GRAB RAILS. (NOTE: IF THE TOILET AND SHOWER AREA ARE LOCATED IN THE SAME ROOM THE ABOVE DIMENSIONS AND FEATURES SHOULD BE MAINTAINED FOR BOTH THE SHOWER AND THE TOILET.)
- BEDROOM**
A ROOM ON THE GROUND FLOOR THAT COULD BE USED AS A BEDROOM THAT IS AT LEAST 10m².





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- FINISH FLOOR LEVEL TO AHD.
- EXTERNAL LIGHT WITH MOTION DETECTOR. WALL MOUNTED.
- MAIL BOX
- METER BOX
- GAS METER
- WATER METER
- TIMBER PAULING FENCE
- VERTICAL ALUMINUM BLADE FENCE AT 1.2m HEIGHT
- TAP
- FLOOR WASTE
- METAL DECK ROOFING
- ROOF SLOPE
- EV CHARGING - LEVEL 2/ MODE 3 32AMP

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- EASEMENT
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- SELECTED TIMBER FLOOR BOARDS
- SELECTED FLOOR TILES
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NOTES.

- DOUBLE GLAZING (OR BETTER) TO BE USED TO ALL HABITABLE AREAS

BANYNLE LIVEABLE HOUSING DESIGN GUIDELINES.

- NOMINATED DWELLING COMPLIANT WITH BANYNLE LIVEABLE HOUSING DESIGN GUIDELINES
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A CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM THE STREET TO THE DWELLING ENTRANCE.
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- ENTRANCE
AT LEAST ONE LEVEL (STEP FREE) ENTRANCE INTO THE DWELLING THAT PROVIDES:
DIRECT ACCESS FROM THE ACCESSIBLE PATH OF TRAVEL DESCRIBED ABOVE.
A LEVEL LANDING AREA OF 1200 mm x 1200mm. EXCLUSIVE OF THE SWING OF THE DOOR.
A MINIMUM DOORWAY WIDTH OF 850mm.
THE HEIGHT DIFFERENCE BETWEEN ABUTTING SURFACES MUST BE NO GREATER THAN 5 mm.
- CORRIDORS
THE WIDTH OF INTERNAL CORRIDORS MUST BE A MINIMUM OF 1000 mm.
- DOORWAYS
THE WIDTH OF DOORWAYS MUST BE A MINIMUM WIDTH OF 850 mm.
- TOILET
A TOILET ON GROUND FLOOR THAT PROVIDES:
A CLEAR WIDTH OF 800mm AND A SPACE OF 1200mm (LENGTH FORWARD OF THE PAN (EXCLUSIVE OF THE SWING OF THE DOOR)) IF TOILET IS LOCATED IN A SEPARATE ROOM.
REINFORCED WALLS TO ALLOW FOR FUTURE INSTALLATION OF GRAB RAIL.
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ACCESS TO A SHOWER ON THE GROUND FLOOR THAT PROVIDES:
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(NOTE: IF THE TOILET AND SHOWER AREA ARE LOCATED IN THE SAME ROOM THE ABOVE DIMENSIONS AND FEATURES SHOULD BE MAINTAINED FOR BOTH THE SHOWER AND THE TOILET.)
- BEDROOM
A ROOM ON THE GROUND FLOOR THAT COULD BE USED AS A BEDROOM THAT IS AT LEAST 10m².



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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
FIRST FLOOR PLAN
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

241937
TP 201
JAN 2025
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1 : 100

Rev	Description	Date
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9 GONA STREET, HEIDELBERG WEST
ROOF PLAN
TOWN PLANNING
PBH

Project Number
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Issue Date
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Drawn by
Checked by
Scale

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TP-202
JAN 2025
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North Point

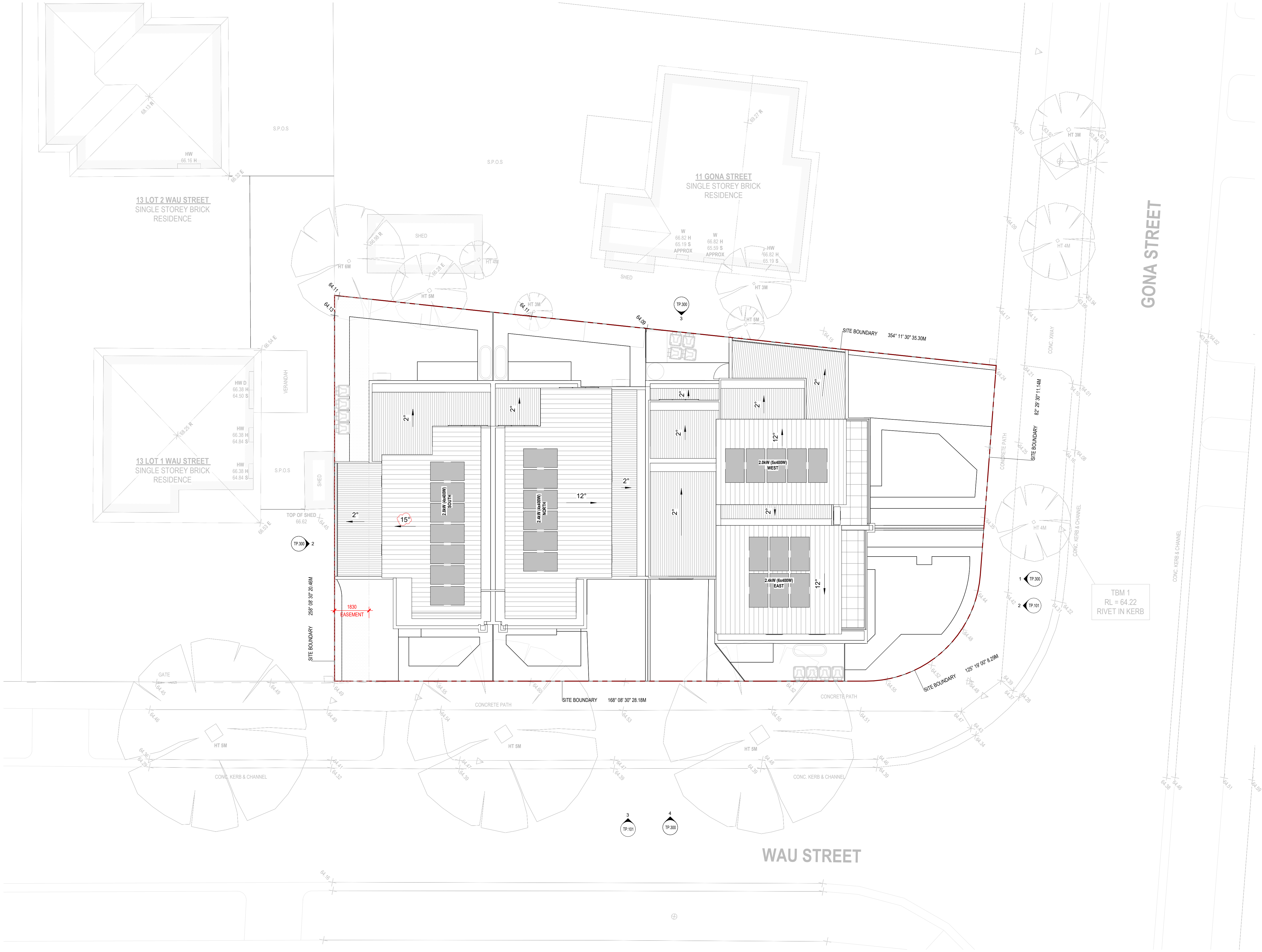


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LEGEND

- LANDSCAPING (INDICATIVE ONLY). REFER TO LANDSCAPING PLAN FOR DETAILS.
- FINISH FLOOR LEVEL TO AHD.
- EXTERNAL LIGHT WITH MOTION DETECTOR. WALL MOUNTED.
- MAIL BOX
- METER BOX
- GAS METER
- WATER METER
- TIMBER PAULING FENCE
- VERTICAL ALUMINUM BLADE FENCE AT 1.2m HEIGHT
- TAP
- FLOOR WASTE
- METAL DECK ROOFING
- ROOF SLOPE
- EV CHARGING - LEVEL 2/ MODE 3 32AMP

- FLOOR ABOVE
- BALCONY ABOVE
- EASEMENT
- SELECTED PERMEABLE PAVING
- SELECTED CONCRETE DRIVEWAY (PERMEABLE)
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NOTES.

- DOUBLE GLAZING (OR BETTER) TO BE USED TO ALL HABITABLE AREAS

BANYULE LIVEABLE HOUSING DESIGN GUIDELINES.

- NOMINATED DWELLING COMPLIANT WITH BANYULE LIVEABLE HOUSING DESIGN GUIDELINES

1. ACCESS TO THE DWELLING

A CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM THE STREET TO THE DWELLING ENTRANCE. A CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM CAR PARKING AREAS TO THE MAIN ENTRANCE OR ANOTHER DWELLING ENTRY. THE PATH OF TRAVEL MUST BE MINIMUM 1000 mm WIDE AND AT A MAXIMUM GRADIENT OF 1:14 AND WITH A CROSSFALL NO GREATER THAN 1:40.

2. ENTRANCE

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3. CORRIDORS

THE WIDTH OF INTERNAL CORRIDORS MUST BE A MINIMUM OF 1000 mm.

4. DOORWAYS

THE WIDTH OF DOORWAYS MUST BE A MINIMUM WIDTH OF 850 mm.

5. TOILET

A TOILET ON GROUND FLOOR THAT PROVIDES: A CLEAR WIDTH OF 800mm AND A SPACE OF 1200mm (LENGTH FORWARD OF THE PAN (EXCLUSIVE OF THE SWING OF THE DOOR)) IF TOILET IS LOCATED IN A SEPARATE ROOM. REINFORCED WALLS TO ALLOW FOR FUTURE INSTALLATION OF GRAB RAIL.

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7. BEDROOM

A ROOM ON THE GROUND FLOOR THAT COULD BE USED AS A BEDROOM THAT IS AT LEAST 10m².



DWG REF.	VIEW NAME.
1	NORTH ELEVATION
DWG NUMBER.	SCALE.
TP.200	1 : 100



DWG REF.	VIEW NAME.
2	SOUTH ELEVATION
DWG NUMBER.	SCALE.
TP.200	1 : 100



DWG REF.	VIEW NAME.
3	EAST ELEVATION
DWG NUMBER.	SCALE.
TP.200	1 : 100



DWG REF.	VIEW NAME.
4	WEST ELEVATION
DWG NUMBER.	SCALE.
TP.200	1 : 100

FINISHES LEGEND

LEGEND	A
MATERIAL	SELECTED BRICK
PRODUCT	BRICK
COLOUR	CHARCOAL OR SIMILAR
FINISH	CHARCOAL OR SIMILAR

LEGEND	B
MATERIAL	SELECTED VERTICAL LINE CEMENT SHEET
PRODUCT	-
COLOUR	COLORBOND SHALE GREY
FINISH	PAINT

LEGEND	C
MATERIAL	SELECTED RENDER
PRODUCT	-
COLOUR	COLORBOND SHALE GREY
FINISH	-

LEGEND	D
MATERIAL	SELECTED RENDER
PRODUCT	-
COLOUR	COLORBOND BASALT
FINISH	-

LEGEND	E
MATERIAL	SELECTED ALUMINIUM BATTENS
PRODUCT	-
COLOUR	WHITE
FINISH	-

LEGEND	F
MATERIAL	SELECTED ALUMINIUM SCREENS, SHROUDS, FASCIAE & GUTTERS
PRODUCT	-
COLOUR	COLORBOND MONUMENT
FINISH	POWDERCOAT

LEGEND	G
MATERIAL	SELECTED ALUMINIUM FRAMED GLAZING
FRAME COLOUR	COLORBOND MONUMENT
FRAME FINISH	POWDERCOAT
GLAZING	CLEAR

LEGEND	H
MATERIAL	SELECTED ALUMINIUM FRAMED GLAZING
FRAME COLOUR	-
FRAME FINISH	COLORBOND MONUMENT
GLAZING	OBSCURE

LEGEND	I
MATERIAL	SELECTED TIMBER PALING FENCE
PRODUCT	-
COLOUR	NATURAL, (BOUNDARY) BASALT (INTERNAL)
FINISH	-

LEGEND	J
MATERIAL	SELECTED ALUMINIUM BLADE FENCE
PRODUCT	-
COLOUR	COLORBOND MONUMENT
FINISH	-

LEGEND	K
MATERIAL	SELECTED TIMBER FRONT DOOR
PRODUCT	-
COLOUR	COLORBOND MONUMENT
FINISH	-

LEGEND	L
MATERIAL	SELECTED GARAGE DOOR
PRODUCT	-
COLOUR	COLORBOND MONUMENT
FINISH	-

NOTES.

- DOUBLE GLAZING (OR BETTER) TO BE USED TO ALL HABITABLE AREAS



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A3 /
A1 / As indicated

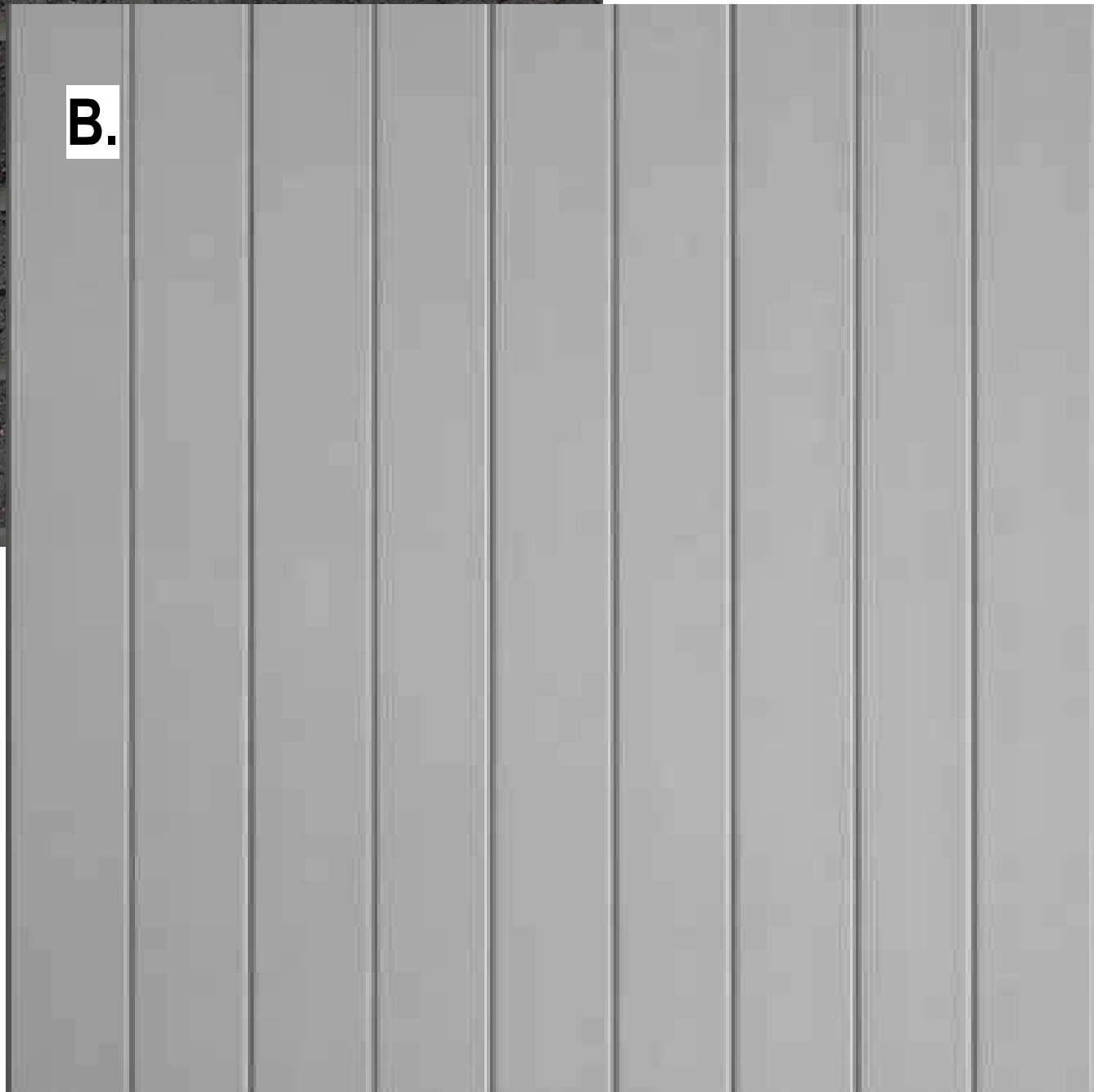
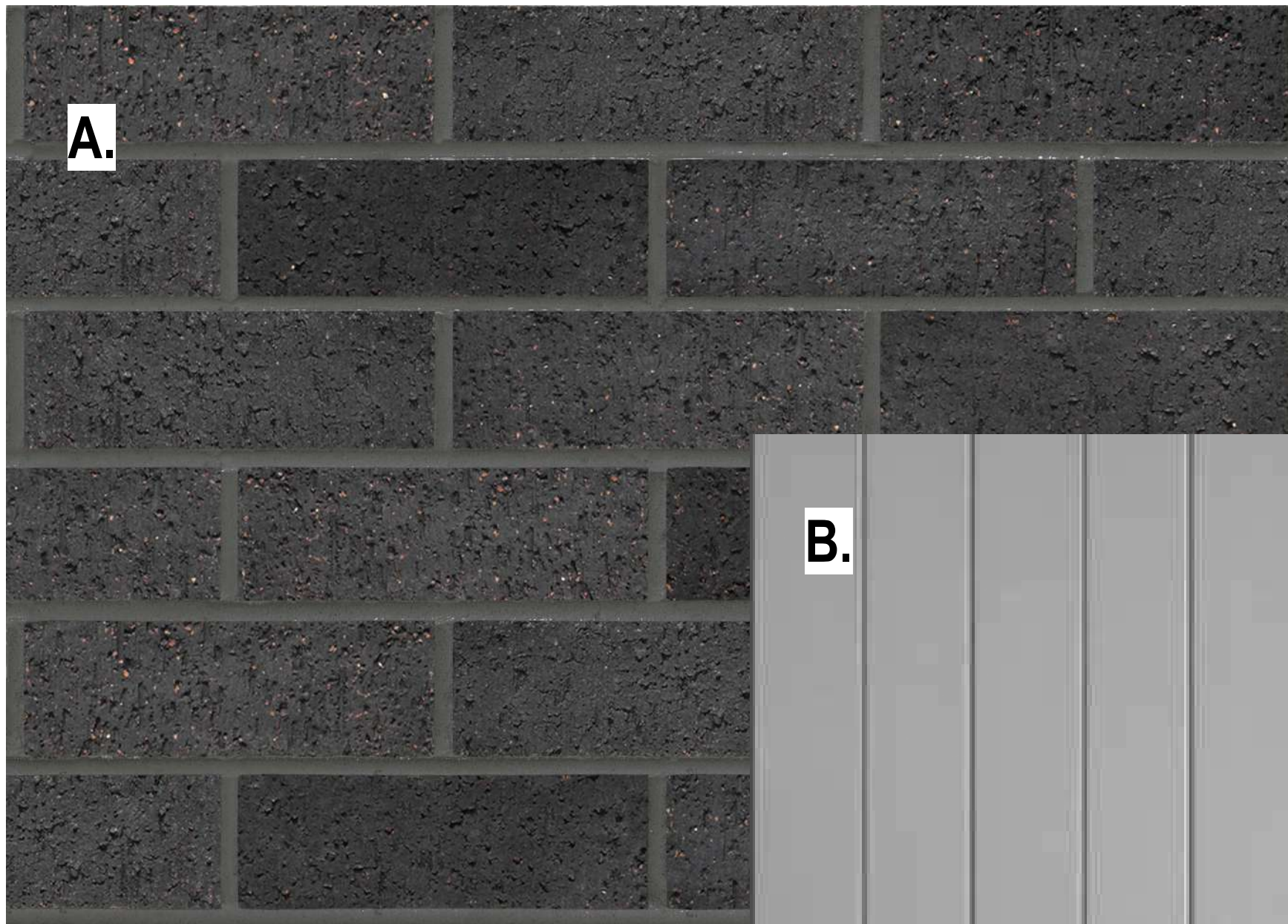
Rev	Description	Date
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Coucil RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025

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FINISHES LEGEND

LEGEND	A
MATERIAL	SELECTED BRICK
PRODUCT	BRICK
COLOUR	CHARCOAL OR SIMILAR
FINISH	-
MOTAR COLOUR	CHARCOAL OR SIMILAR

LEGEND	B
MATERIAL	SELECTED VERTICAL LINE CEMENT SHEET
PRODUCT	-
COLOUR	COLORBOND SHALE GREY
FINISH	PAINT

LEGEND	C
MATERIAL	SELECTED RENDER
PRODUCT	-
COLOUR	COLORBOND SHALE GREY
FINISH	-

LEGEND	D
MATERIAL	SELECTED RENDER
PRODUCT	-
COLOUR	COLORBOND BASALT
FINISH	-

LEGEND	E
MATERIAL	SELECTED ALUMINIUM BATTENS
PRODUCT	-
COLOUR	WHITE
FINISH	-

LEGEND	F
MATERIAL	SELECTED ALUMINIUM SCREENS, SHROUDS FASCIAS & GUTTERS
PRODUCT	-
COLOR	COLORBOND MONUMENT
FINISH	POWDERCOAT

LEGEND	G
MATERIAL	SELECTED ALUMINIUM FRAMED GLAZING
FRAME COLOUR	COLORBOND MONUMENT
FRAME FINISH	POWDERCOAT
GLAZING	CLEAR

LEGEND	H
MATERIAL	SELECTED ALUMINIUM FRAMED GLAZING
FRAME COLOUR	-
FRAME FINISH	COLORBOND MONUMENT
GLAZING	OBSURE

LEGEND	I
MATERIAL	SELECTED TIMBER PALING FENCE
PRODUCT	-
COLOUR	NATURAL (BOUNDARY) BASALT (INTERNAL)
FINISH	-

LEGEND	J
MATERIAL	SELECTED ALUMINIUM BLADE FENCE
PRODUCT	-
COLOR	COLORBOND MONUMENT
FINISH	-

LEGEND	K
MATERIAL	SELECTED TIMBER FRONT DOOR
PRODUCT	-
COLOUR	COLORBOND MONUMENT
FINISH	-

LEGEND	L
MATERIAL	SELECTED GARAGE DOOR
PRODUCT	-
COLOUR	COLORBOND MONUMENT
FINISH	-

NOTES.

- DOUBLE GLAZING (OR BETTER) TO BE USED TO ALL HABITABLE AREAS



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Unit 2, 1 Bik Lane, Fitzroy North 3068

Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
FINISHES SCHEDULE
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

241937
TP.302
JAN 2025
C
DE
GM
A3 /
A1 / As indicated

Rev	Description	Date
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Council RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025

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Unit 2, 1 Bik Lane, Fitzroy North 3068

M3 GROUP

Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
CATCHMENT PLAN
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

241937
TP 400
JAN 2025
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A1 /

North Point



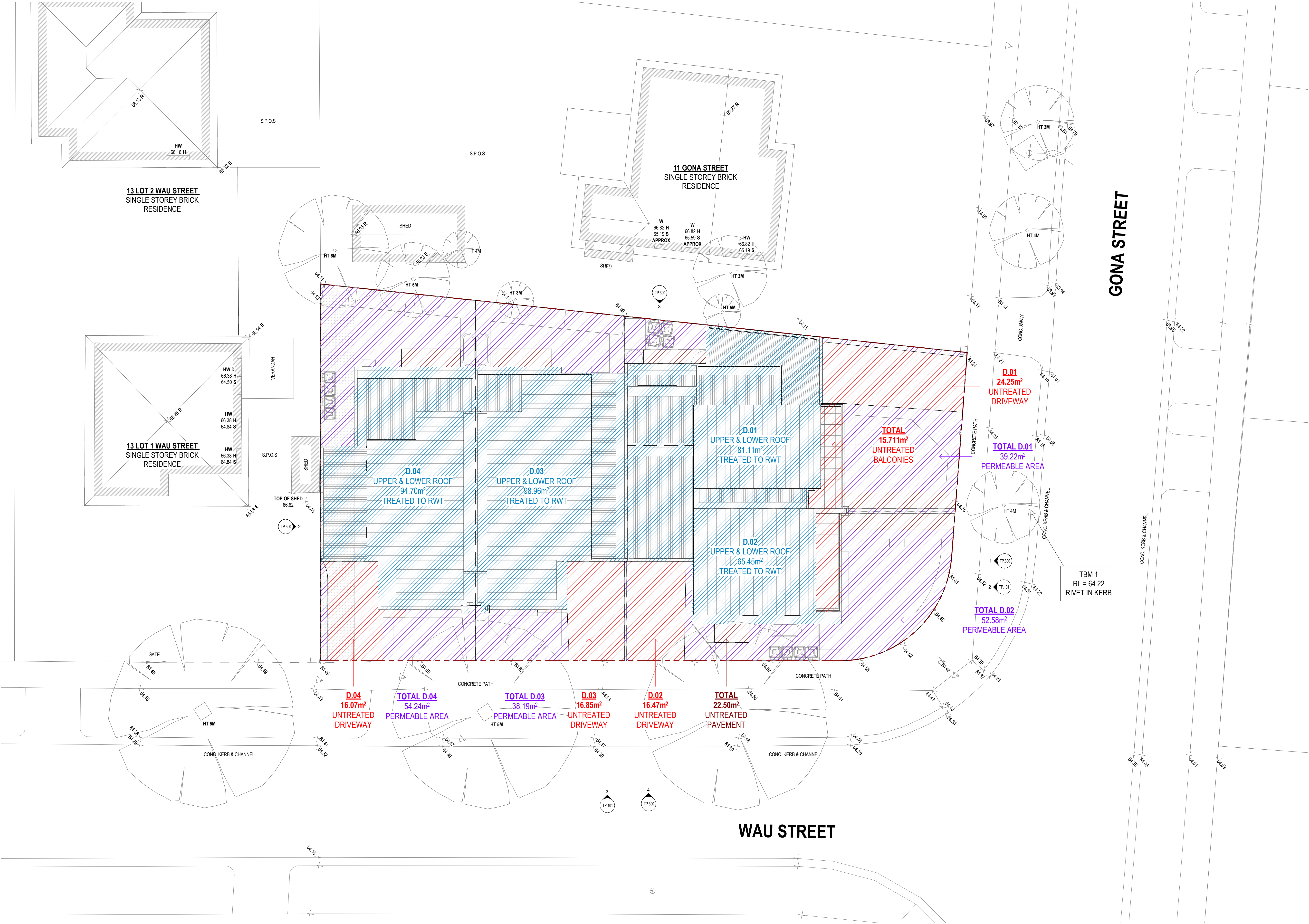
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Key Sustainability Initiatives

INTEGRATED WATER MANAGEMENT	
Shower Heads	4 Star WELS rated (>6.0 L/min but <7.5 L/min).
Toilets	4 Star WELS rated.
Bathroom & Kitchen Taps	5 Star WELS rated.
Washing Machines	Default or Unrated - Occupant to Install
Dishwashers	Default or Unrated
Stormwater Management	2,000L rainwater tank capacity to be installed to each dwelling, serving as catchment for the entire roof area. Rainwater tanks to be connected to all toilets for flushing. Contaminated water must not be discharged from the site into the stormwater system. Drainage system to be installed before commencement of construction and any stormwater is to be diverted away from exposed soil.
Irrigation System & Landscaping	Water efficient plants to be incorporated into the landscape design. Water efficient irrigation system to be installed, and have a rain shut-off device installed.
ENERGY	
Energy Efficiency	Preliminary NATHERS Energy Efficiency assessments were carried out on all dwellings based on NCC 2022 to a minimum 7 Star rating and an overall development average of 7.6 Star.
All Electric Site	Site proposed as 'All Electric' - no gas connection to site for appliances.
Windows & Glazed Doors	Double Glazed Low e Clear - Refer to Window Performance table in Energy Efficiency report by Enrate (Aust) Pty Ltd.
Heating & Cooling System	Reverse Cycle split systems to Bedrooms and Living rooms to each dwelling - Variable Capacity. Whole of Home Efficiency requirements as follows: Min. Heating Efficiency - HSPF Value = 2.5 (1.0 Star); Min. Cooling Efficiency - TCSPF Value = 3.50 (2.0 Star)
Solar PV Systems	Minimum total 8.0kW Solar PV system to be provided to site (D1 - 2.0kW, D2 & 3 - 2.4kW, D4 - 2.8kW). PV system must be manufactured to Australian Standards and be installed in compliance with all relevant installation standards.
Water Heater	Electric instantaneous hot water units to each dwelling.
Lighting	Energy Efficient – LED & Fluorescent lighting to be installed throughout each dwelling. The average Illumination Power Density to achieve a 20% reduction on NCC allowances, refer to Power Density table requirements in SDA. External perimeter lighting to be controlled by motion sensors.
Building Sealing	The building must be constructed to an acceptable level of air tightness as per NCC requirements.
INDOOR ENVIRONMENT QUALITY	
Natural Ventilation	Aggregate ventilation openings to all Living areas and Bedrooms are to be >5% of the floor area served as required by the NCC Volume 2 – Part 10.6. Effective cross-flow ventilation to D2, D3, D4. Dwelling 1 fails for ground floor Bedrooms. Internal doors to be provided with door catches.
Non Toxic Materials	Low VOC paints to be used for both internal and external finishes. Floor coverings such as underlays, carpet and timber to be sourced as low VOC products where practical. Sealants and adhesives used during construction to be Low VOC products where available and appropriate for the application.
TRANSPORT	
Electric Vehicle Charging	Dwellings to be wired to accommodate Level 2/Mode 3 (32Amp) EV Charging point.
WASTE MANAGEMENT	
Construction Waste	Separate bins to be provided on-site for separation of at least 80% of the construction waste material such as but not restricted to paper, plastics, timber etc and removal by qualified recycling contractors. Paint waste to be discarded appropriately as per manufacturer recommendations or by using paint waste hardeners. Paint waste must not be disposed of down drains or on-site.
Operational Waste	Separate bins for general waste, recycling and FOGO to be provided as shown in the Bin area.
URBAN ECOLOGY	
Biodiversity	Landscaping plants to be generally drought tolerant. Where possible Landscaping to incorporate as much Native or Local indigenous plants as possible. Where possible all proposed Plants to be sourced locally.
Private Open Spaces	Tap & Floor waste to be provided in POS & Balconies of each dwelling.
INNOVATION	
Innovation	This development is not claiming any initiatives under this category.
BUILDING MATERIALS	
Sustainable Materials	Where timber is proposed in the construction, commitment to use only sustainable timber products, sourced as plantation timber. Development to use only E1 or E0 grade engineered wood products (eg. MDF, Plywood, Engineered Wood Flooring). Where possible and applicable, recycled steel should be used in the construction.

Dwellings 1, 4 - Windows & Glazed Doors	WERS Code	Frame Type	Glazing	Total System	
				U-Value	SHGC Value
All Awning Windows	AWS-008-12	Aluminium	Double Glazed - CP Clear	3.69	0.45
All Glazed Sliding Doors	AWS-013-10	Aluminium	Double Glazed - CP Clear	3.31	0.50
NOTE: Any supplied glazing is considered in compliance only where the supplied 'Total System' performances (Glass & Frame) meet each of the following criteria: • Less than or Equal to the U-Value specified, and • Within +/-5% of the SHGC value specified.					

Dwellings 2, 3 - Windows & Glazed Doors	WERS Code	Frame Type	Glazing	Total System	
				U-Value	SHGC Value
All Awning Windows	AWS-008-12	Aluminium	Double Glazed - CP Clear	3.69	0.45
D02 Bed 2 - Glazed Sliding Door	AWS-013-10	Aluminium	Double Glazed - CP Clear	3.31	0.50
All Living Glazed Sliding Doors	AWS-013-61	Aluminium	Double Glazed - AGG Max Clear	2.96	0.23
NOTE: Any supplied glazing is considered in compliance only where the supplied 'Total System' performances (Glass & Frame) meet each of the following criteria: • Less than or Equal to the U-Value specified, and • Within +/-5% of the SHGC value specified.					

APPLIANCE - All Dwellings	TYPE
Water Heater	Electric instantaneous
Cooktop	Electric
Oven	Electric
Onsite Renewable	Photovoltaic System:
	Dwelling 1: 2.0kW - 5 x 400W Panels West.
	Dwelling 2: 2.4kW - 6 x 400W Panels East.
	Dwelling 3: 2.4kW - 6 x 400W Panels North.
Heating & Cooling System	Dwelling 4: 2.8kW - 7 x 400W Panels South.
	Space Reverse Cycle to Living Rooms & Bedrooms - Variable Capacity
	Min. Heating Efficiency HSPF Value = 2.5 (1.0 Star)
	Min. Cooling Efficiency TCSPF Value = 3.50 (2.0 Star)

Power Density	BESS Allowance - 20% Reduction
Class 1 Dwelling	4 W/m ²
Balcony	4 W/m ²
Class 10a Garage	3 W/m ²



info@m3group.au
Unit 2, 1 Bik Lane, Fitzroy North 3068

M3 GROUP

Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
ESD TABLE NOTES
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

241937
TP 401
JAN 2025
C
DE
GM
A3 /
A1 /

Rev	Description	Date
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Coucil RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025

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Project Address	9 GONA STREET, HEIDELBERG WEST
Drawing Title	GARDEN AREA PLAN
Drawing Issue	TOWN PLANNING
Client	PBH

Project Number	241937
Drawing Number	TP.500
Issue Date	JAN 2025
Revision Issue	C
Drawn by	DE
Checked by	GM
Scale	A3 / A1 / 1 : 100

Rev	Description	Date
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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
9AM SHADOWS
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue

241937
TP 600
JAN 2025
C

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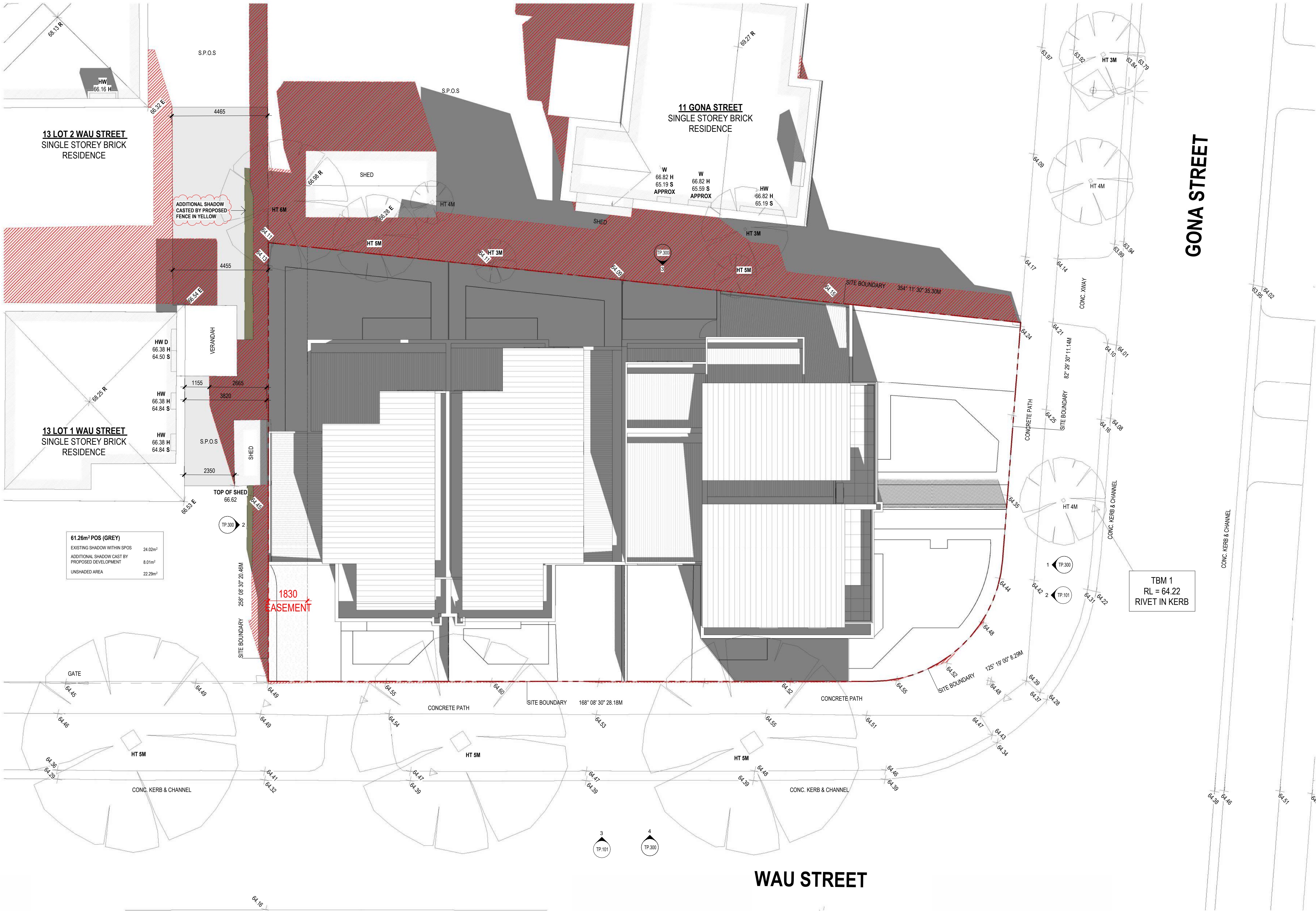
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LEGEND

- EXISTING SHADOW
- PROPOSED SHADOW



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M3 GROUP

Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
10AM SHADOWS
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

241937
TP 601
JAN 2025
C
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North Point



1 : 100

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LEGEND

EXISTING SHADOW

PROPOSED SHADOW



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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
11AM SHADOWS
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue

241937
TP.602
JAN 2025
C

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Checked by
Scale

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GM
A3 /
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North Point



Rev	Description	Date
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B	Issue in Response to Coucil RFI	28/11/2024
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EXISTING SHADOW

PROPOSED SHADOW



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Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
12PM SHADOWS
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue

241937
TP 603
JAN 2025
C

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Checked by
Scale

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GM
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A1 /

North Point



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Rev	Description	Date
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LEGEND

EXISTING SHADOW

PROPOSED SHADOW



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- EXISTING SHADOW
- PROPOSED SHADOW



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M3 GROUP

Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
1PM SHADOWS
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue

241937
TP 604
JAN 2025
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North Point



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Rev	Description	Date
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M3 GROUP

Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
2PM SHADOWS
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue

241937
TP.605
JAN 2025
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Scale

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LEGEND

- EXISTING SHADOW
- PROPOSED SHADOW



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Unit 2, 1 Bik Lane, Fitzroy North 3068

M3 GROUP

Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
3PM SHADOWS
TOWN PLANNING
PBH

Project Number
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Checked by
Scale

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TP 606
JAN 2025
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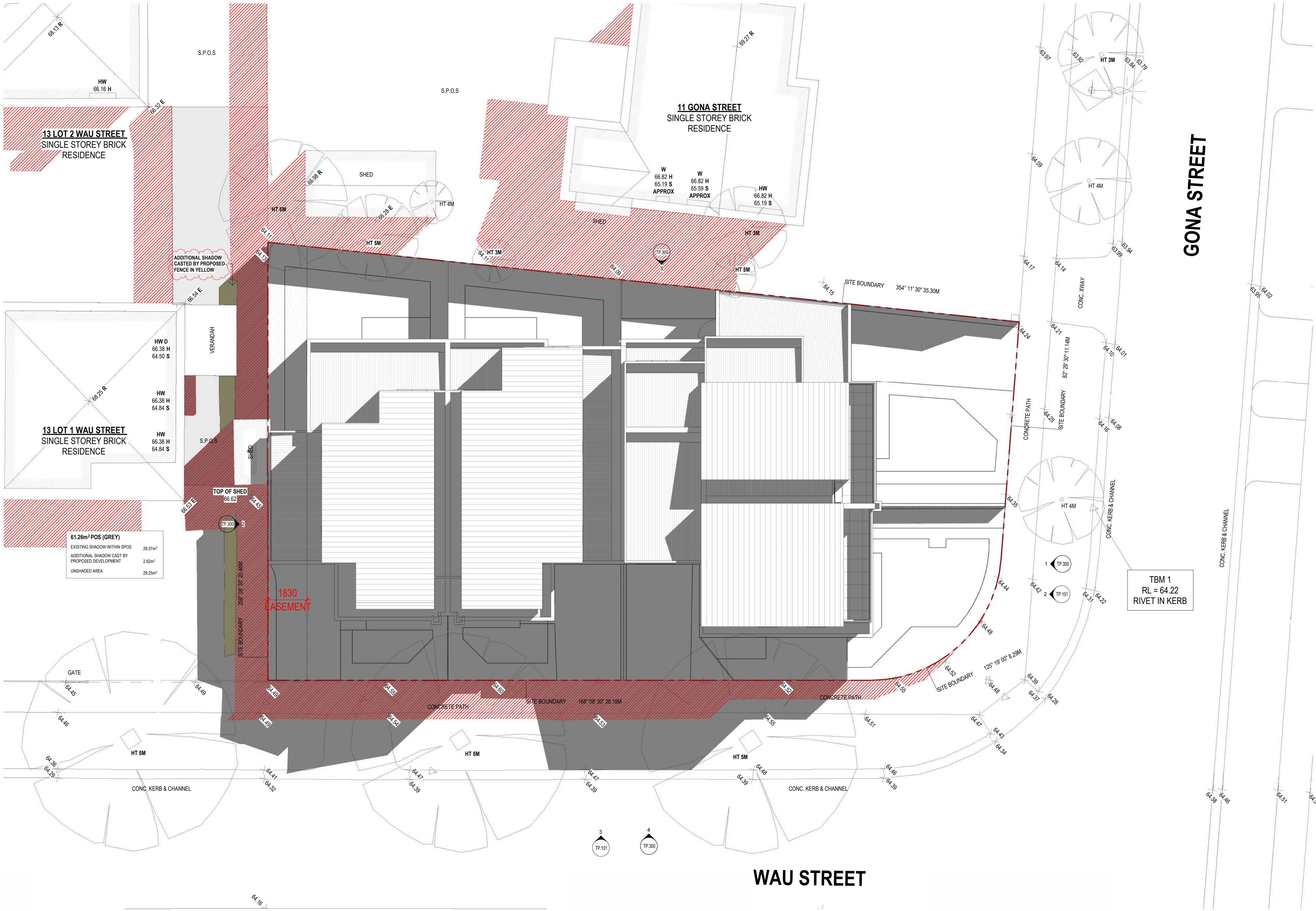
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Project Address
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Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
LANDSCAPE PLAN
TOWN PLANNING
PBH

Project Number
Drawing Number
Issue Date
Revision Issue
Drawn by
Checked by
Scale

241937
TP-700
JAN 2025
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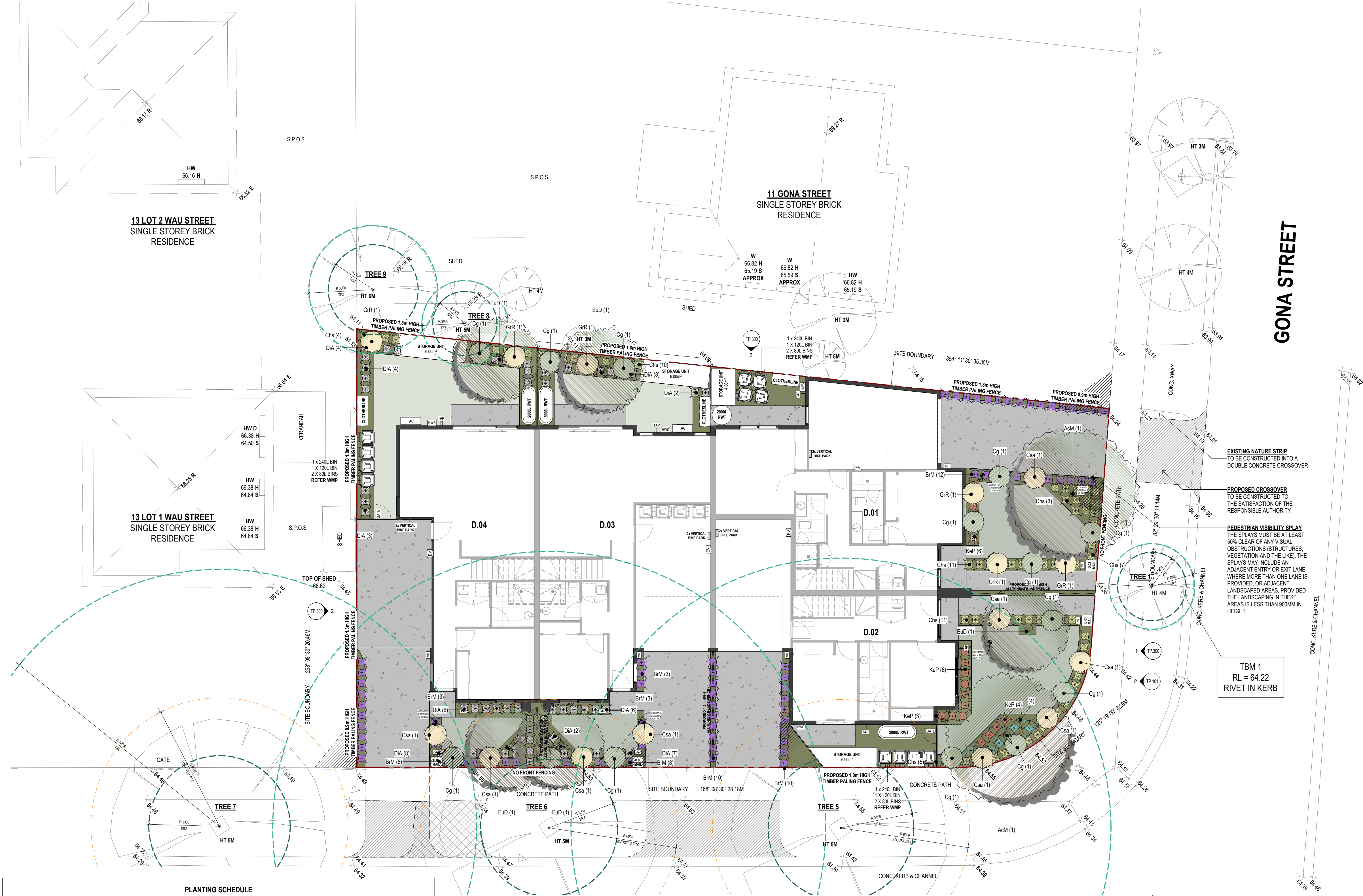


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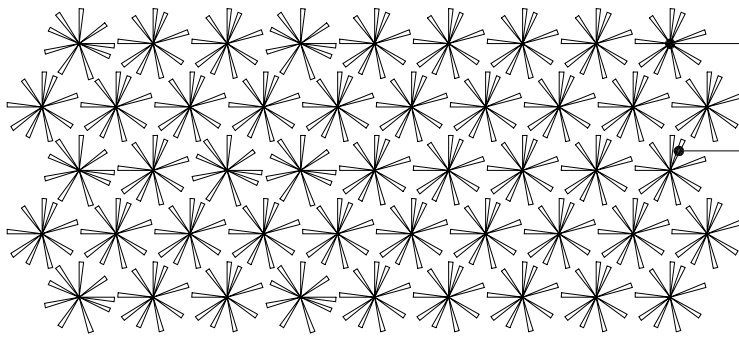
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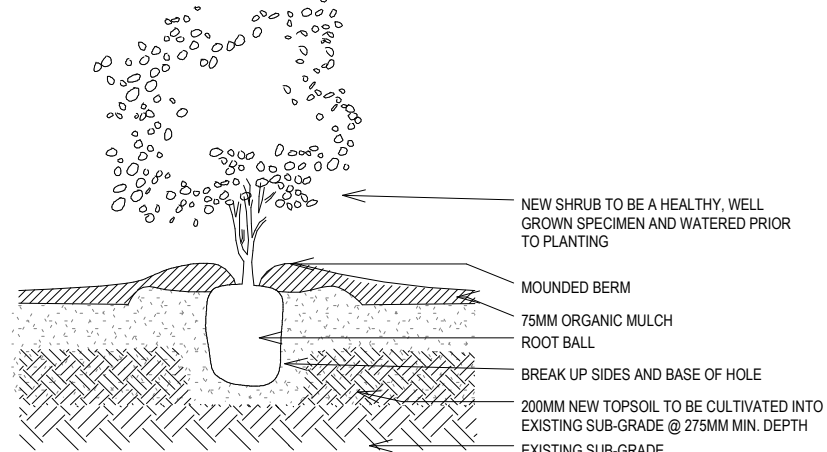
PLANTING SCHEDULE							
ABBREV.	BOTANICAL NAME	COMMON NAME	D/E	H x W	SUPPLY SIZE	DENSITY	COUNT
TREES							
AcM	Acacia melanoxylon	Blackwood	E	5 - 8m x 5 - 8m	Min. Height 1.6m, 40L Container	-	2
EuD	Eucalyptus leucoxylon	Euky Dwarf	E	4.0-10.0m x 3.0-4.0m	50cm Pot (52L) / 1.8m High	-	5
							7
SHRUBS							
Cg	Correa glabra	Rock Correa	E	1.0m x 1.0m	140mm Pots	-	14
Csa	Cassinia arcuata	Drooping Cassinia	E	1-3 m x 1-2m	140mm Pots	-	9
GrR	Grevillea rosemarinifolia	Rosemary Grevillea	E	1-3 m x 2-3m	140mm Pots	-	6
							29
GROUND COVER							
BrM	Brachyscome multifida	Cut-leaf Daisy	E	10-40 cm x 20cm-1.0m	140mm Pots	-	83
ChS	Chryscephalum semipapposum	Clustered Everlasting	E	0.3 - 1.0m x 1.0-3.0m	140mm Pots	-	80
DiA	Dianella admixta	Black Anther Flax-lily	E	0.3 - 1.0m x 0.5 - 2.5m	150mm Pots	-	73
KeP	Kennedia prostrata	Running Postman	E	Prostrate x 1-2.5m	140mm Pots	-	19
WaC	Wahlenbergia communis	Tufted Bluebell	E	0.15-0.5m x 0.15m	150mm Pots	-	10
							265



NEW GROUNDCOVERS TO BE HEALTHY, WELL-GROWN SPECIMENS AND WELLWATERED PRIOR TO PLANTING

DIAGONAL PLANTING IN ROWS TO ENSURE A NEAT AND CONSISTENT LAYOUT IS ACHIEVED WITHIN EACH GARDEN-BED

DWG REF. 3
VIEW NAME: Groundcover Planting
SCALE: 1 : 20

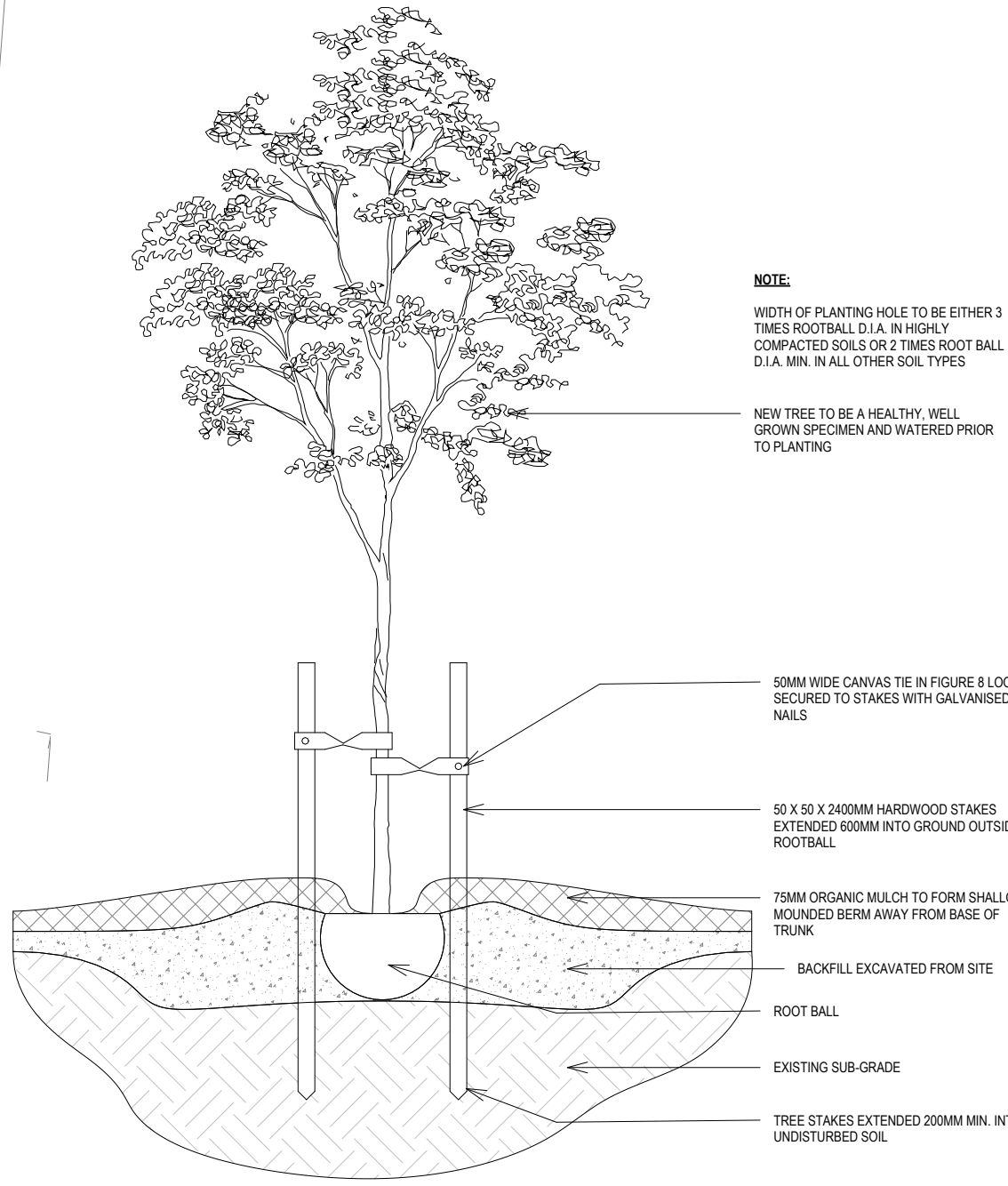


NEW SHRUB TO BE A HEALTHY, WELL-GROWN SPECIMEN AND WATERED PRIOR TO PLANTING

MOUNDED BERM
75MM ORGANIC MULCH
ROOT BALL

BREAK UP SIDES AND BASE OF HOLE
200MM NEW TOPSOIL TO BE CULTIVATED INTO EXISTING SUB-GRADE @ 275MM MIN. DEPTH EXISTING SUB-GRADE

DWG REF. 2
VIEW NAME: Shrub Planting
SCALE: 1 : 20



NOTE:
WIDTH OF PLANTING HOLE TO BE EITHER 3 TIMES ROOTBALL DIA. IN WHOLLY COMPACTED SOILS OR 2 TIMES ROOT BALL DIA. MIN. IN ALL OTHER SOIL TYPES

NEW TREE TO BE A HEALTHY, WELL-GROWN SPECIMEN AND WATERED PRIOR TO PLANTING

80MM WIDE CANVAS TIE IN FIGURE 8 LOOP SECURED TO STAKES WITH GALVANISED NAILS

50 X 50 X 2400MM HARDWOOD STAKES EXTENDED 100MM INTO GROUND OUTSIDE ROOTBALL

75MM ORGANIC MULCH TO FORM SHALLOW MOUNDED BERM AWAY FROM BASE OF TRUNK

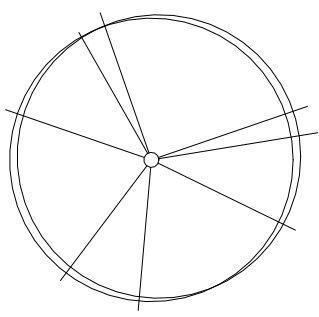
ROOTBALL EXCAVATED FROM SITE

EXISTING SUB-GRADE

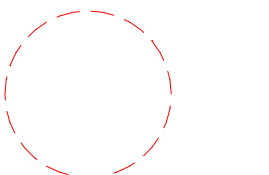
TREE STAKES EXTENDED 200MM MIN. INTO UNDISTURBED SOIL

DWG REF. 1
VIEW NAME: Tree Planting Guide
SCALE: 1 : 20

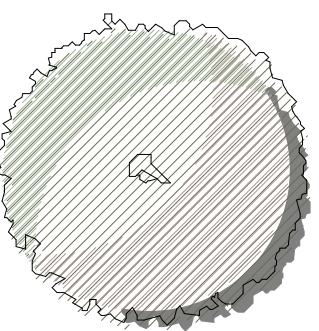
LANDSCAPING LEGEND



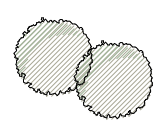
EXISTING TREE TO BE RETAINED OR EXISTING STREET TREE



TREE TO BE DEMOLISHED



TREE



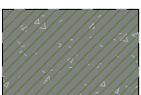
SHRUBS



GROUNDCOVER



CONCRETE PAVING (HARD, IMPERVIOUS)



PERMEABLE CONCRETE PAVING



GRASS (LAWN)



PLANTER BED



EDGING - TIMBER GARDEN EDGING TO BE PROVIDED BETWEEN ALL GARDEN BEDS, LAWN AND GRAVEL PATHS AT 100MM DEEP.



Unit 2, 1 Bik Lane, Fitzroy North 3068

M3 GROUP

Project Address
Drawing Title
Drawing Issue
Client

9 GONA STREET, HEIDELBERG WEST
DESIGN INTENT
TOWN PLANNING
PBH

Project Number	241937
Drawing Number	TP.800
Issue Date	JAN 2025
Revision Issue	C
Drawn by	DE
Checked by	GM
Scale	A3 / A1 /

Rev	Description	Date
A	Issue for Lodgement	16/09/2024
B	Issue in Response to Coucil RFI	28/11/2024
C	Issue in Response to Council RFI (PN)	13/01/2025

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Project Address	9 GONA STREET, HEIDELBERG WEST	Project Number	241937
Drawing Title	DESIGN INTENT	Drawing Number	TP.801
Drawing Issue	TOWN PLANNING	Issue Date	JAN 2025
Client	PBH	Revision Issue	C
		Drawn by	DE
		Checked by	GM
		Scale	A3 / A1 /

Rev	Description	Date
A	Issue for Lodgement	16/09/2024
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