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REFER TO ENDORSED BESS AND STORM REPORT FOR ALL ENVIRONMENTALLY SUSTAINABLE DESIGN (ESD) AND WATER SENSITIVE URBAN DESIGN (WSUD) COMMITMENTS AND REQUIREMENTS

- 7-STAR NATHERS RATING MINIMUM PER DWELLING;
- DOUBLE GLAZED WINDOWS TO ALL HABITABLE WINDOWS;
- ALL BOUNDARY FENCES WILL BE AT LEAST 1.8 METRES IN HEIGHT.
- EXTERNAL LIGHTINGS (INCLUDING GARAGE) ARE OPERATED BY MOVEMENT AND DAYLIGHT SENSORS.
- AVERAGE LIGHTING POWER DENSITY OF 4W/SQM FOR INTERNAL LIGHTING

- STORMWATER DURING CONSTRUCTION: REFER TO THE URL FOR GUIDANCE AVAILABLE FROM EPAMELBOURNE WATER ABOUT THE MANAGEMENT OF EROSION AND SEDIMENT BE DURING CONSTRUCTION: [https://www.clearwatervic.com.au/user-data/resourcefiles/keeping_our_stormwater_clean-a_builders_guide\[1\].pdf](https://www.clearwatervic.com.au/user-data/resourcefiles/keeping_our_stormwater_clean-a_builders_guide[1].pdf)
- EROSION AND SEDIMENT CONTROL MEASURES TO BE EMPLOYED DURING CONSTRUCTION. DETAILED GUIDANCE CAN BE FOUND AT: <https://www.melbournewater.com.au/building-and-works/developer-guides-and-resources/standards-and-specifications/stormwater/sediment>

VISIBILITY SPLAY (CLAUSE 55.06.2)

HAVE A CORNER SPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2 METRES ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5 METRES ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 0.9 M IN HEIGHT.

TREE PROTECTION ZONE (REFER TO ENDORSED ARBORIST REPORT AND TREE PROTECTION MANAGEMENT PLAN)

- NO BUILDING MATERIALS, RUBBISH OR FILLING OF ANY KIND STORED INSIDE THE FENCING.
- NO SOIL DISTURBANCE. THIS INCLUDES NO TRENCHING FOR CONNECTION OF SERVICES.
- NO FIXINGS ATTACHED TO THE TREES THEMSELVES, IN PARTICULAR NO BOLTS, SCREWS, WIRES OR ROPES.
- NO PREPARATION OF PAINT, CEMENT OR PLASTER PRODUCTS, OR WASHING OF TOOLS USED WITH THESE PRODUCTS.
- NO PARKING OF VEHICLES OR REFUELLING OF VEHICLES OR APPLIANCES.
- NO CHANGE IN SOIL SURFACE LEVELS.

LEGEND

	PROPOSED PLANTS		PAVING AREA - IMPERMEABLE
	EXISTING TREE TO REMAIN		COLOURED CONCRETE DRIVEWAY - IMPERMEABLE
	EXISTING TREE TO BE REMOVED		LANDSCAPED AREA - PERMEABLE
	GAS AND WATER METERS		RAINWATER TANK
	SHED		CLOTHES LINE
	WASTE BINS		GARDEN SHED

DEVELOPMENT ANALYSIS

SITE AREA	703.0 m ²
BUILT ON AREA/ SITE COVERAGE	277.0 m ² (39%)
PAVED AREA	170.0 m ²
TOTAL IMPERVIOUS AREAS	447.0 m ²
% SITE PERMEABILITY	36.4%
REQUIRED GARDEN AREA	246.1 m ² (35%)
PROVIDED GARDEN AREA	247.0 m ²
TOTAL CAR SPACES REQUIRED	6
TOTAL CAR SPACES PROVIDED	6

DWELLING 1 BUILD AREA SCHEDULE

DW 01 GROUND	30.3 m ²
DW 01 FIRST	68.3 m ²
DW 01 GARAGE	36.3 m ²
DW 01 BALCONY	8.4 m ²
Grand total	143.3 m ²

DWELLING 1 OPEN AREA SCHEDULE

POS 1	97.0 m ²
Grand total	97.0 m ²

DWELLING 2 BUILD AREA SCHEDULE

DW 02 GROUND	32.6 m ²
DW 02 FIRST	53.0 m ²
DW 02 GARAGE	23.0 m ²
DW 02 BALCONY	8.4 m ²
Grand total	117.1 m ²

DWELLING 2 OPEN AREA SCHEDULE

POS 2	3.1 m ²
POS 2	15.2 m ²
Grand total	18.3 m ²

DWELLING 3 BUILD AREA SCHEDULE

DW 03 GROUND	40.7 m ²
DW 03 FIRST	47.1 m ²
DW 03 GARAGE	23.2 m ²
Grand total	111.1 m ²

DWELLING 3 OPEN AREA SCHEDULE

SPOS 3	48.6 m ²
POS 3	11.0 m ²
Grand total	59.6 m ²

DWELLING 4 BUILD AREA SCHEDULE

DW 04 GROUND	49.0 m ²
DW 04 FIRST	66.9 m ²
DW 04 GARAGE	28.8 m ²
Grand total	144.6 m ²

DWELLING 4 OPEN AREA SCHEDULE

POS 4	7.8 m ²
SPOS 4	45.9 m ²
Grand total	53.7 m ²

ARC ZERO PTY LTD

PROJECT: 26 ERSKINE AVE, RESERVOIR

GROUND FLOOR PLAN

A: 185 PEEL STREET, NORTH MELBOURNE, VIC 3051

T: 0490 931 074

E: info@arczero.com.au

W: www.arczero.com.au

ACN: 139 748 128

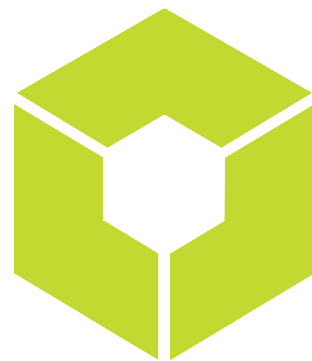
ISSUE: TOWN PLANNING RFI_REV D

DATE: 11 NOV 2024

TP 04

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ARC ZERO PTY LTD

PROJECT: 26 ERSKINE AVE, RESERVOIR

FIRST FLOOR PLAN

TP 05

A: 185 PEEL STREET, NORTH MELBOURNE, VIC 3051

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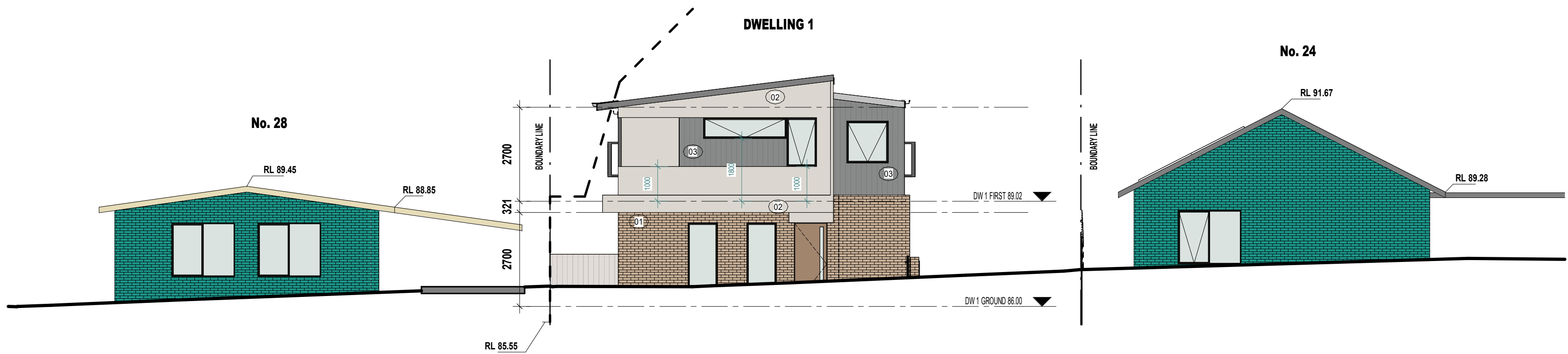
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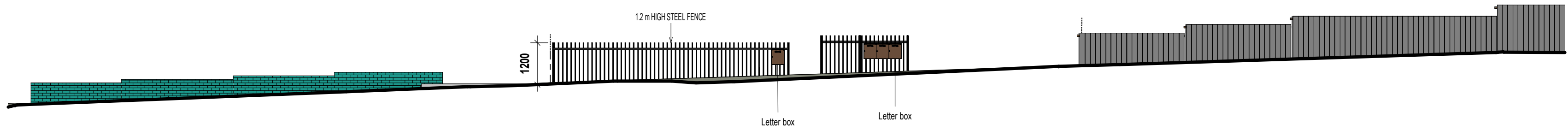
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DATE: 11 NOV 2024

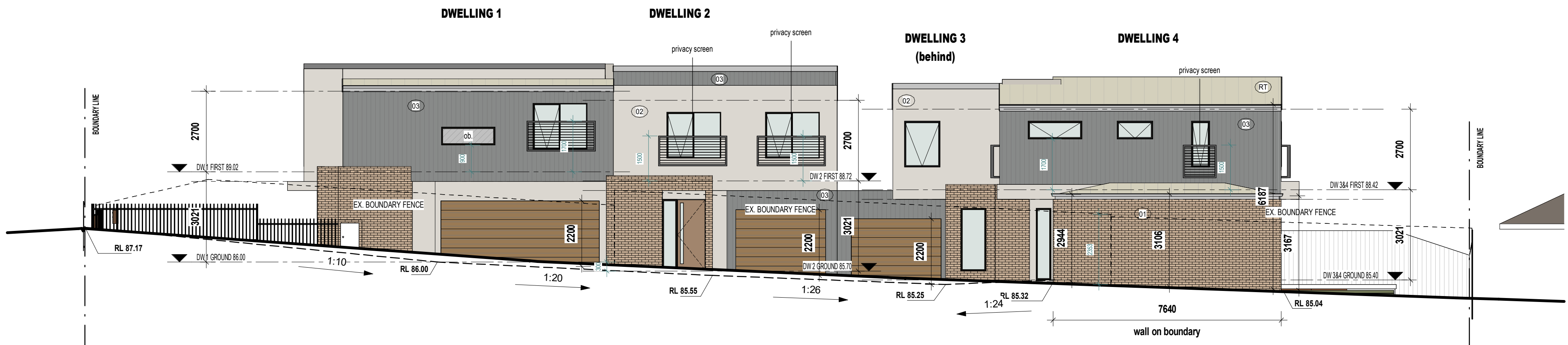
130 City Council Received 11/11/2024



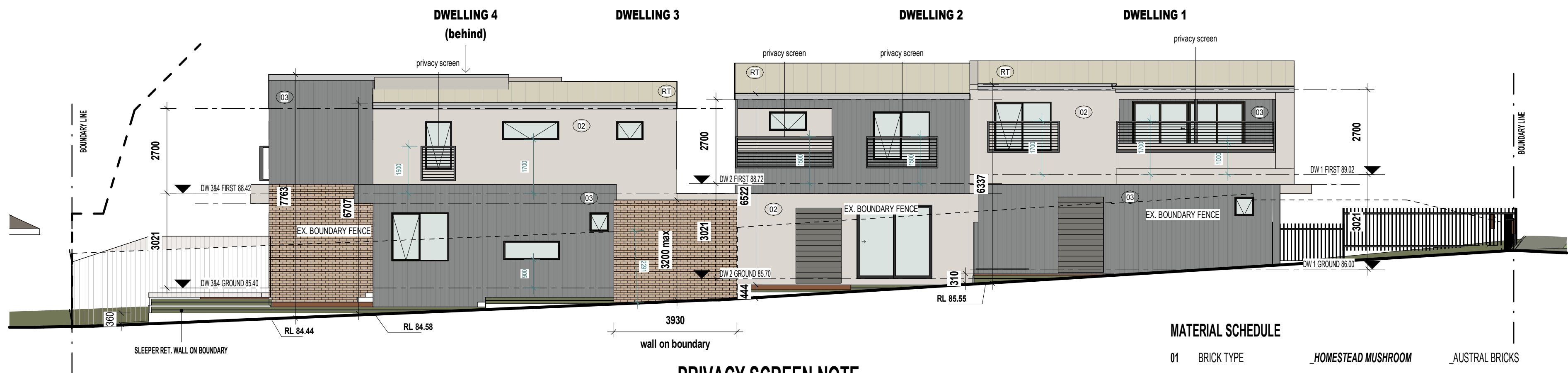
3 Elevation_WEST_ERSKINE STREETSCAPE
1 : 100



7 Elevation_WEST_FRONT FENCE
1 : 100



1 Elevation_SOUTH
1 : 100



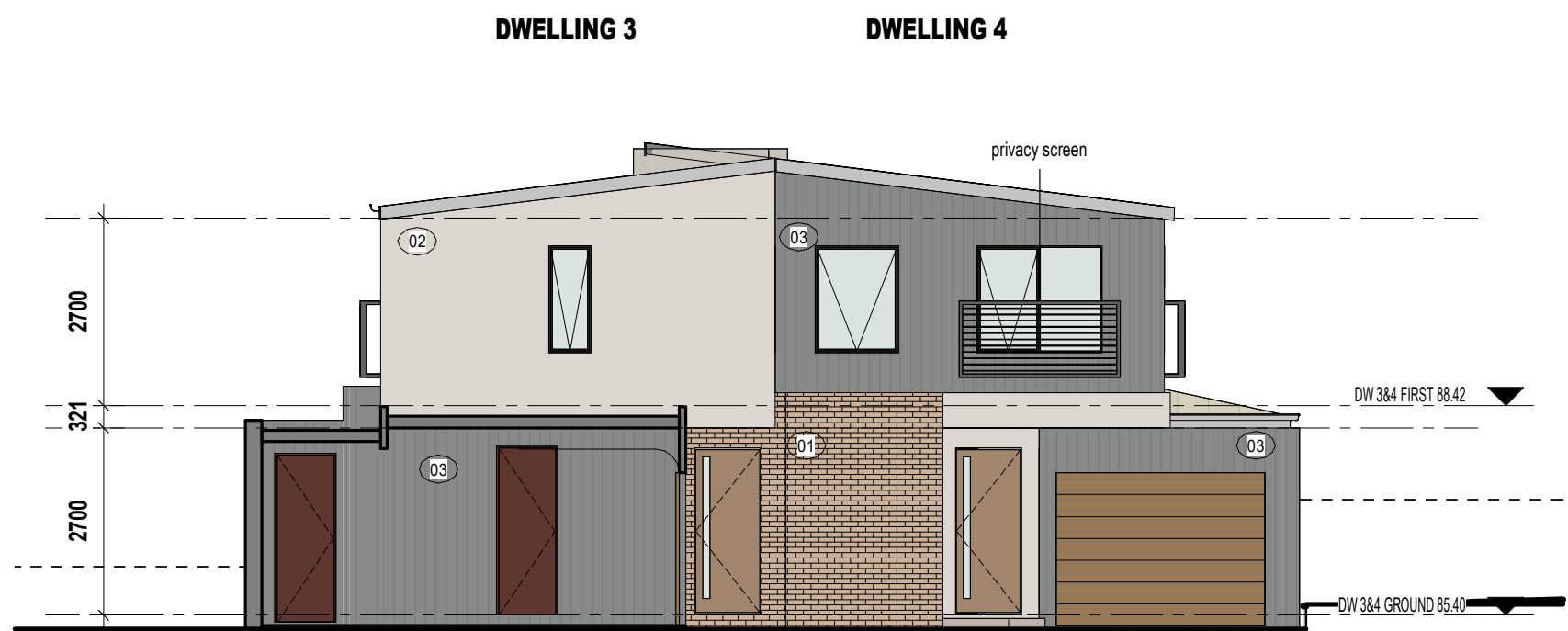
2 Elevation_NORTH
1 : 100

PRIVACY SCREEN NOTE

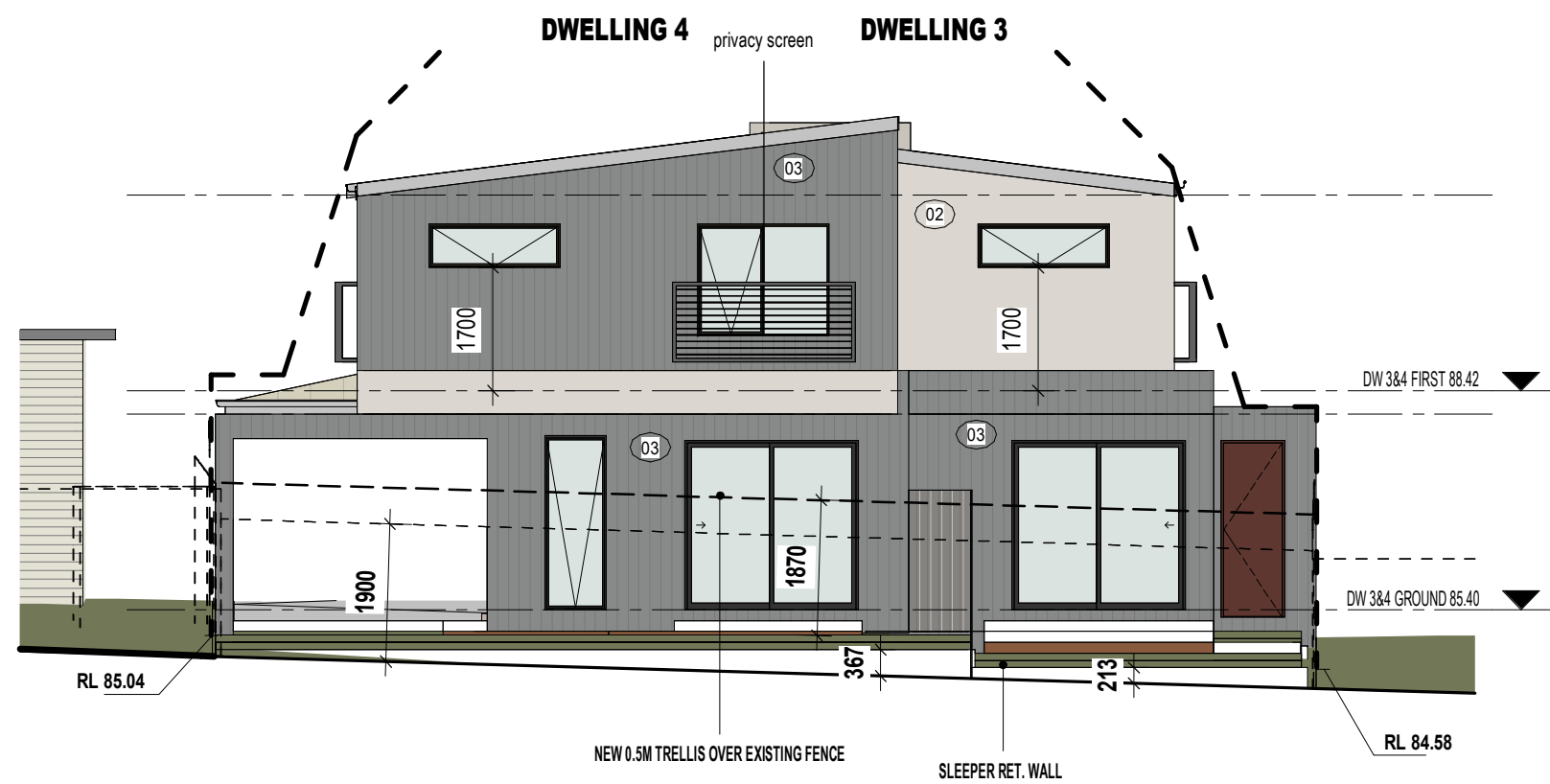
Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent as per Darebin Planning scheme

MATERIAL SCHEDULE

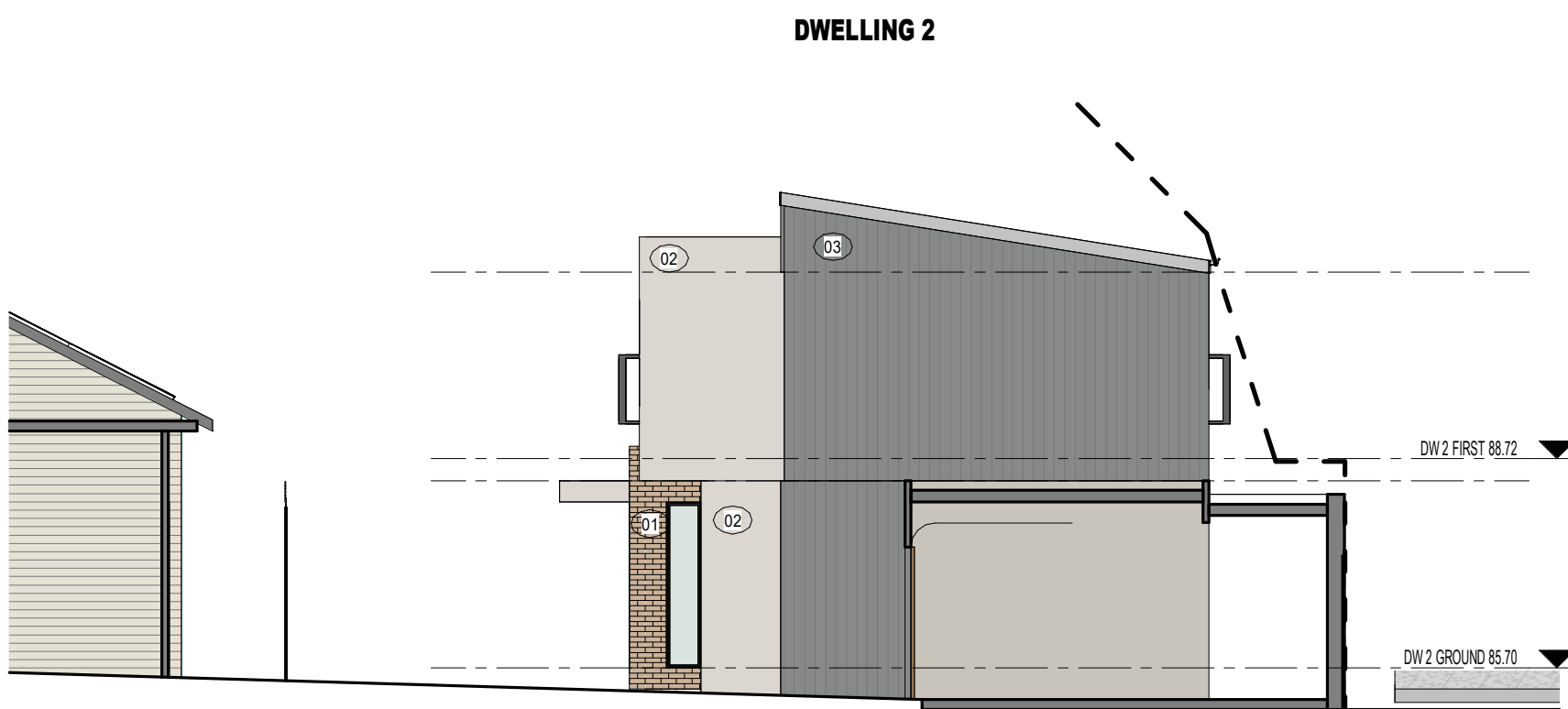
01	BRICK TYPE	_HOMESTEAD MUSHROOM	_AUSTRAL BRICKS
02	PAINT FINISH	_GREY PEBBLE HALF	_DULUX
03	PAINT FINISH	_TIMELESS GREY	_DULUX
04	METAL ROOF	_SURFMIST	_COLORBOND
05	GARAGE PANEL	_TIMBER LOOK OR SIMILAR	
06	FEATURES/ RH/DPCAPPING	_SURFMIST	_COLORBOND
07	POWDER COATED ALU. WINDOW FRAME EXTERNAL PRIVACY SCREEN	_WOODLAND GREY	_COLORBOND



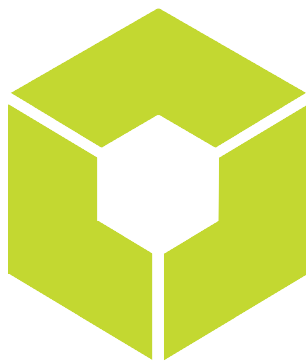
5 Elevation_WEST_internal
1 : 100



4 Elevation_EAST
1 : 100



6 Elevation_EAST_internal
1 : 100



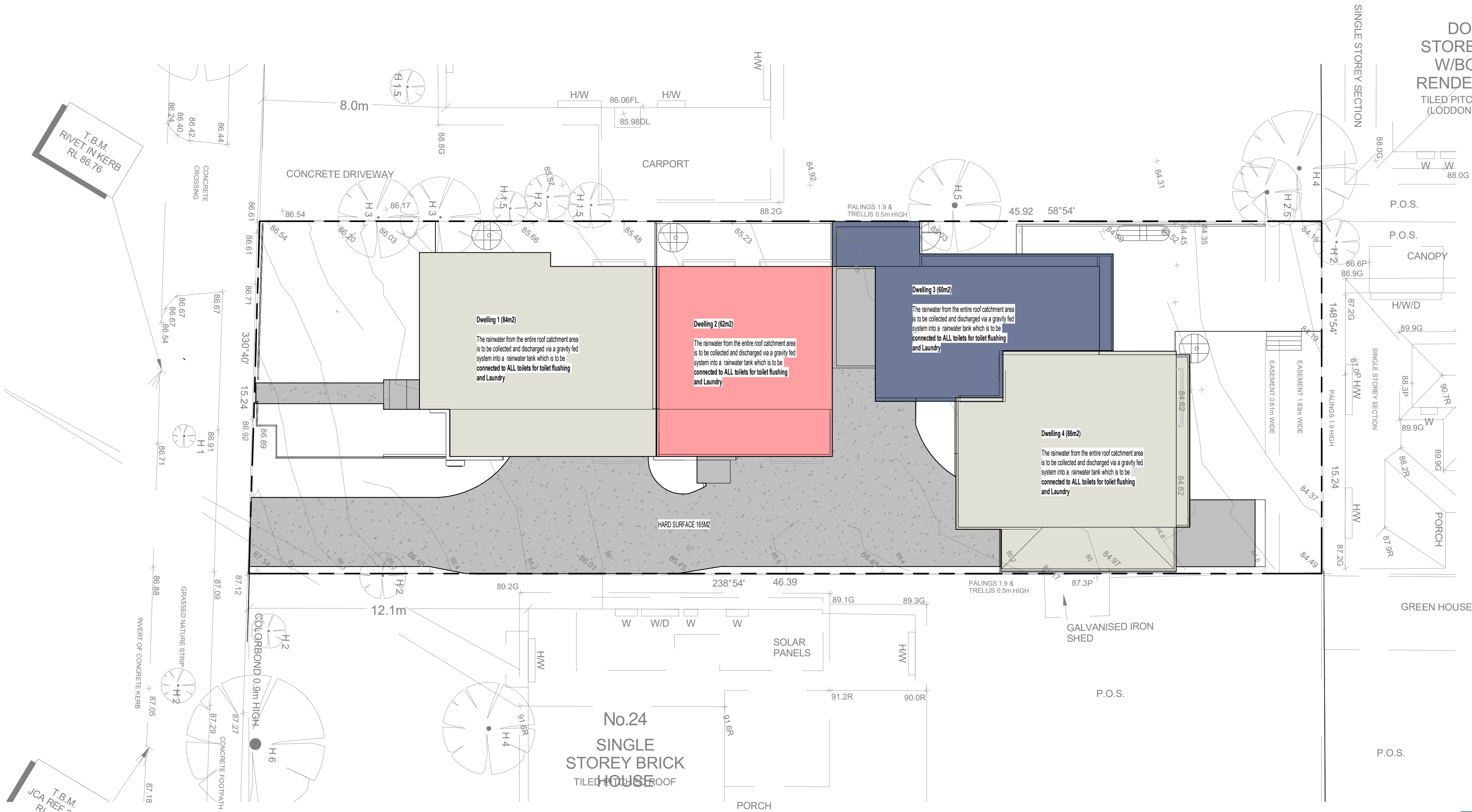
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PROJECT: 26 ERSKINE AVE, RESERVOIR

ELEVATIONS

TP 06

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WATER SENSITIVE URBAN DESIGN (WSUD)

REFER TO ENDORSED STORM REPORT.

THE PERFORMANCE OF ANY WATER SENSITIVE URBAN DESIGN (WSUD) DEVICE MUST BE MONITORED AND MAINTAINED SUCH THAT IT CONTINUES TO MEET BEST PRACTICE STANDARDS. IN THE EVENT THAT THE DEVICE FAILS TO MEET BEST PRACTICE STANDARDS IT MUST BE REPAIRED OR REPLACED WITH AN ALTERNATE AT THE COST OF THE OWNER/OPERATOR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

REFER TO THE URL FOR GUIDANCE AVAILABLE FROM EP/AMELBOURNE WATER ABOUT THE MANAGEMENT OF EROSION AND SEDIMENT BE DURING CONSTRUCTION: <https://www.clearwater.vic.com.au/resource-library/guidelines-and-strategy/keeping-our-stormwater-clean-a-builders-guide.php>

WSUD TREATMENT SUMMARY

IMPERMEABLE AREA NAMES	IMPERMEABLE AREA (m ²)	TREATMENT		NUMBER OF BEDROOMS ⁽⁴⁾	CONNECTION ^(1,4)	
		TYPE	MIN. SIZE (l) ⁽²⁾		TOILETS	LAUNDRY
DW 1 TREATED ROOF	84 m ²	RAINWATER TANK	2000 L	3 (+1)	YES	YES
DW 2 TREATED ROOF	62 m ²	RAINWATER TANK	1500 L	2 (+1)	YES	YES
DW 3 TREATED ROOF	60 m ²	RAINWATER TANK	1500 L	2 (+1)	YES	YES
DW 4 TREATED ROOF	86 m ²	RAINWATER TANK	2000 L	3 (+1)	YES	YES
NON TREATED SURFACE	165 m ²	N/A				
NOTES 1. RAINWATER FROM THE ENTIRE ROOF CATCHMENT AREA OF EACH DWELLING IS TO BE COLLECTED AND DISCHARGED VIA A CHARGED SYSTEM INTO THE ASSOCIATED RAINWATER TANK WHICH IS CONNECTED TO ALL TOILETS FOR FLUSHING AND WASHING MACHINE TAPS, SUBJECT TO THE SPECIFICATIONS ABOVE. 2. RAINWATER TANK CAPACITY NOTED IN THE TABLE ABOVE, ASSOCIATED STORM, AND BESS REPORTS IS NOT THE FULL SIZE OF THE TANK. IT ONLY INDICATES STORM TREATMENT CAPACITY (RAINWATER RETENTION/ REUSE). 3. HARD SURFACE INCLUDES UNTREATED IMPERMEABLE AREAS AND AREAS OCCUPIED BY GARDEN SHEDS AND RAINWATER TANKS. 4. A BEDROOM CAN BE ADDED TO DWELLING'S TOTAL NUMBER OF BEDROOMS IF THE RAINWATER TANK IS CONNECTED TO THE LAUNDRY.						

Melbourne Water STORM Rating Report

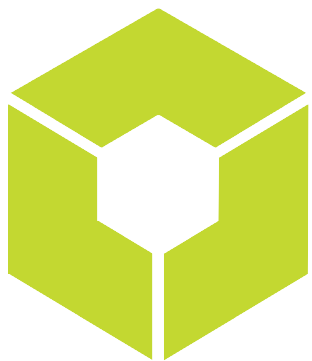
TransactionID: 0
Municipality: DAREBIN
Rainfall Station: DAREBIN
Address: 26 ERSKINE AVE

RESERVOIR
VIC 3073
Assessor: ARCZERO
Development Type: Residential - Multiunit
Allotment Site (m2): 704.00
STORM Rating %: 101

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
DWELLING 1 ROOF	84.00	Rainwater Tank	2,000.00	4	157.60	81.00
DWELLING 2 ROOF	62.00	Rainwater Tank	1,500.00	3	159.00	81.00
DWELLING 3 ROOF	60.00	Rainwater Tank	1,500.00	3	160.40	82.00
DWELLING 4 ROOF	86.00	Rainwater Tank	2,000.00	4	157.10	80.00
NON TREATED SURFACES	165.00	None	0.00	0	0.00	0.00

Date Generated: 11-Sep-2024

Program Version: 1.0.0



ARC ZERO PTY LTD

PROJECT: 26 ERSKINE AVE, RESERVOIR

SITE ROOF + WSUD PLAN

TP 07

A: 185 PEEL STREET, NORTH MELBOURNE, VIC 3051

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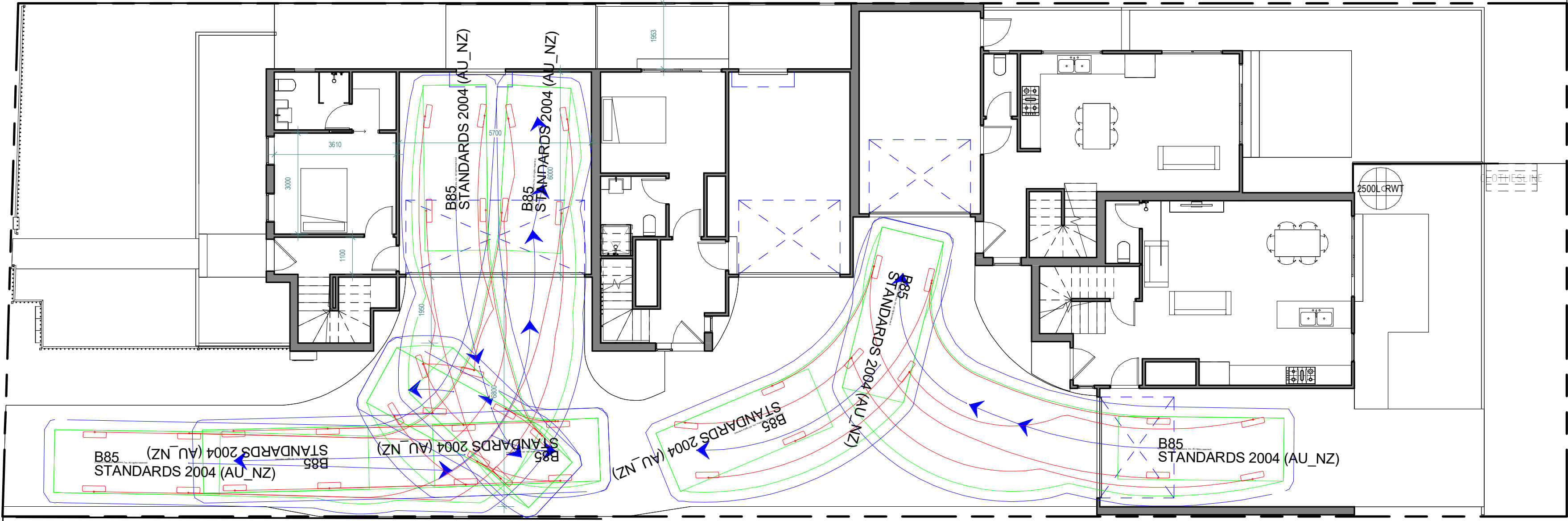
W: www.arczero.com.au

ACN: 139 748 128

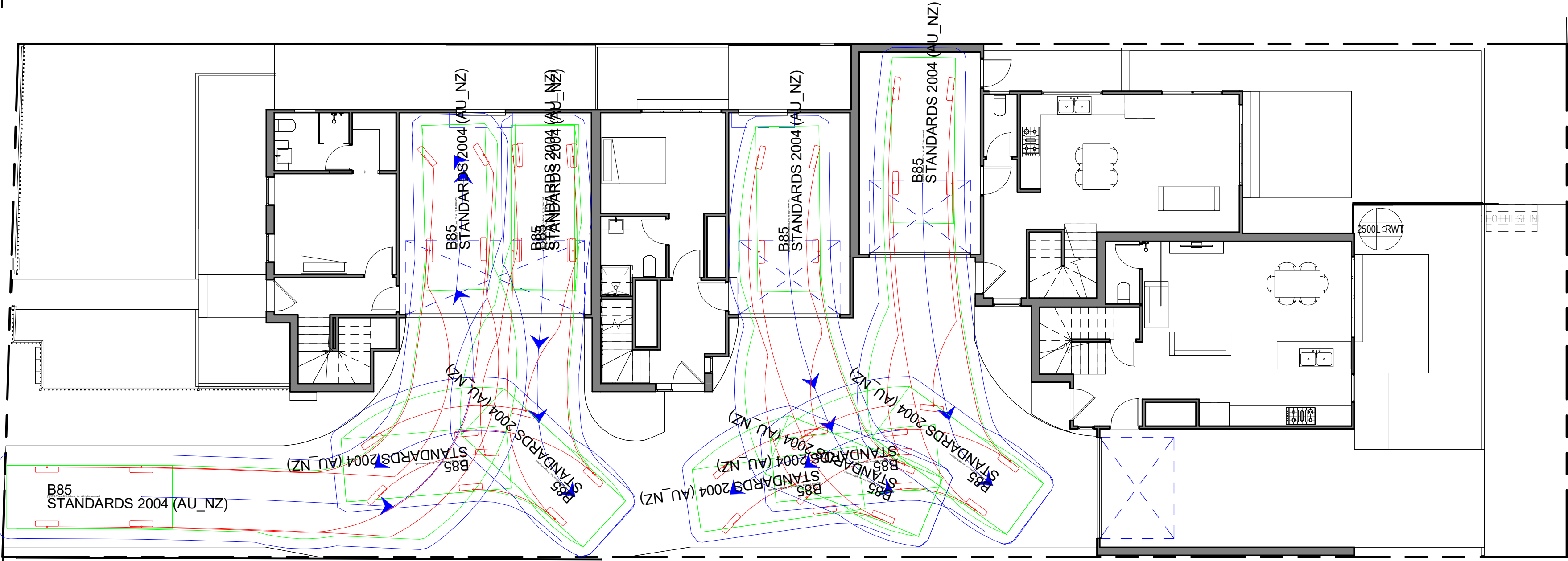
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2 GROUND FLOOR_swepth path 1
1 : 100



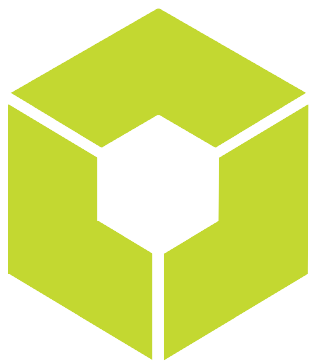
3 GROUND FLOOR_swepth path 2
1 : 100



DEVELOPMENT ANALYSIS	
SITE AREA	703.0 m²
BUILT ON AREA/ SITE COVERAGE	277.0 m² (39%)
PAVED AREA	170.0 m²
TOTAL IMPERVIOUS AREAS	447.0 m²
% SITE PERMEABILITY	36.4%
REQUIRED GARDEN AREA	246.1 m² (35%)
PROVIDED GARDEN AREA	247.0 m²
TOTAL CAR SPACES REQUIRED	6
TOTAL CAR SPACES PROVIDED	6

1 GARDEN AREA PLAN
1 : 100

Total POS	
POS 4	7.8 m²
POS 2	3.1 m²
SPOS 4	45.9 m²
COMMON POS	15.7 m²
SPOS 3	48.6 m²
POS 2	14.8 m²
POS 1	97.0 m²
POS 3	10.8 m²
COMMON POS	3.5 m²
Grand total	247.0 m²



ARC ZERO PTY LTD

PROJECT: 26 ERSKINE AVE, RESERVOIR

GARDEN AREA / SWEPH PATH

TP 08