



## PROJECT: 26 ERSKINE AVE, RESERVOI

## GROUND FLOOR PLAN

# ARC ZERO PTY LTD

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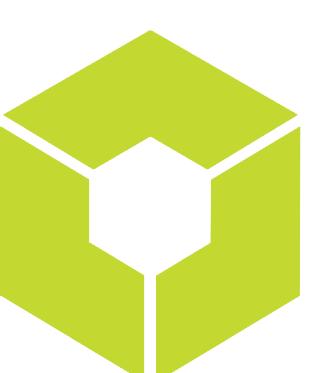
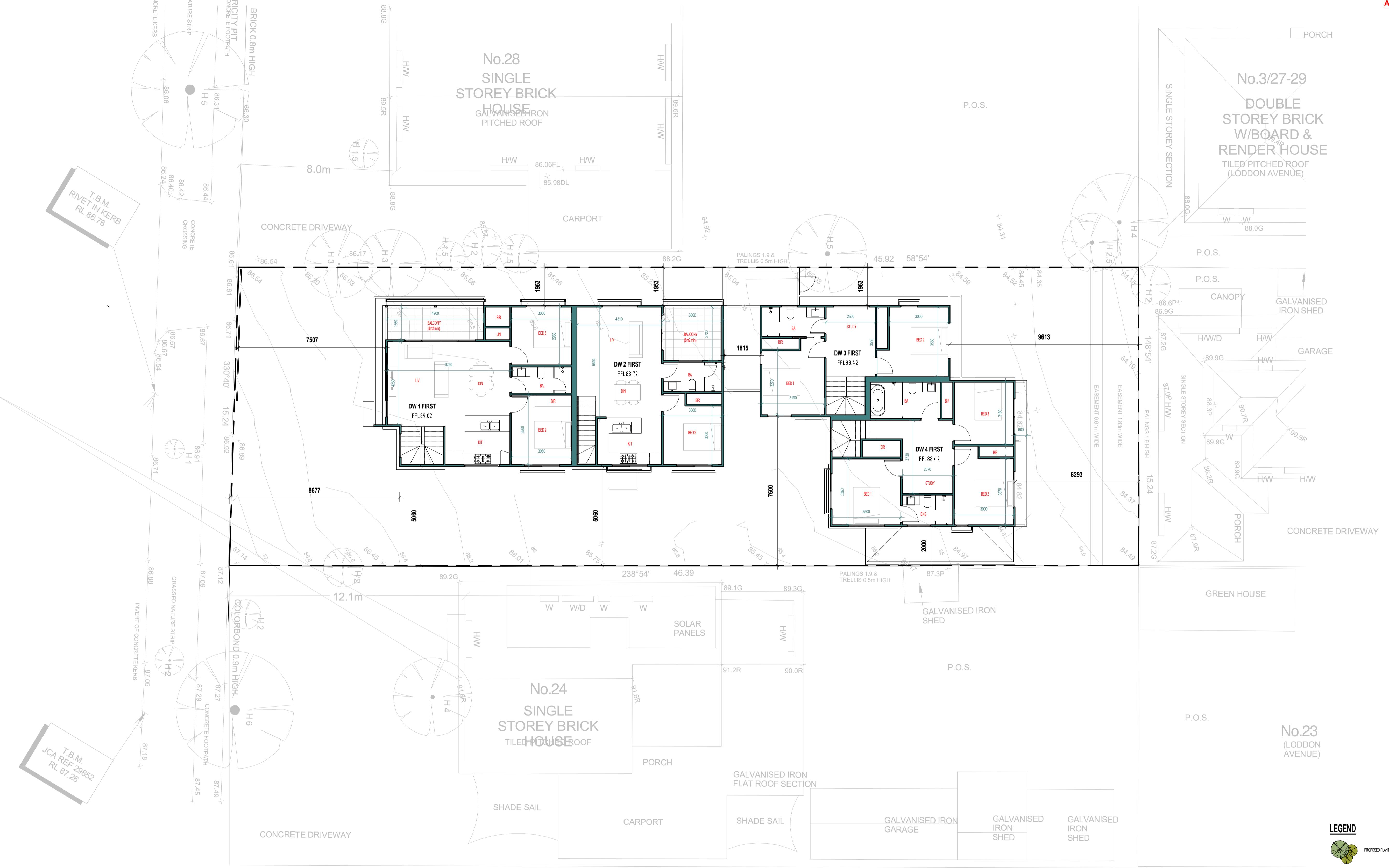
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# 6 TP 04



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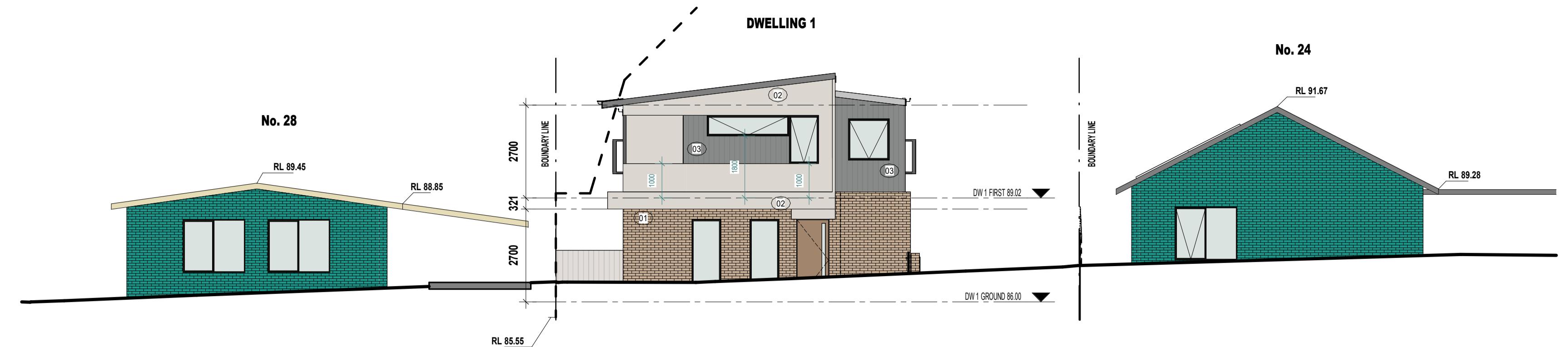
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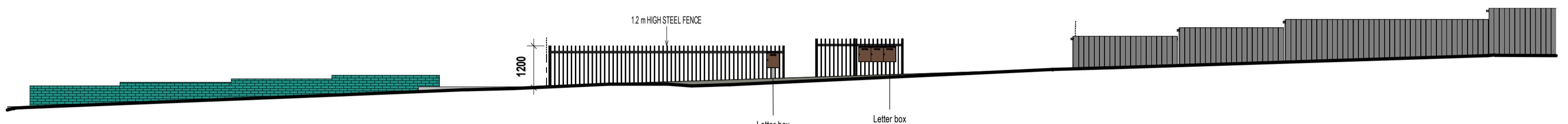
TP 05

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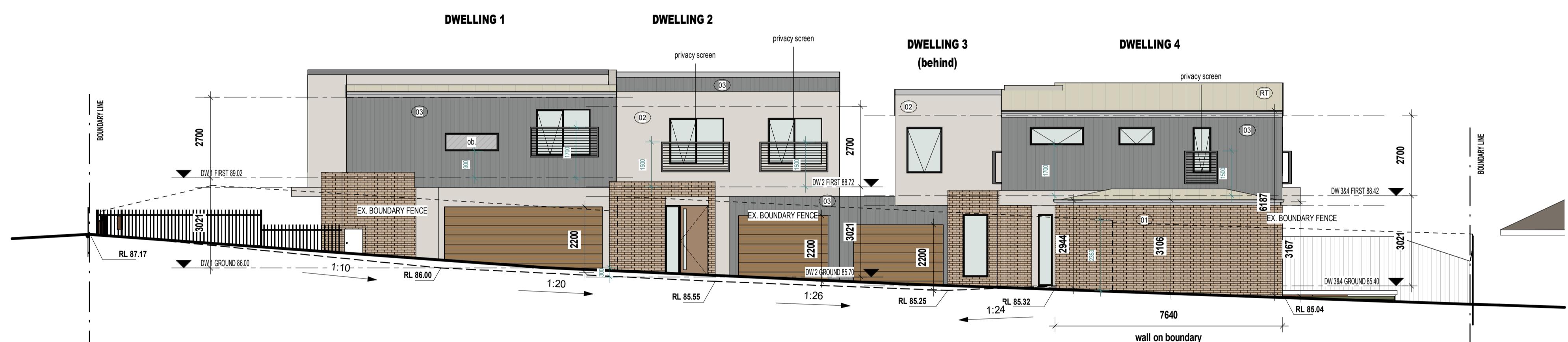
FIRST FLOOR PLAN



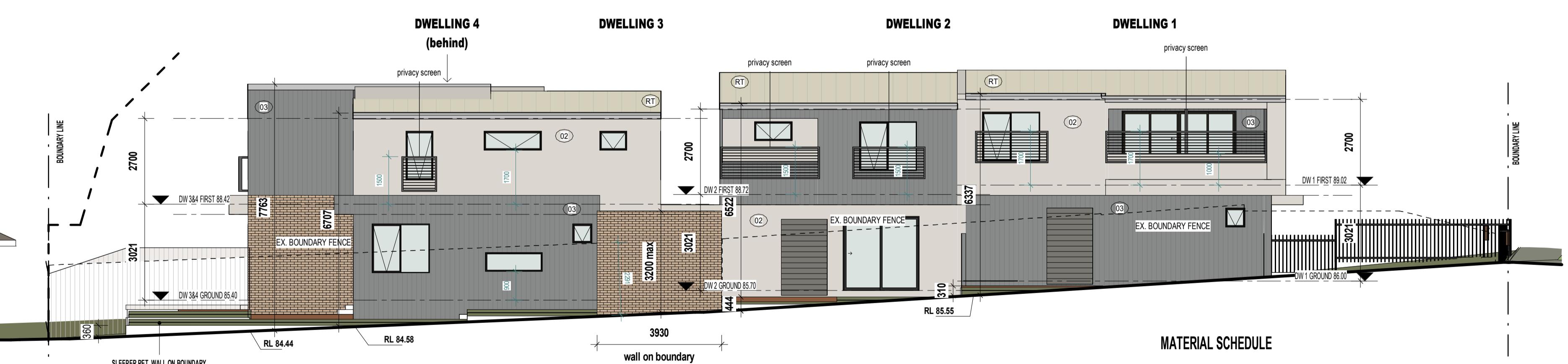
3 Elevation\_WEST\_ERSKINE STREETSCAPE  
1:100



7 Elevation\_WEST\_FRONT FENCE  
1:100



1 Elevation\_SOUTH  
1:100



2 Elevation\_NORTH  
1:100

#### PRIVACY SCREEN NOTE

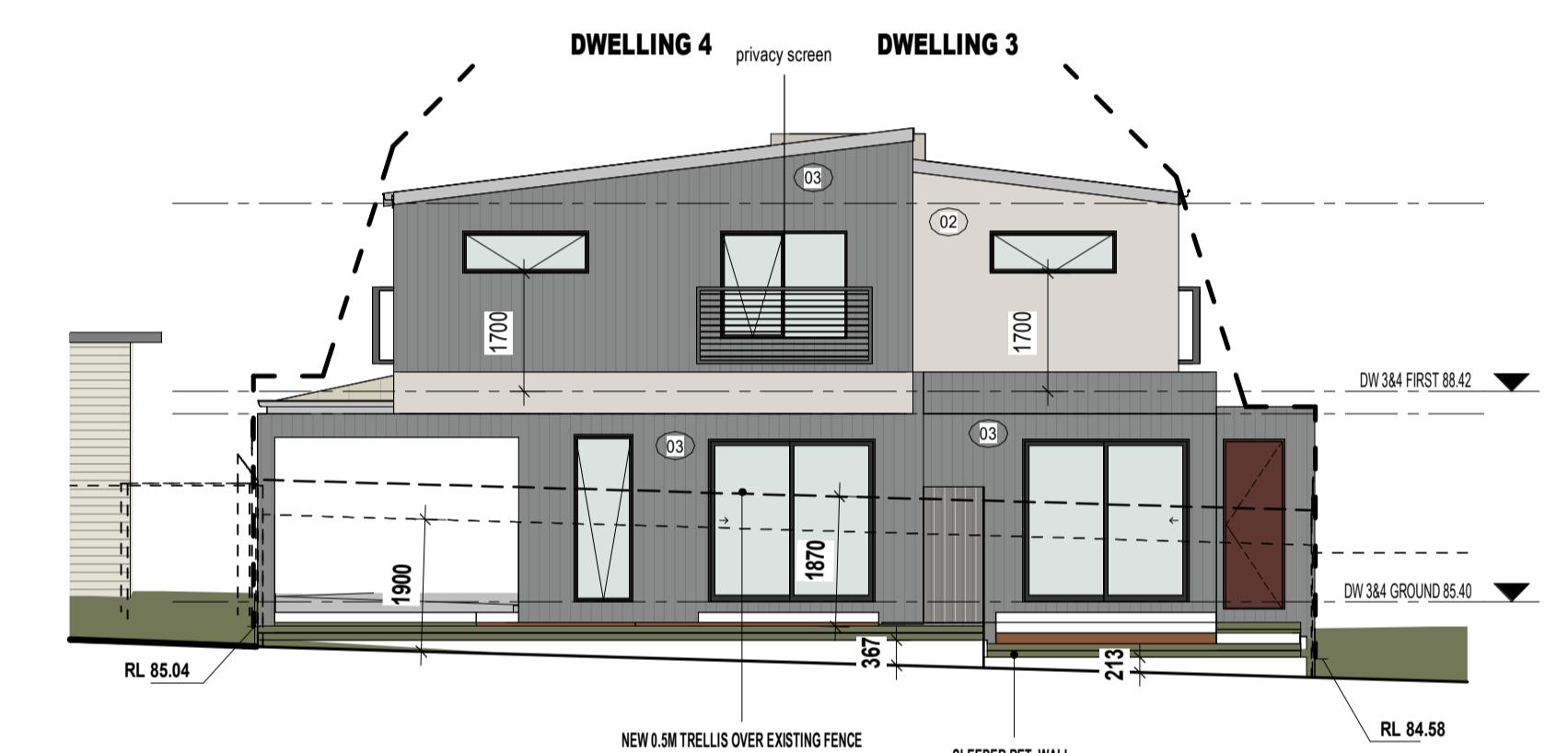
Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent as per Darebin Planning scheme

#### MATERIAL SCHEDULE

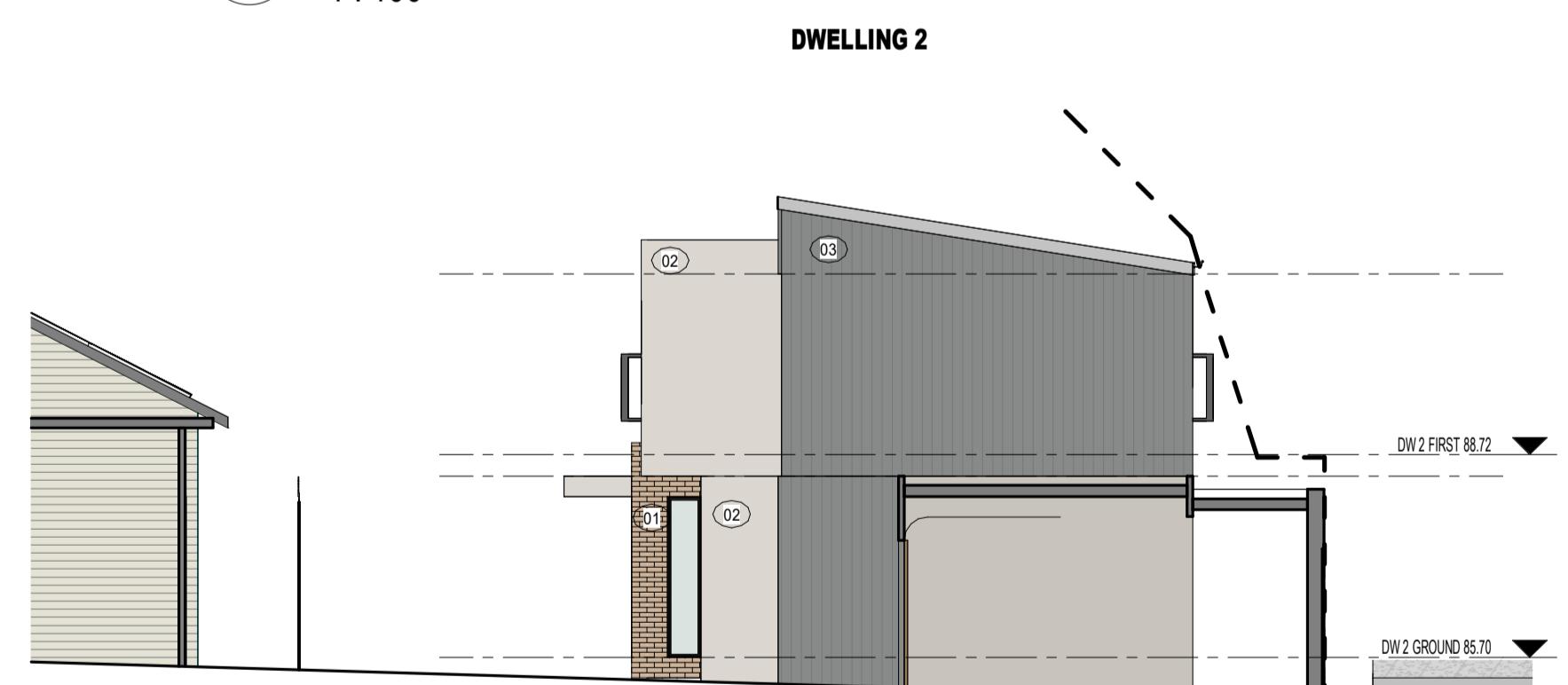
01	BRICK TYPE	HOMESTEAD MUSHROOM	AUSTRAL BRICKS
02	PAINT FINISH	GREY PEBBLE HALF	DULUX
03	PAINT FINISH	TIMELESS GREY	DULUX
04	METAL ROOF	SURFMIST	COLORBOND
05	GARAGE PANEL	TIMBER LOOK OR SIMILAR	
06	FEATURES/ RHIPICAPPING	SURFMIST	COLORBOND
07	POWDER COATED ALU. WINDOW FRAME EXTERNAL PRIVACY SCREEN	WOODLAND GREY	COLORBOND



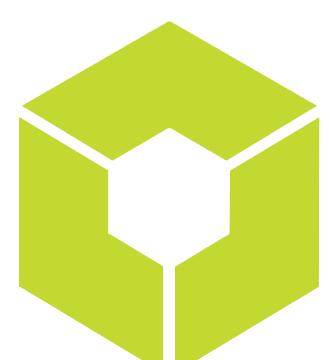
5 Elevation\_WEST\_internal  
1:100



4 Elevation\_EAST  
1:100



6 Elevation\_EAST\_internal  
1:100



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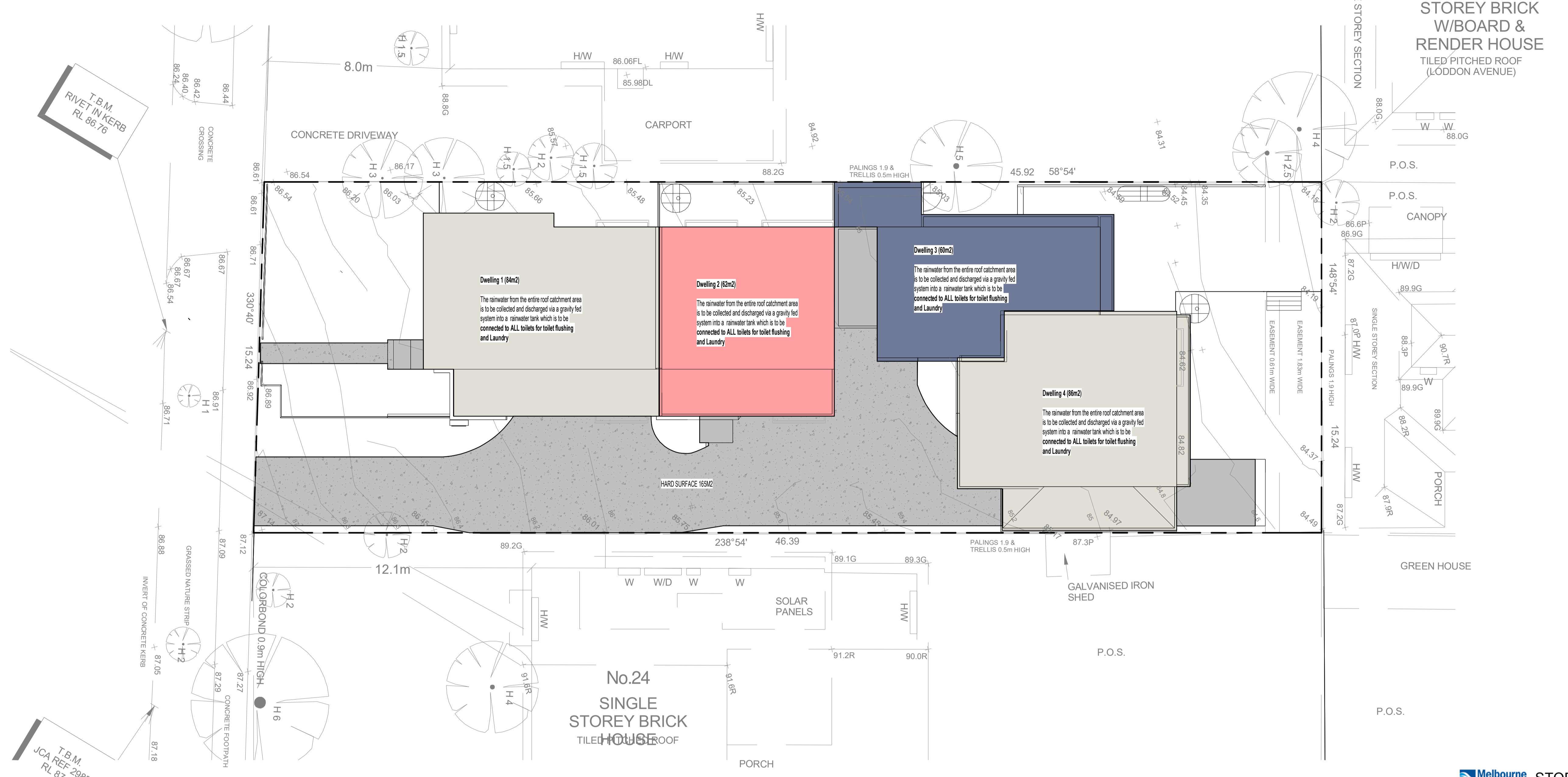
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TP 06

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WATER SENSITIVE URBAN DESIGN (WSUD)

REFER TO ENDORSED STORM REPORT

THE PERFORMANCE OF ANY WATER SENSITIVE URBAN DESIGN (WSUD) DEVICE MUST BE MONITORED AND MAINTAINED SUCH THAT IT CONTINUES TO MEET BEST PRACTICE STANDARDS. IN THE EVENT THAT THE DEVICE FAILS TO MEET BEST PRACTICE STANDARDS IT MUST BE REPAIRED OR REPLACED WITH AN ALTERNATE. THE COST OF THE OWNER/OPERATOR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

REFER TO THE URL FOR GUIDANCE AVAILABLE FROM EPA/MELBOURNE WATER ABOUT THE MANAGEMENT OF EROSION AND SEDIMENT BE DURING CONSTRUCTION  
<https://www.clearwater.vic.gov.au/resource-library/guidelines-and-strategy/keeping-our-stormwater-clean-a-builders-guide.php>

## WSUD TREATMENT SUMMARY

IMPERMEABLE AREA NAMES	IMPERMEABLE AREA (m <sup>2</sup> )	TREATMENT		NUMBER OF BEDROOMS <sup>(4)</sup>	CONNECTION <sup>(1,4)</sup>	
		TYPE	MIN. SIZE (l) <sup>(2)</sup>		TOILETS	LAUNDRY
DW 1 TREATED ROOF	84 m <sup>2</sup>	RAINWATER TANK	2000 L	3 (+1)	YES	YES
DW 2 TREATED ROOF	62 m <sup>2</sup>	RAINWATER TANK	1500 L	2 (+1)	YES	YES
DW 3 TREATED ROOF	60 m <sup>2</sup>	RAINWATER TANK	1500 L	2 (+1)	YES	YES
DW 4 TREATED ROOF	86 m <sup>2</sup>	RAINWATER TANK	2000 L	3 (+1)	YES	YES
NON TREATED SURFACE	165 m <sup>2</sup>	N/A				

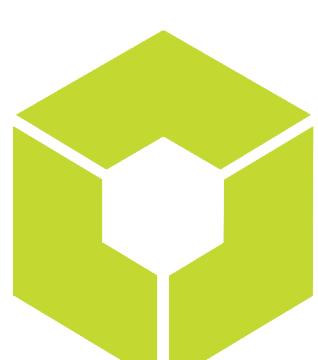
## NOTES

**NOTES**

1. RAINWATER FROM THE ENTIRE ROOF CATCHMENT AREA OF EACH DWELLING IS TO BE COLLECTED AND DISCHARGED VIA A CHARGED SYSTEM INTO THE ASSOCIATED RAINWATER TANK WHICH IS CONNECTED TO ALL TOILETS FOR FLUSHING AND WASHING MACHINE TAPS, SUBJECT TO THE SPECIFICATIONS ABOVE.
2. RAINWATER TANK CAPACITY NOTED IN THE TABLE ABOVE, ASSOCIATED STORM, AND BESS REPORTS IS NOT THE FULL SIZE OF THE TANK. IT ONLY INDICATES STORM TREATMENT CAPACITY (RAINWATER RETENTION/ REUSE).
3. HARD SURFACE INCLUDES UNTREATED IMPERMEABLE AREAS AND AREAS OCCUPIED BY GARDEN SHEDS AND RAINWATER TANKS.
4. A BEDROOM CAN BE ADDED TO DWELLING'S TOTAL NUMBER OF BEDROOMS IF THE RAINWATER TANK IS CONNECTED TO THE LAUNDRY

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Program Version: 1.0.0



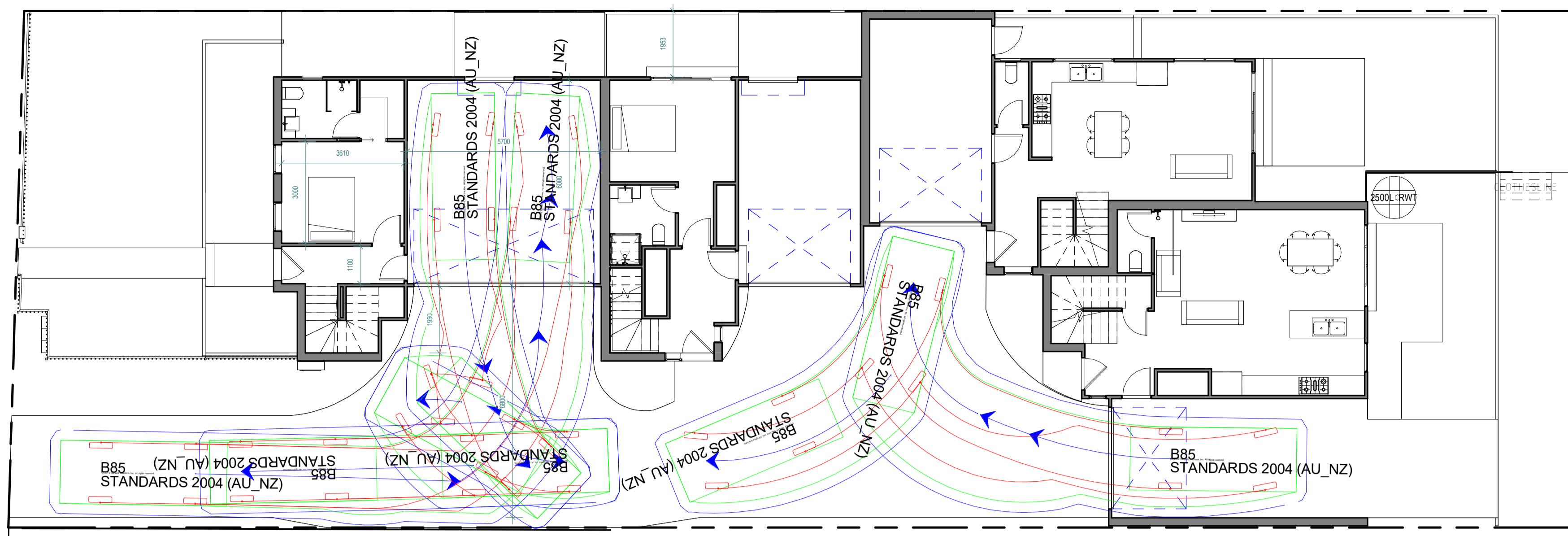
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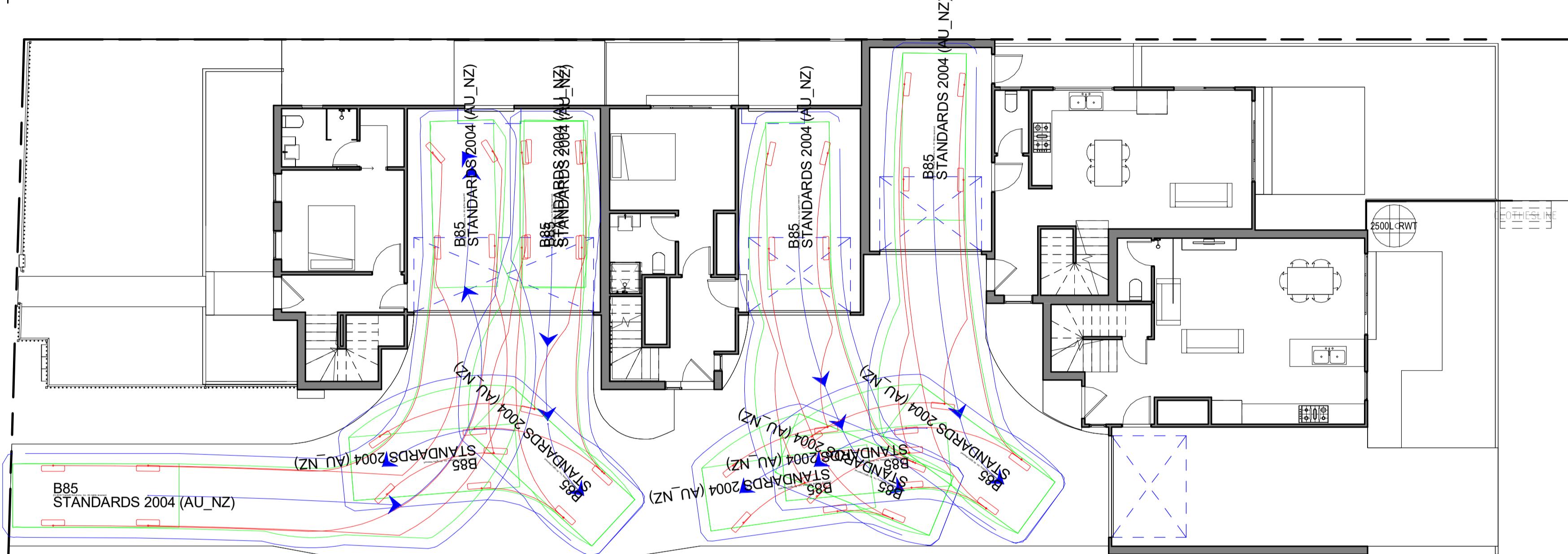
# PROJECT: 26 ERSKINE AVE, RESERVOIR

# SITE ROOF + WSUD PLAN

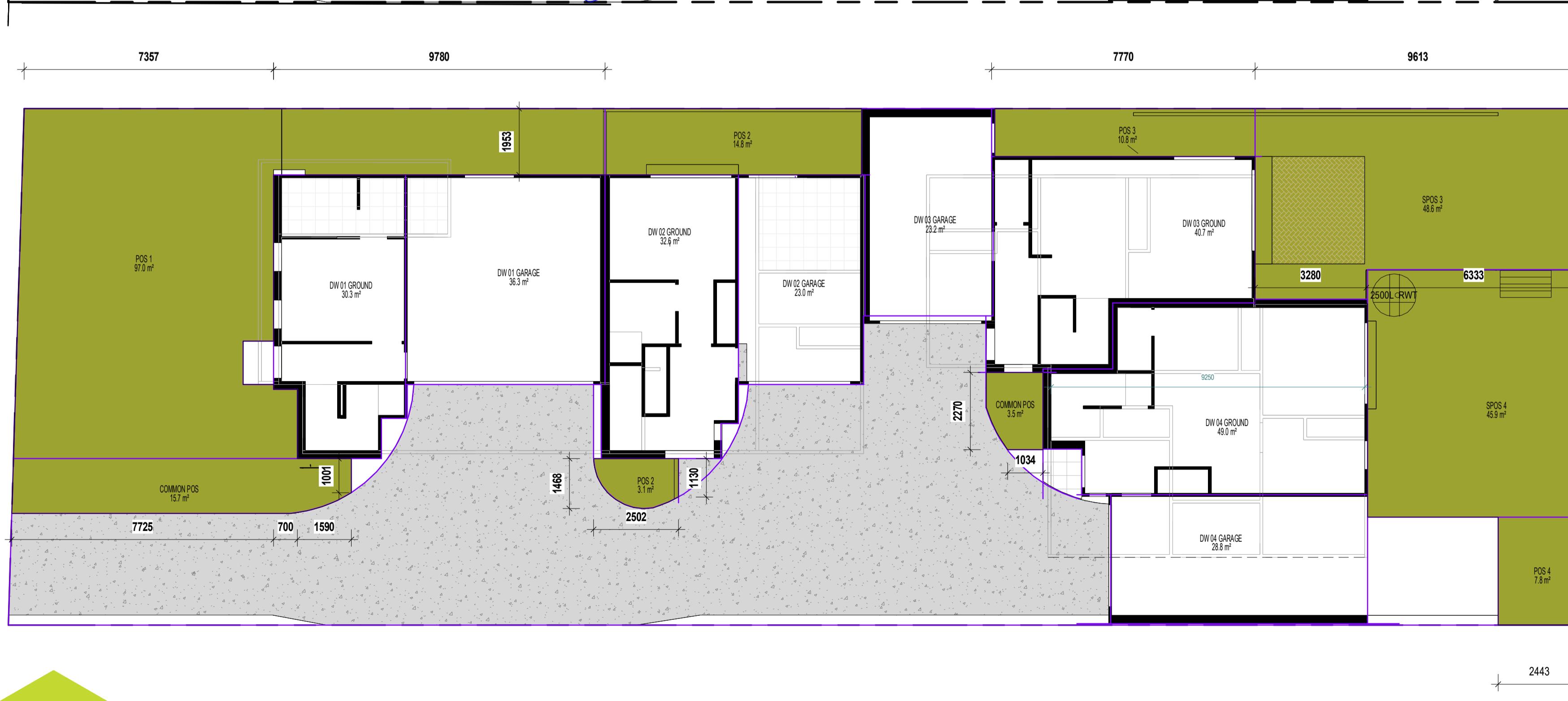
# TP 07



2 GROUND FLOOR\_swept path 1  
1:100



3 GROUND FLOOR\_swept path 2  
1:100

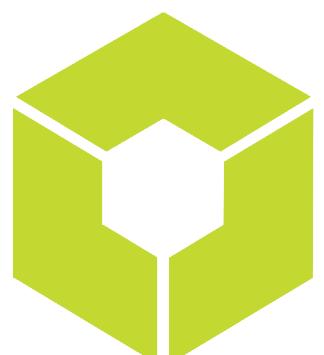


1 GARDEN AREA PLAN  
1:100

#### DEVELOPMENT ANALYSIS

SITE AREA	703.0 m <sup>2</sup>
BUILT ON AREA/ SITE COVERAGE	277.0 m <sup>2</sup> (39%)
PAVED AREA	170.0 m <sup>2</sup>
TOTAL IMPERVIOUS AREAS	447.0 m <sup>2</sup>
% SITE PERMEABILITY	36.4%
REQUIRED GARDEN AREA	246.1 m <sup>2</sup> (35%)
PROVIDED GARDEN AREA	247.0 m <sup>2</sup>
TOTAL CAR SPACES REQUIRED	6
TOTAL CAR SPACES PROVIDED	6

Total POS	
POS 4	7.8 m <sup>2</sup>
POS 2	3.1 m <sup>2</sup>
SPOS 4	45.9 m <sup>2</sup>
COMMON POS	15.7 m <sup>2</sup>
SPOS 3	48.6 m <sup>2</sup>
POS 2	14.8 m <sup>2</sup>
POS 1	97.0 m <sup>2</sup>
POS 3	10.8 m <sup>2</sup>
COMMON POS	3.5 m <sup>2</sup>
Grand total	247.0 m <sup>2</sup>



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GARDEN AREA / SWEPT PATH

TP 08