

PLANNING PERMIT - CONDITION 1

BUILDING AREA :
71 KELVINSIDE ROAD , NOBLE PARK

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UNIT 1

GROUND FLOOR - 72.20 M2
GARAGE - 21.00 M2
FIRST FLOOR AREA - 64.00 M2
PRIVATE OPEN SPACE - REAR - 68.85 M2 FRONT
YARD - 62.19 M2
TOTAL BUILT UP AREA - 96.70 M2

UNIT 2

GROUND FLOOR AREA - 78.00 M2 GARAGE - 21.00 M2
FIRST FLOOR AREA - 47.75 M2
PRIVATE OPEN SPACE - REAR - 52.25 M2 FRONT
YARD - 88.73 M2
TOTAL BUILT UP AREA - 103.50 M2

LANDSCAPING- STANDARD B13- PLANNING SCHEME

CALCULATION:

UNIT 1- FRONT SETBACK- TOTAL AREA - 76.43 M2
52.43 M2

UNIT 2- FRONT SETBACK- TOTAL AREA - 94.43 M2
70.43 M2

UNIT 1 + 2 = 52.43 M2 + 70.43 M2

TOTAL AREA = 122.86 M2

TOTAL AREA = 170.86 M2

= 71.91% = COMPLIES

OG = OBSCURE GLASS

RFI LETTER 11/12/2024



FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE. NO
RESPONSIBILITY FOR STRUCTURAL WORK. THESE DRAWINGS TO BE READ
IN CONJUNCTION WITH ALL OTHER RELEVANT DOCUMENTS ASSOCIATED
WITH BUILDING ACT 1987, PLANNING AND ENVIRONMENT ACT 1987,
LEVELS AND HEIGHTS ON SITE BEFORE ORDERING MATERIALS. ALL
WORKS AS PER NATIONAL CONSTRUCTION CODE OF AUSTRALIA.

MUDHER
ARCHITECTS PTY LTD

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Job Title

AMENDMENT TO CONDITION 1 PLANS

PROPOSED DEVELOPMENT
SIDE BY SIDE - 2 X TWO STOREY

Drawing Name

71 KELVINSIDE ROAD ,
NOBLE PARK 3174

Drawing Status

FIRST FLOOR PLAN

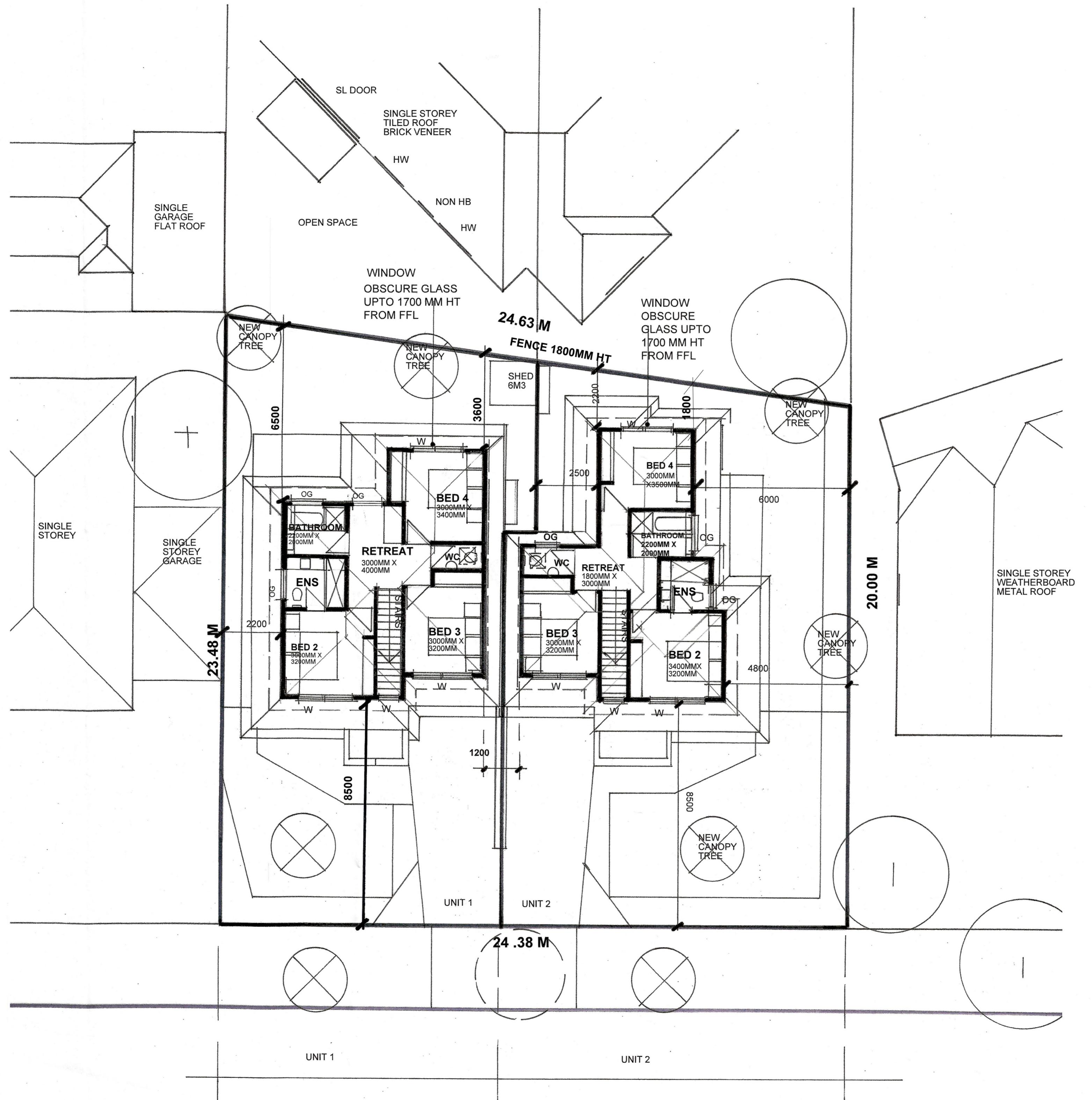
Drawn by Date: 11/12/24

Drawing Scale
@ A1

REFERENCE ID Status Revision

TP 02

REV E



71 KELVINSIDE ROAD

FIRST FLOOR PLAN

SCALE 1:100 @ A1

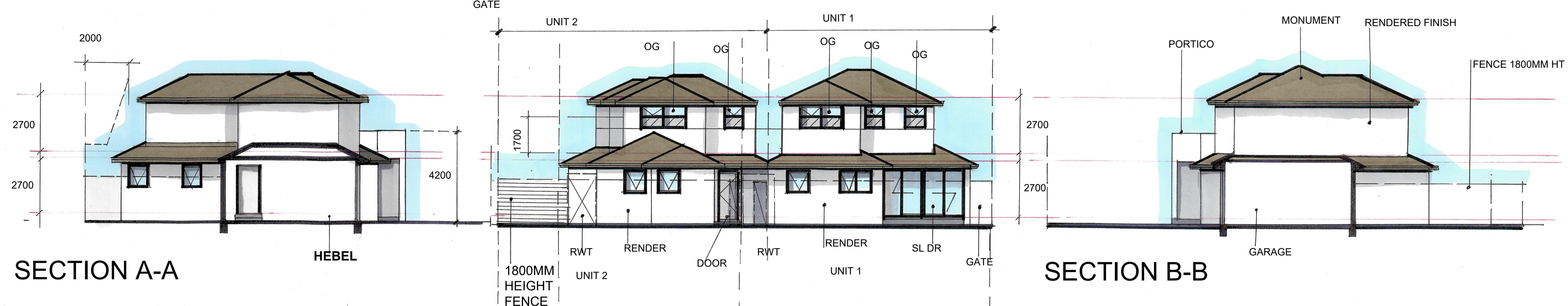
PLANNING SUBMISSION - AMENDED PLANS

SUBJECT SITE

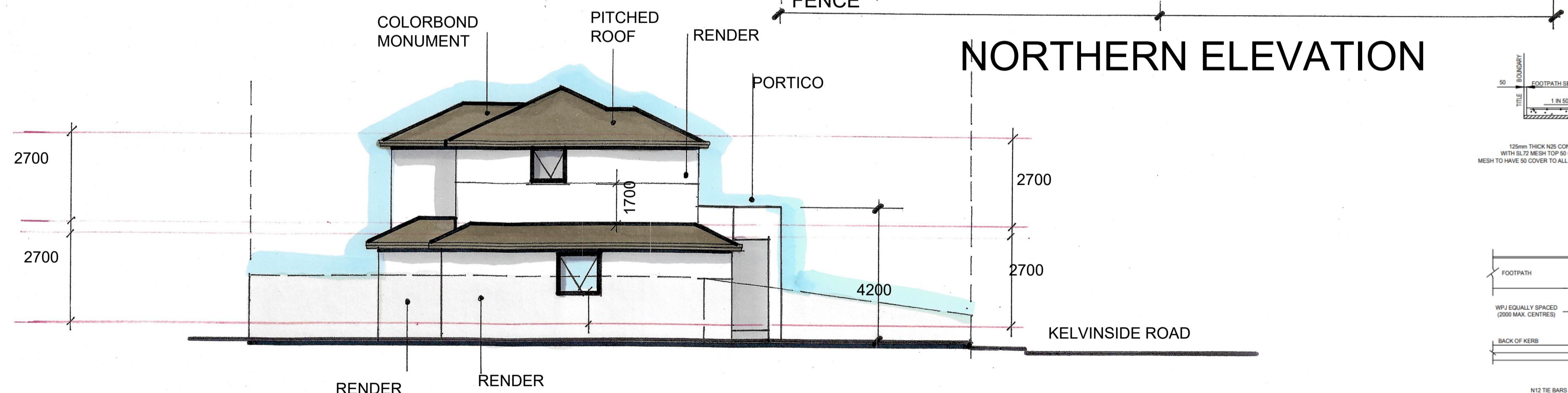


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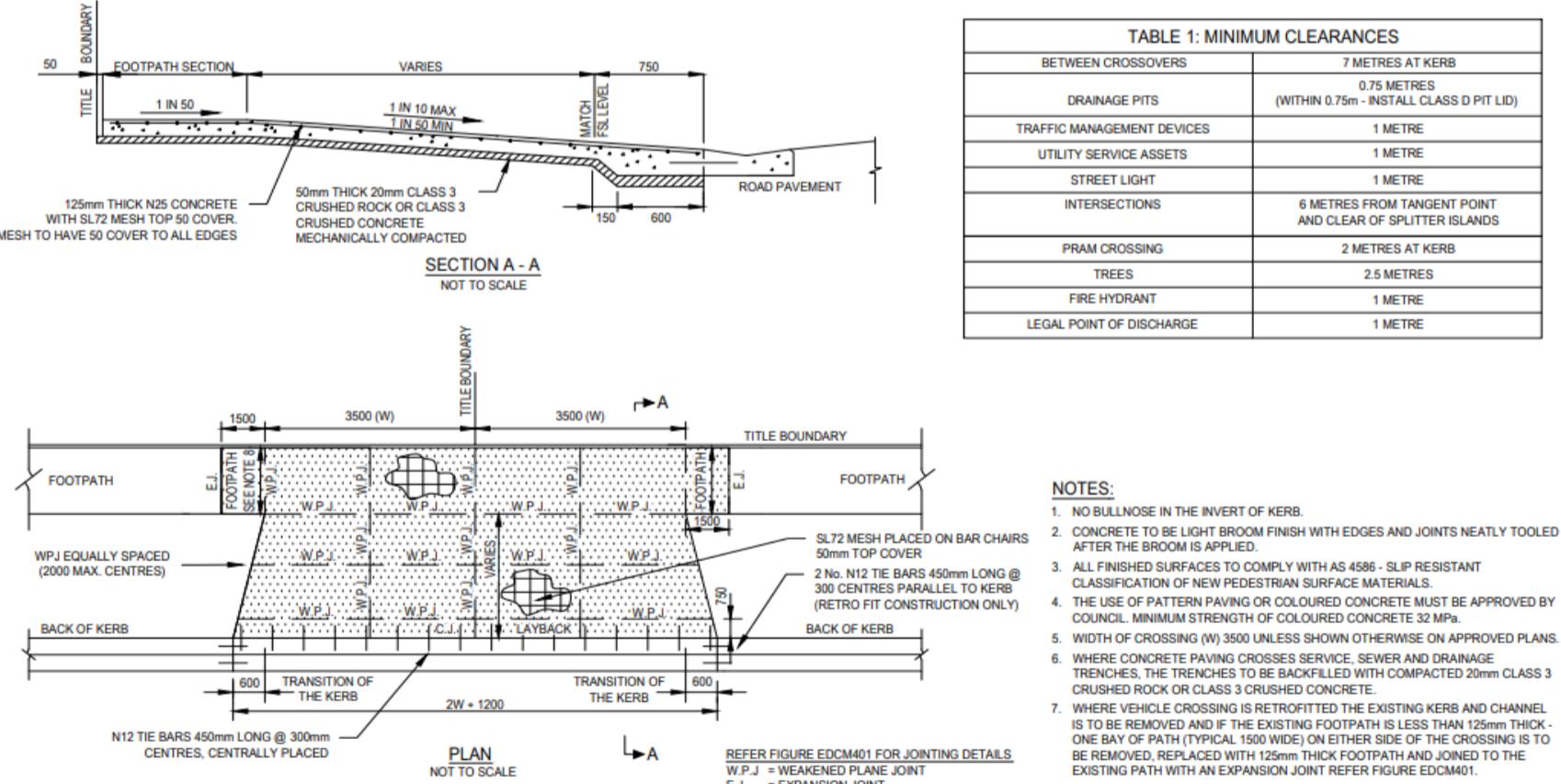
SOUTHERN ELEVATION



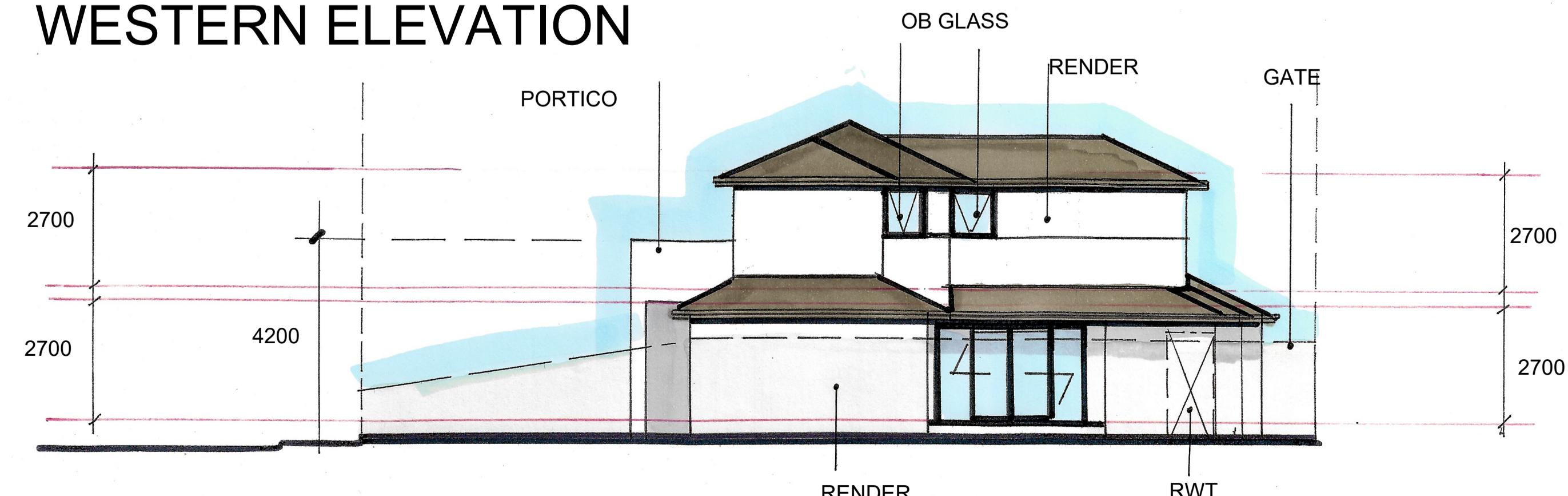
SECTION A-A



SECTION B-B



WESTERN ELEVATION



EASTERN ELEVATION

PROPOSED CROSSOVER AS PER GREATER DANDELONG REQUIREMENTS



SHEDS

2000L RAIN WATER TANKS

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Job Title

PLANNING PERMIT

PROPOSED DEVELOPMENT SIDE BY SIDE - 2 X TWO STOREY

Drawing Name

71 KELVINSIDE ROAD , NOBLE PARK 3174

Drawing Status

ELEVATIONS

Drawn by

Date 12/12/24

Drawing Scale

@ A1

REFERENCE ID

Status

Revision