

GENERAL NOTES :

Existing vegetation  
Existing trees and shrubs indication for retention are to be protected in accordance with Australian standards. Refer to Arborist report and or council permit conditions for tree protection and management Trees should be protected with physical barriers to prevent access within nominated tree protection zones which are to be mulched and irrigated during constructions. No trees to be removed without clarification from owner or local council. All tree protection to be in accordance with relevant Australian Standards\_

Garden Beds

Cultivate existing soil to 200mm. Re-use site topsoil if suitable or imported garden mix topsoil to provide minimum 100mm of topsoil to garden beds. Spread 75mm layer of 10mm pine bark mulch.

Irrigation

Low water use drip system with programmable timers connected to rainwater storage tanks or water mains. Irrigation must be used in compliance with current water restrictions

Fences

Refer to architectural plans

Drainage

Refer to architectural or engineering plans for stormwater and drainage pit locations. All paved areas in rear gardens are to have a grade of 2.5% minimum, away from buildings. All grades, levels and drainage to comply with relevant building codes and council planning requirements.

Services

Contractors are to determine the location of all underground and overhead services prior to construction. Any services, pits. etc illustrated-on this plan are Indicative only and are to be checked with architectural and engineering plans.

Building Structures

The use of this plan and planting of trees, shrubs, etc as specified may require the provision of root control barriers or specifically engineered foundations or similar method of controlling root growth to avoid intrusion into adjacent areas or building foundations A qualified consultant should ,rvice on foundation design and/or barriers (physical or chemical) as appropriate.

GARDEN EDGING

70 X 19 - TREATED PINE

LAWN

DROUGHT TOLERANT - LOCAL SUPPLIER  
TOPPINGS / GRANITE PEBBLES 50MM COMPACTED - 60MM LOOSE LAYER

DECKING

AS PER ARCHITECTURAL SPECIFICATION

PAVING

PERMEABLE CONCRETE - ABOVE GRADE

FENCING

TREATED PINE PAILING

RUBBISH BINS

COUNCIL TO SUPPLY

WATER TANKS

REFER TO STORM REPORT

CLOTHES LINE

TO SUIT OCCUPANTS

SITE PREPARATION & MAINTENANCE

All weeds to be removed from site by physical removal or spraying with glyphosate based herbicide

Existing soil should be improved by the addition of organic matter and light cultivation only to break up any compaction. No cultivation within drip lines of existing retained trees on site or adjacent areas. Areas of possible contamination with paint, oil or any other materials used on site are to be removed and replaced

with topsoil from a sustainable source and approved for us., on site. Areas requiring topsoil to ensure

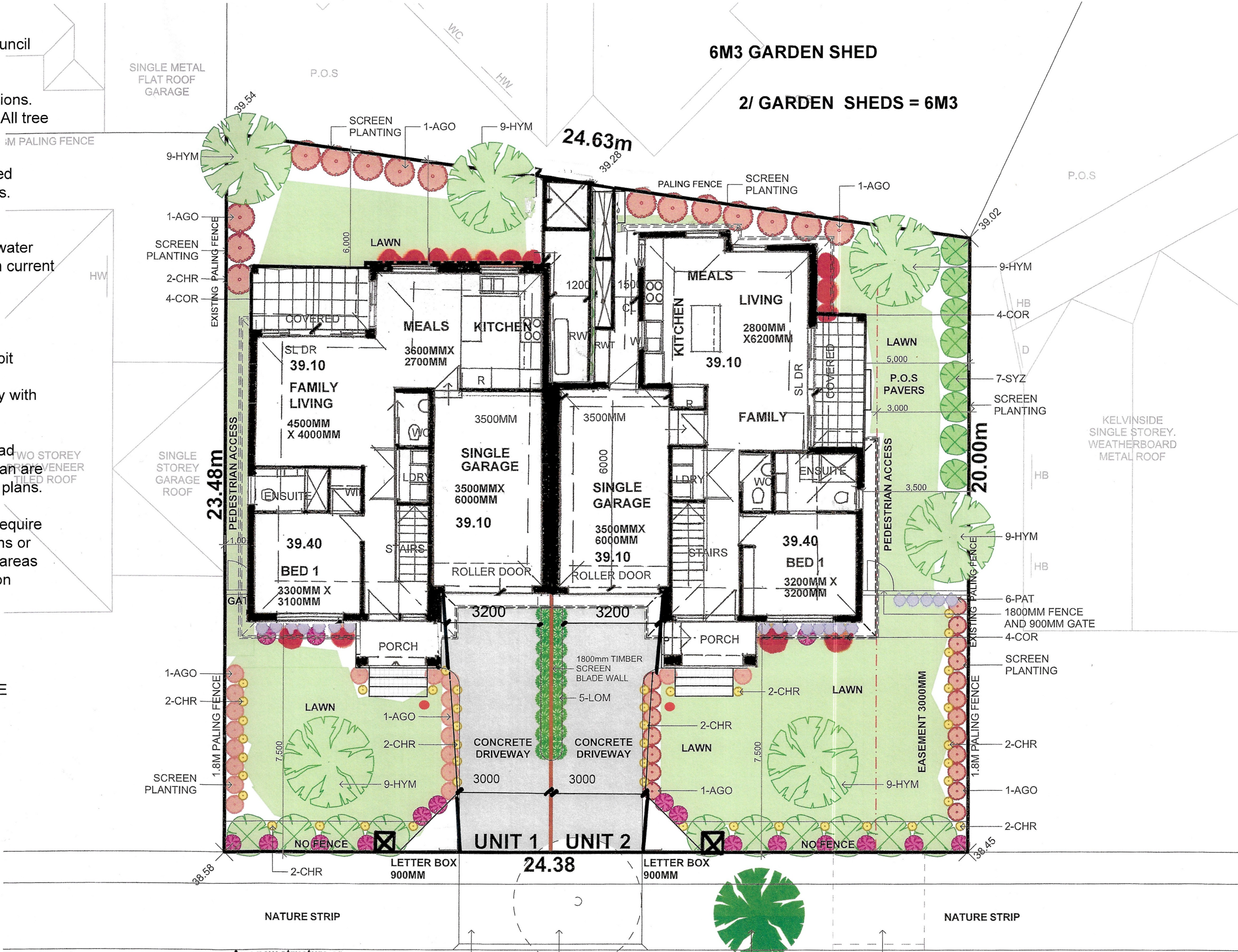
levels or for plant growth are to be spread with approved soil previously stockpiled on site or from quality controlled and sustainable source.

Irrigation is to be in accordance with current water restrictions and weather conditions generally 10 minutes every secnd day during establishment period (6 months) and during dry summer periods If required, programmable irrigation systems are to be low water use drippers and sprays as appropriate and designed by irrigation supplier or consultant.

Weeding and trimming every 14 - 21 days. Plant replacement as required during establishment period of 6 months or longer as required by permit conditions .All plants to be pruned/shaped to appropriate size on an ongoing basis. Mulch levels to be maintained at 75mm.

Outdoor lighting must not be located other than that which is normal to a private dwelling or shown on the endorsed plans, except with prior written consent to the responsible authority.

Any equipment required for refrigeration, air-conditioning, heating and the like must be located on the subject land or premises and/or must be suitably insulated for the purpose of reducing noise emissions, to the satisfaction of the responsible authority.



LANDSCAPING- STANDARD B13- PLANNING SCHEME  
CALCULATION:  
UNIT 1- FRONT SETBACK- TOTAL AREA - 76.43 M2  
52.43 M2  
UNIT 2- FRONT SETBACK- TOTAL AREA - 94.43 M2  
70.43 M2  
UNIT 1 + 2 = 52.43 M2 + 70.43 M2  
TOTAL AREA = 122.86 M2  
TOTAL AREA = 170.86 M2  
= 71.91% = COMPLIES

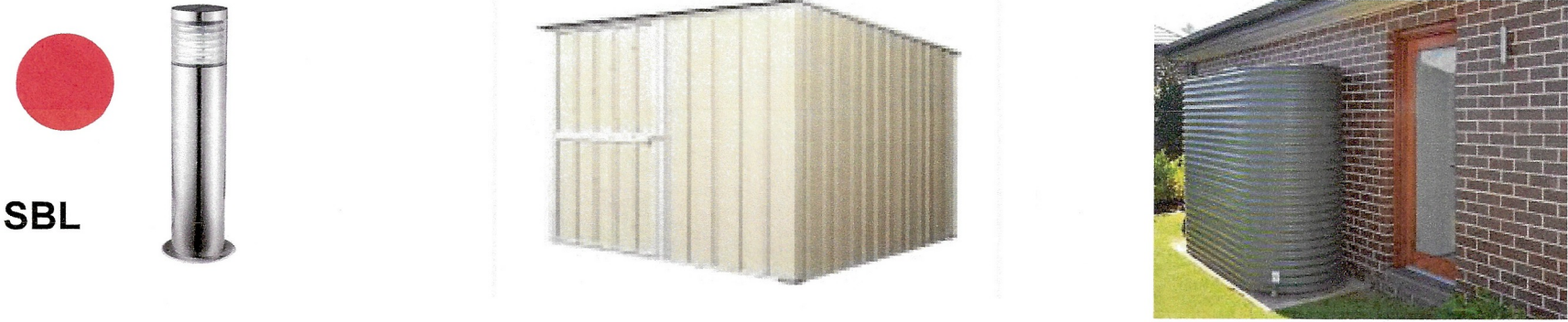
LANDSCAPING (STANDARD B13)  
CALCULATIONS  
UNIT 1 = FRONT SETBACK  
(TOTAL AREA) 76.43m²  
(LANDSCAPE) 52.43m²  
UNIT 2- FRONT SETBACK  
(TOTAL AREA) 94.43m²  
(LANDSCAPE) 70.43m²  
UNIT 1 + 2 = 52.43m² (LANDSCAPING)  
TOTAL AREA= 122.86m²  
(LANDSCAPE)  
TOTAL AREA= 170.86m²  
= 71.91% complies

PLANT LEGEND

- 1-AGO AGONIS FLEXUOSA "NANA"
- 2-CHR CHRYSOCEPHALALUM SEMIPAPPUSUM DESERT
- 3-CRO CROWEA EXALATA RYAN'S STAR
- 4-COR CORREA REFLEXA
- 5-LOM LOMANDRA CONFERTIFOLIA "TANIKA"
- 6-PAT PATERSONIA OCCIDENTALIS
- 7-SYZ SYZIGIUM AUSTRALE HINTERLAND GOLD
- 8-WES WESTRINGIA FRUTICOSA WYNYABBIE GEM
- 9-HYM HYMENOSPORUM FLAVUM

MATERIAL SELECTION

- CONCRETE DRIVEWAY
- LAWN BUFFALO
- CONCRETE PAVERS
- LETTER BOX LOCATION



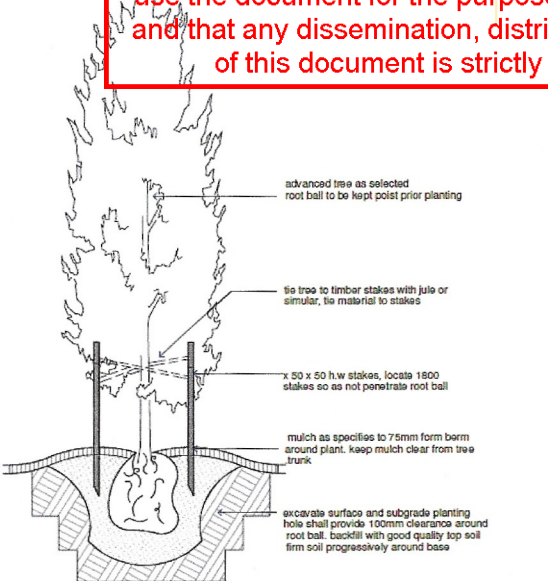
1.8M X 1.8M X 2.0M = 6.48M3  
COLORBOND SHED

RAINWATER TANK  
2000 L

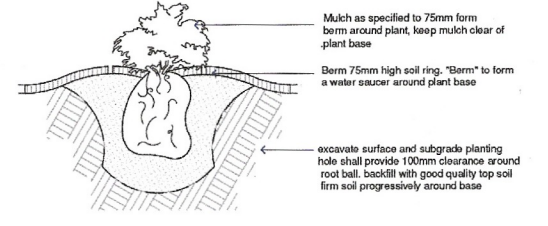
PLANT SCHEDULE

ID	QTY	LATIN NAME	COMMON NAME	HEIGHT AND WIDTH	SCHEDULED SIZE	FORM
1-AGO	54	AGONIS FLEXUOSA "NANA"	DWARF WILLOW MYRTLE	0.8 x 1.2	150mm	LOW SHRUB/GC NATIVE
2-CHR	46	CHRYSOCEPHALALUM SEMIPAPPUSUM DESERT	CLUSTERED EVERLASTING, YELLOW BUTTONS	0.3-0.5 x 0.6m	150mm	GROUNDCOVER NATIVE
3-CRO	17	CROWEA EXALATA RYAN'S STAR	CROWEA	0.5 x 0.5	150mm	LOW SHRUB/GC NATIVE
4-COR	14	CORREA REFLEXA	CORREA REFLEXA	0.5-0.75	150mm	LOW SHRUB NATIVE
5-LOM	18	LOMANDRA CONFERTIFOLIA "TANIKA"	MAT-RUSH	0.5-0.6 x 0.65	100mm	GRASS NATIVE
6-PAT	20	PATERSONIA OCCIDENTALIS	PURPLE FLAG	0.5-0.6 x 0.65	TUBE	GRASS NATIVE
7-SYZ	8	SYZIGIUM AUSTRALE HINTERLAND GOLD	LILY PILLY	2-3 x 1-2	200mm	HEDGE SHRUB NATIVE
8-WES	16	WESTRINGIA FRUTICOSA WYNYABBIE GEM	COASTAL ROSEMARY	0.8-1.5 x 1.5 mtr	150mm	MEDIUM SHRUB NATIVE
9-HYM	6	HYMENOSPORUM FLAVUM	NATIVE FRANGIPANI	10+ x 2.5-4m	40ltr 1.5mtr AT PLANTING	CANOPY TREE

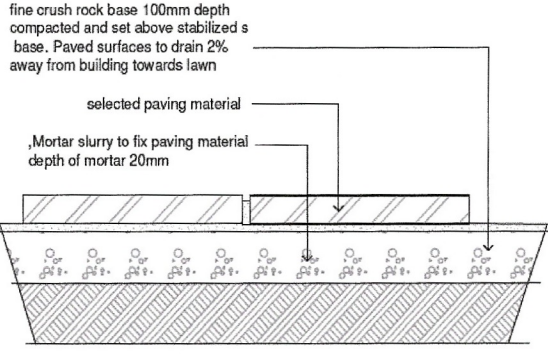
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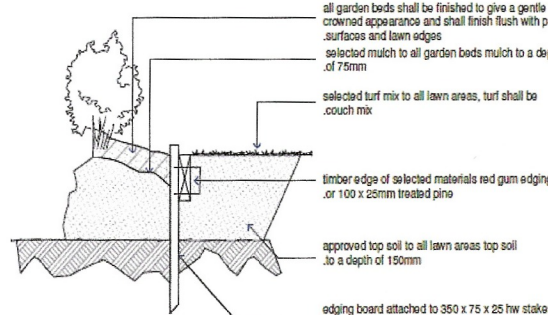
Detail 1: Advanced tree planting



Detail 2: Standard tree planting



Detail 3: Selected Pavers



Detail 4: Timber Edging

NOTE:  
THIS PLAN HAS BEEN MEASURED TO THE BEST OF MY KNOWLEDGE. CHECK MEASUREMENTS AND CALCULATIONS BEFORE LANDSCAPE WORK COMMENCES. LANDSCAPE DESIGNER IS NOT RESPONSIBLE FOR ANY LANDSCAPE CONSTRUCTION. ALL SPAS RETAINING WALL, FENCE AND CONCRETE SLAB DRAWINGS ARE SUGGESTIONS AND ARE TO BE CHECKED AND ENGINEERED BY A QUALIFIED ENGINEER.

MA  
LANDSCAPES

Email: jmudher67@gmail.com  
Contact: 0414 451 921

Job Title

Street 71 KELVINSIDE ROAD  
City NOBLE PARK  
State VICTORIA  
Post code 3174

Drawing Name

Landscape Plan

Drawing Status

PLANNING PERMIT APPLICATION

Drawn by

PB

Checked by

JM

Drawing Scale

1:100 @ A1

Layout ID

TP.08

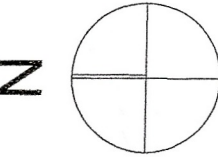
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TP

Revision

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Date 8/01/25





PLANNING PERMIT - CONDITION 1

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**BUILDING AREA :**  
71 KELVINSIDE ROAD , NOBLE PARK

**UNIT 1**  
GROUND FLOOR AREA - 72.20 M2  
GARAGE - 21.00 M2  
FIRST FLOOR AREA - 64.00 M2 PRIVATE  
OPEN SPACE - REAR - 68.85 M2 FRONT  
YARD - 62.19 M2  
TOTAL BUILT UP AREA - 96.70 M2

**UNIT 2**  
GROUND FLOOR AREA - 78.00 M2  
GARAGE - 21.00 M2  
FIRST FLOOR AREA - 47.75 M2 PRIVATE  
OPEN SPACE - REAR - 52.25 M2 FRONT  
YARD - 88.73 M2  
TOTAL BUILT UP AREA - 103.50 M2

**LANDSCAPING- STANDARD B13- PLANNING SCHEME**

**CALCULATION:**

**UNIT 1- FRONT SETBACK- TOTAL AREA - 76.43 M2**  
**52.43 M2**

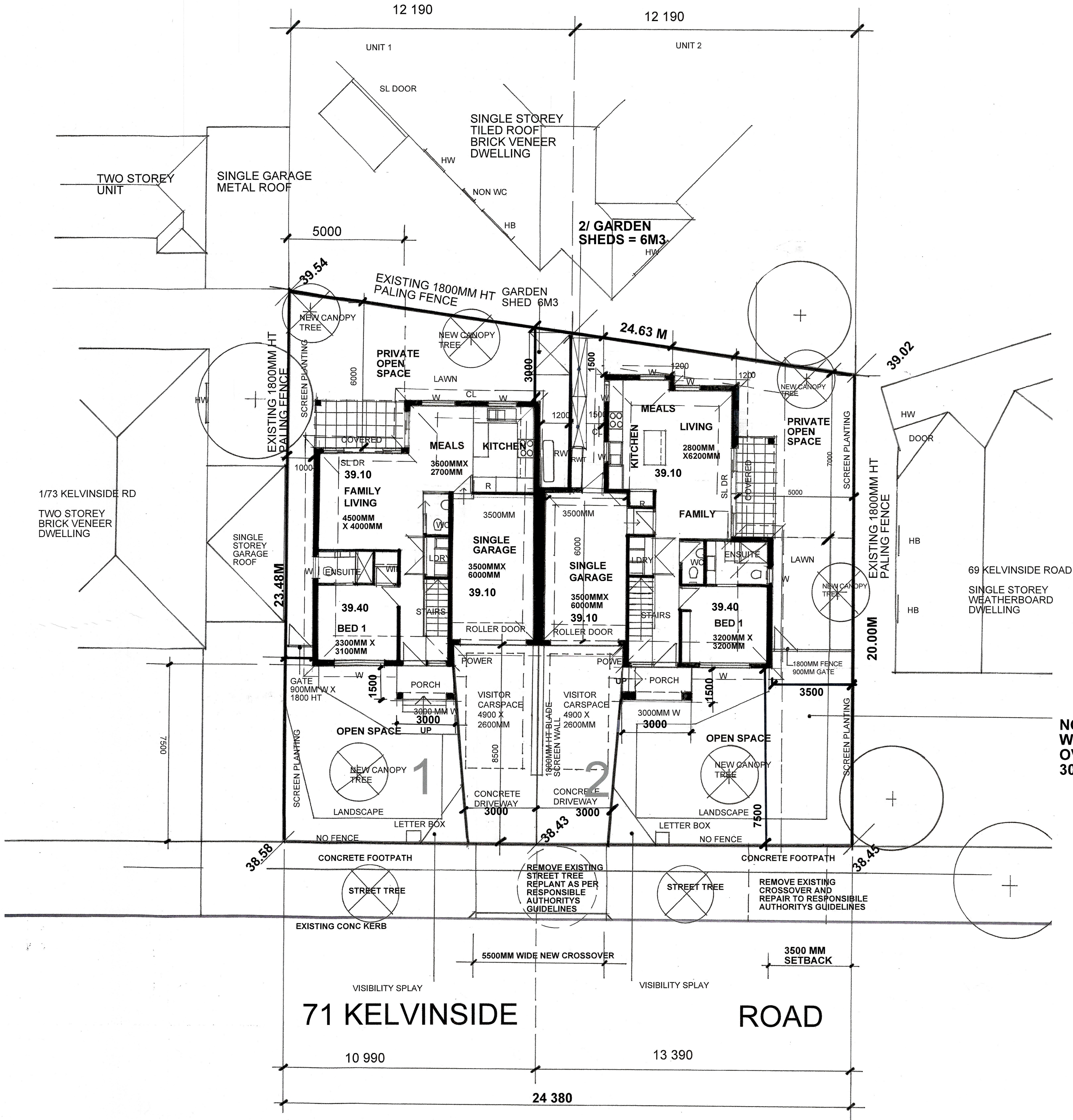
**UNIT 2- FRONT SETBACK- TOTAL AREA - 94.43 M2**  
**70.43 M2**

**UNIT 1 + 2 = 52.43 M2 + 70.43 M2**

**TOTAL AREA = 122.86 M2**

**TOTAL AREA = 170.86 M2**

**= 71 .91% = COMPLIES**

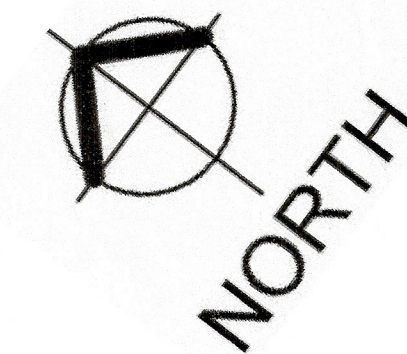


**NO BUILDING  
WORKS  
OVER EASEMENT  
3000MM WIDE**

**GROUND FLOOR PLAN**

SCALE 1:100 @ A1

RFI LETTER - 11/12/2024



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**MUDHER**  
ARCHITECTS PTY LTD

**SURJEET S MUDHER**  
Director/Registered Architect N°:12688

Email: [jmudher67@gmail.com](mailto:jmudher67@gmail.com)  
Mobile Phone 0414 451 921

Job Title

**AMENDMENT TO CONDITION 1 PLANS**

**PROPOSED DEVELOPEMENT  
SIDE BY SIDE - 2 X TWO STOREY**

Drawing Name

71 KELVINSIDE ROAD ,  
NOBLE PARK 3174

Drawing Status

**GROUND FLOOR PLAN**

Drawn by

JSM

Date: 11/12/24

Drawing Scale

@ A1 1:100

REFERENCE ID  
TP 01

Status

REV E



PLANNING PERMIT - CONDITION 1

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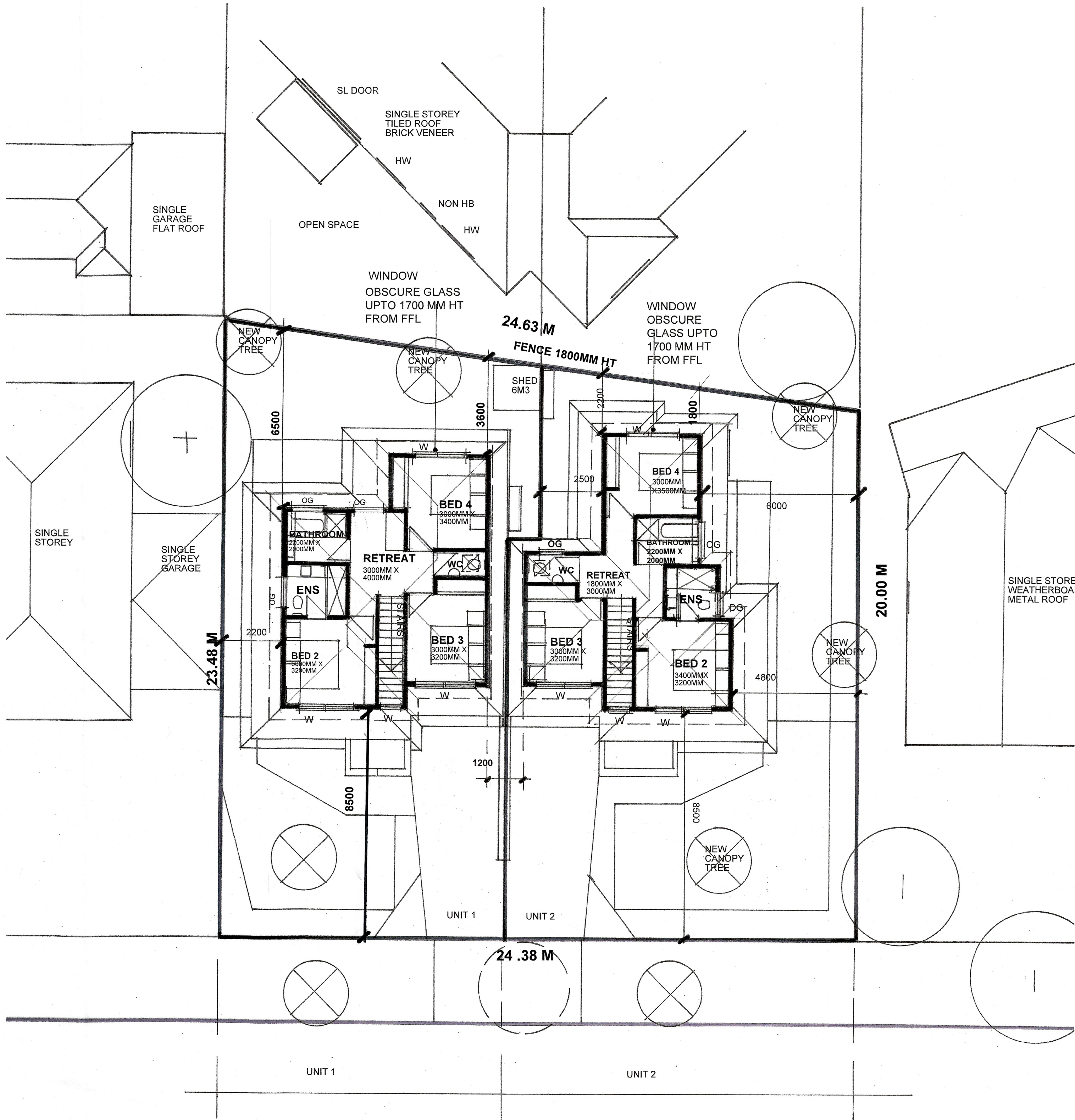
BUILDING AREA :  
71 KELVINSIDE ROAD , NOBLE PARK

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YARD - 88.73 M2  
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LANDSCAPING- STANDARD B13- PLANNING SCHEME

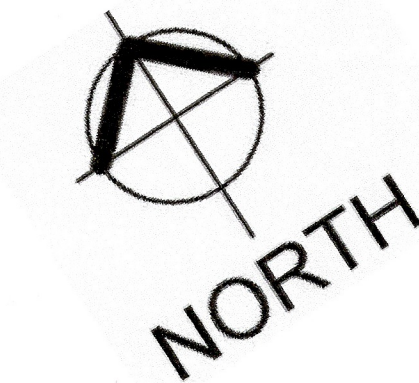
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TOTAL AREA = 122.86 M2  
TOTAL AREA = 170.86 M2  
= 71 .91% = COMPLIES

OG = OBSCURE GLASS



FIRST FLOOR PLAN  
SCALE 1:100 @ A1

RFI LETTER 11/12/2024



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Mobile Phone 0414 451 921

Job Title

AMENDMENT TO CONDITION 1 PLANS

PROPOSED DEVELOPEMENT  
SIDE BY SIDE - 2 X TWO STOREY

Drawing Name

71 KELVINSIDE ROAD ,  
NOBLE PARK 3174

Drawing Status

FIRST FLOOR PLAN

Drawn by

Date : 11/12/24

Drawing Scale

@ A1

REFERENCE ID

Status

Revision

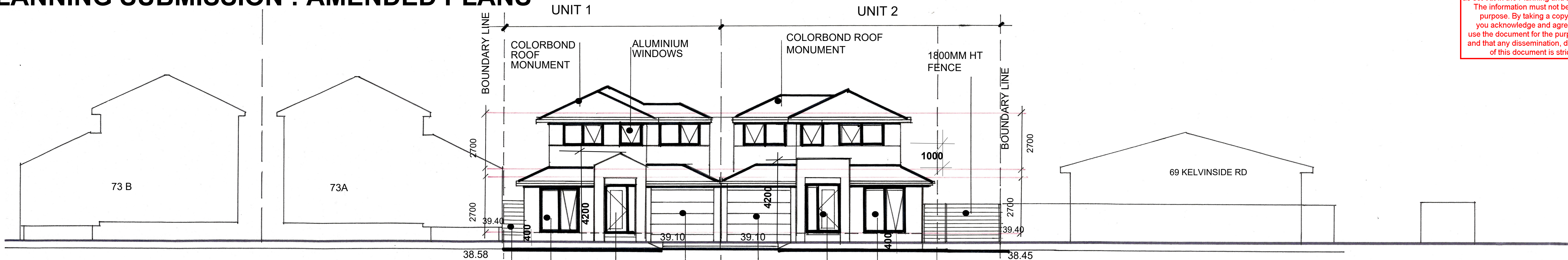
TP 02

REV E

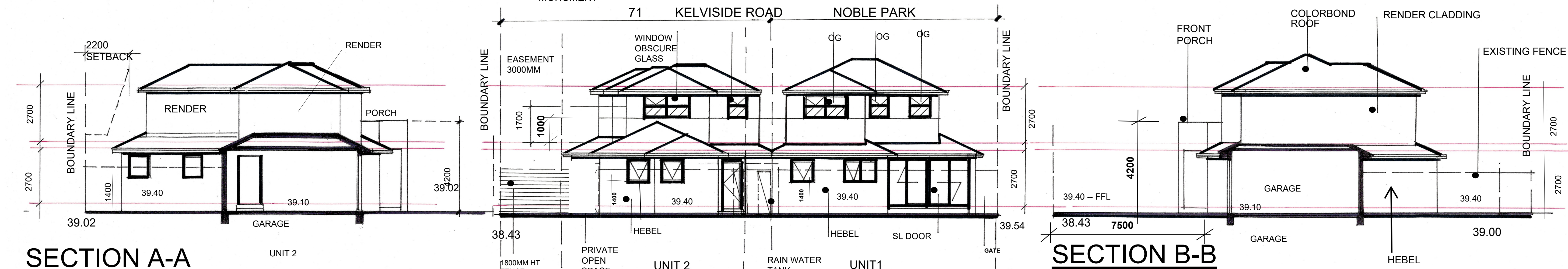


PLANNING SUBMISSION : AMENDED PLANS

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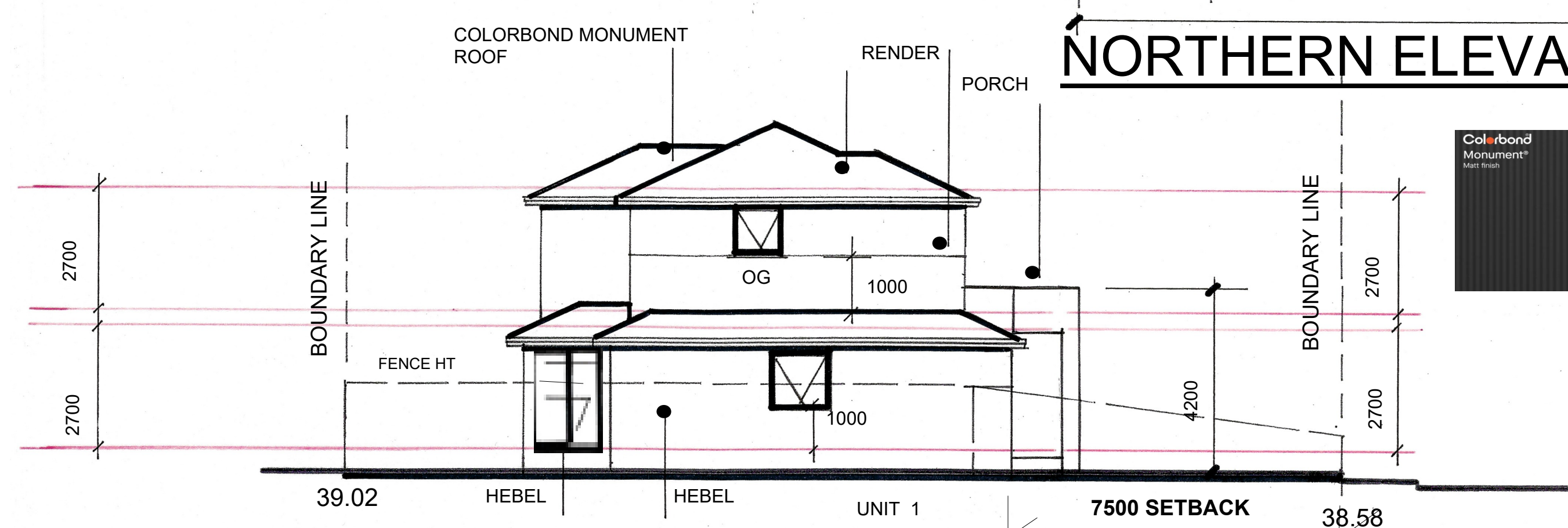


SOUTHERN ELEVATION

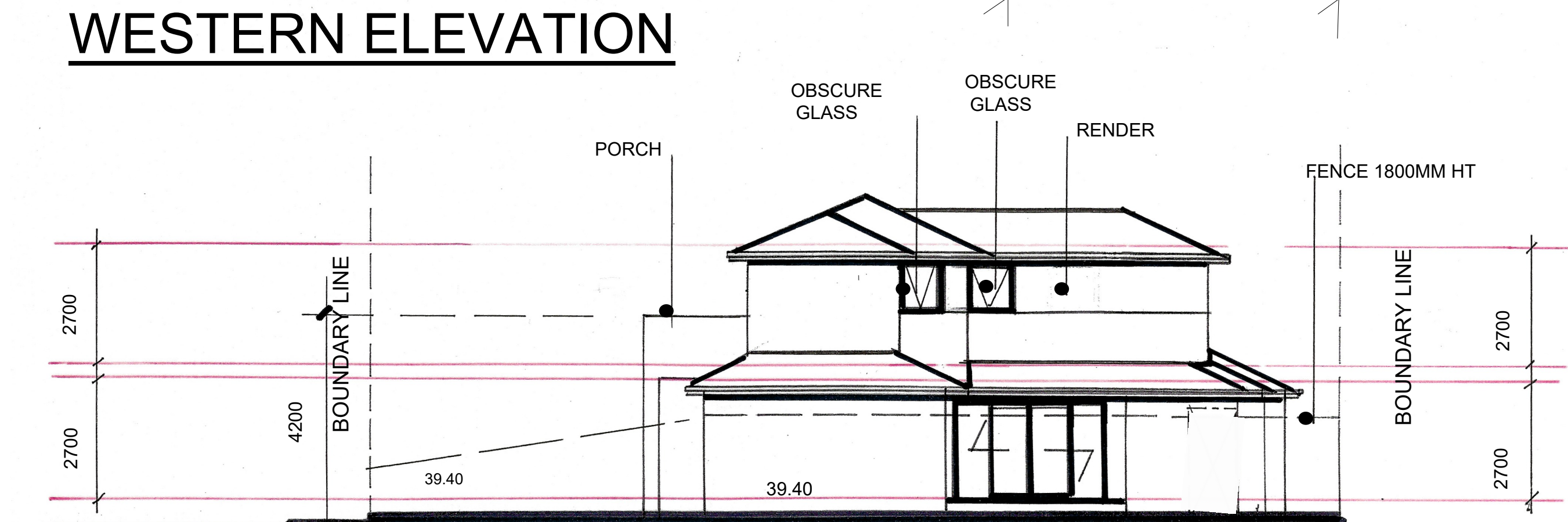


SECTION A-A

SECTION B-B



NORTHERN ELEVATION



WESTERN ELEVATION



EASTERN ELEVATION

BUILDING MATERIALS

- ROOFING / FASCIA GUTTERS/ DOWN PIPES FLASHING & CAPPING. MONUMENT
- GARAGE DOORS - COLORBOND UNIT 1 - PAPERBARK
- UNIT 2 - MONUMENT
- FRONT DOORS UNIT 1 - MONUMENT
- UNIT 2 WOOD STAIN - HARDWOOD
- WINDOW FRAMES MONUMENT

PLEASE NOTE : ALL FIRST FLOOR CLADDING MUST BE VBA COMPLIANT NCC 2022 REFER TO VBA WEBSITE FOR CLARIFICATION & TECHNICAL SPECS

EXTERNAL RENDER ANTIQUE WHITE - DULUX



GROUND FLOOR FLOOR - SPECIFICATION CLADDING

MUDHER ARCHITECTS PTY LTD

SURJEET S MUDHER Director/Registered Architect N°:12688

PLANNING PERMIT PROPOSED DEVELOPEMENT SIDE BY SIDE - 2 X TWO STOREY

Drawing Name 71 KELVINSIDE ROAD , NOBLE PARK 3174

REFERENCE ID Status Revision



## SUBJECT SITE

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TIMBER GATE

A. WINDOW

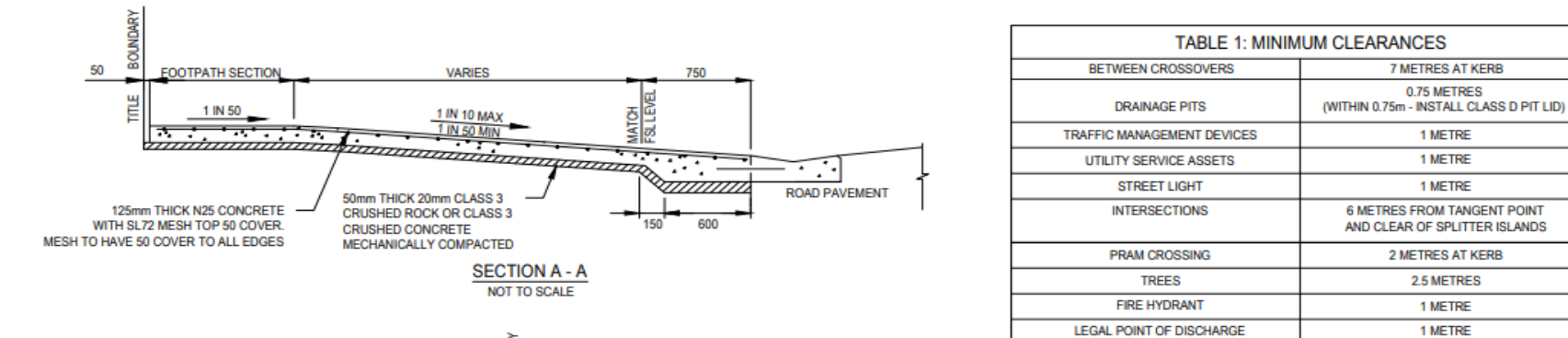
ENTRY

PLANNING PERMIT CONDITION 1.2

GARAGE DOORS

ENTRY

ALUMINIUM WINDOWS



**NOTES:**

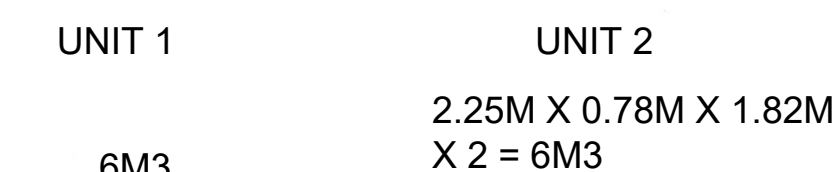
1. NO BALLAST IN THE INVERT OF KERB.
2. CONCRETE TO BE LIGHT BROWN FINISH WITH EDGES AND JOINTS NEATLY TOOK AFTER THE BROOM IS APPLIED.
3. ALL WORKING TO BE COMPLY WITH AS 4886 - SL RESISTANT CLASSIFICATION OF NEW PEDESTRIAN SURFACE MATERIALS.
4. THE USE OF PATTERN PAVING OR COLOURED CONCRETE MUST BE APPROVED BY THE ENGINEER.
5. MINIMUM STRENGTH OF COLOURED CONCRETE 32 MPa.
6. WIDTH OF CROSSING (W) 3000 UNLESS SHOWN OTHERWISE ON APPROVED PLANS.
7. WHERE CONCRETE PAVING CROSSINGS SERVICE, SEWER AND DRAINAGE CROSSINGS, THE TRENCHES SHALL BE BACKFILLED WITH COMPACTED 20mm CLASS 3 CRUSHED ROCK OR CLASS 3 CRUSHED CONCRETE.
8. WHERE VEHICLE CROSSING IS RETEHOPTED THE EXISTING KERB AND CHANNEL SHALL BE REMOVED AND REPLACED WITH 125mm THICK FOOTPATH AND 125mm OR ONE BAY (1000 TYPE 1000) UNLESS SHOWN OTHERWISE ON EITHER SIDE OF THE CROSSING IS TO BE REMOVED, REPLACED WITH 125mm THICK FOOTPATH AND JOINED TO THE EXISTING KERB WITH AN 800mm WIDE TRANSVERSE JOINT.

# WESTERN ELEVATION

Architectural elevation drawing of the Western Elevation of a house. The drawing shows a two-story structure with a gabled roof, a portico on the left, and a gate on the right. Dimensions are provided: 2700 for the main floor height, 4200 for the total height, and 2700 for the upper floor height. Materials are labeled: OB GLASS, RENDER, and GATE.

RENDER RWT

Figure 10.1 is a detailed plan view of a concrete slab reinforcement layout. The overall dimensions are 10000 (W) by 3000 (L). The layout includes a central 3000 (W) x 3000 (L) area with a 1500 (W) x 1500 (L) square cutout. Reinforcement details include W.P. (Welded Mesh) squares, N12 bars, and GL72 mesh. Labels include FOOTPATH, TITLE BOUNDARY, BACK OF KERB, TRANSITION OF THE KERB, and PLAN NOT TO SCALE. A legend defines W.P. as WEIGHED REINFORCEMENT PLATE, E.J. as EXPANSION JOINT, and C.J. as CONSTRUCTION JOINT.



## 2000L RAIN WATER TANKS

Drawing Status	
<b>ELEVATIONS</b>	
Drawn by	Date : 12/12/24
Drawing Scale	
⊗ A1	
REFERENCE ID	Status Revision

