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DRAWING SCHEDULE

Drawing No.	Drawing Description	Scale
TP00	COVER	N.T.S
TP01	SITE LOCATION	N.T.S
TP02	SITE ANALYSIS	1:100
TP03	DESIGN RESPONSE	1:100
TP04	PROPOSED GROUND FLOOR PLAN	1:100
TP05	PROPOSED FIRST FLOOR PLAN	1:100
TP06	PROPOSED ROOF PLAN	1:100
TP07	PROPOSED SECTIONS X1 & X2	1:100
TP08	PROPOSED SECTIONS Y1 & Y2 & Y3	1:100
TP09	PROPOSED ELEVATIONS	1:100
TP10	PROPOSED ELEVATIONS	1:100
TP11	PROPOSED ELEVATIONS	1:100
TP12	GARDEN AREA DIAGRAM	1:100
TP13	SHADOW DIAGRAMS - 22 SEPT 9AM-3PM	N.T.S
TP14	TREE MANAGEMENT - GROUND FLOOR	1:100
TP15	TREE MANAGEMENT - FIRST FLOOR	1:100
TP16	PROPOSED AERIAL VIEWS	N.T.S
TP17	PROPOSED STREET PERSPECTIVE	N.T.S
TP18	PROPOSED STREET PERSPECTIVE	N.T.S
TP19	PROPOSED STREET PERSPECTIVE	N.T.S
TP20	PROPOSED PERSPECTIVE	N.T.S
TP21	PROPOSED PERSPECTIVE	N.T.S

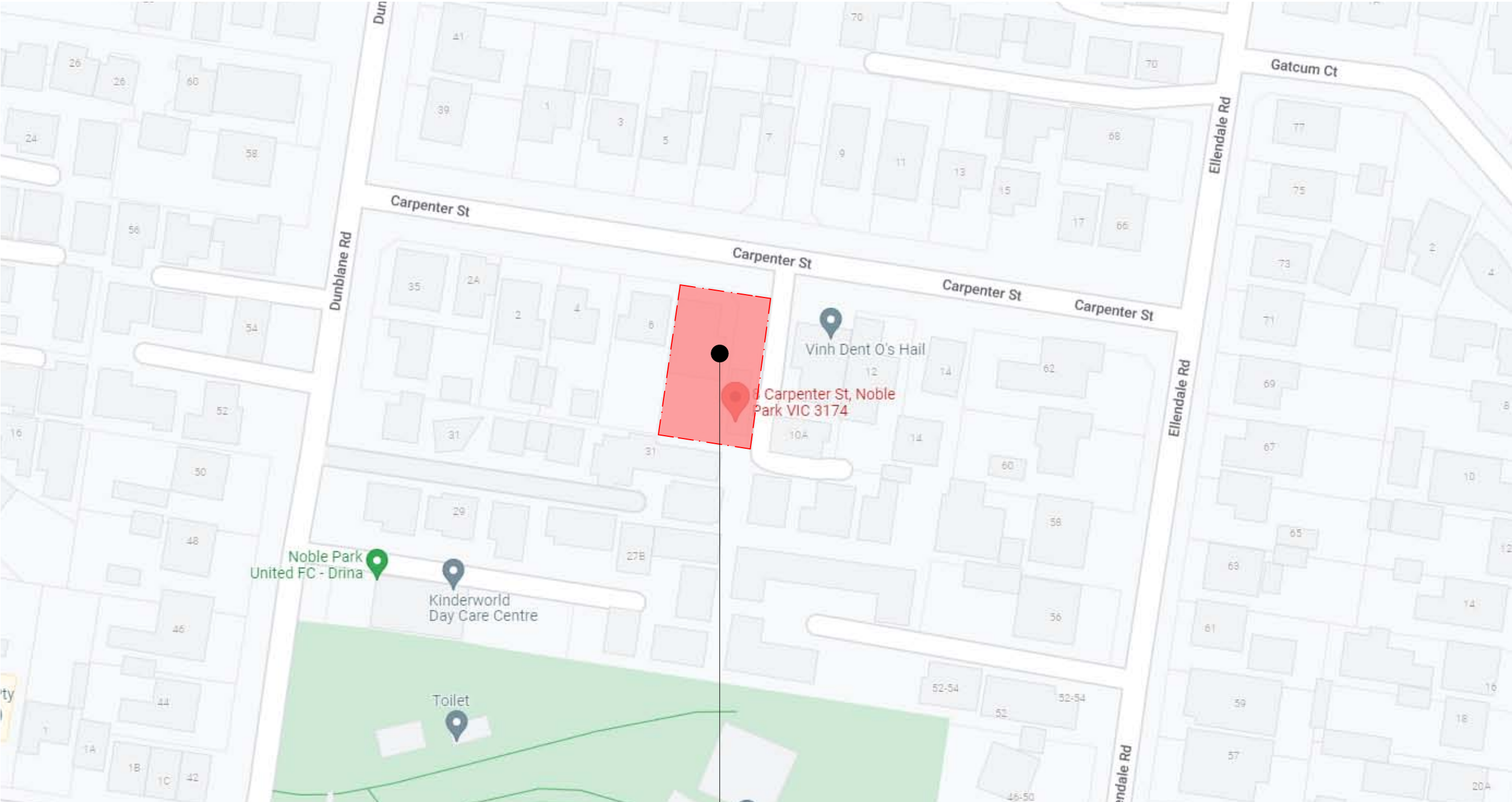


8 CARPENTER ST NOBLE PARK

a m e n d m e n t s :						p r o j e c t : PROPOSED FIVE THREE-STOREY DWELLINGS f o r : -	a d d r e s s : 8 CARPENTER ST NOBLE PARK VIC 3174	<div><div><div></div><div>kxa</div></div><div>rchitecture</div><div><small>ARCHITECTURE - INTERIOR DESIGN - VISUALISATION</small></div></div> <div><small>K x Architecture Pty Ltd Suite 1211, 401 Docklands Drive Docklands VIC 3008 Australia t 03 9600 2152 e studio@kxarchitecture.com w www.kxarchitecture.com</small></div>	d r a w i n g t i t l e : COVER		date scale dwg. no. rev.			
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS				19/03/2024		as shown on A1	TP00	-	
									drawn		-	checked	-	
									verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect.					
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2
-
EXISTING SITE AERIAL PHOTO



1
-
SITE LOCATION MAP

SUBJECT SITE:
8 CARPENTER ST NOBLE PARK VIC 3174



3
-
SUBJECT SITE 8 CARPENTER ST



4
-
4 CARPENTER ST



5
-
5 CARPENTER ST



6
-
6 CARPENTER ST



7
-
7 CARPENTER ST



8
-
9 CARPENTER ST



9
-
10 CARPENTER ST

a m e n d m e n t s :					
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS

project:
PROPOSED FIVE THREE-STOREY
DWELLINGS
for:
-

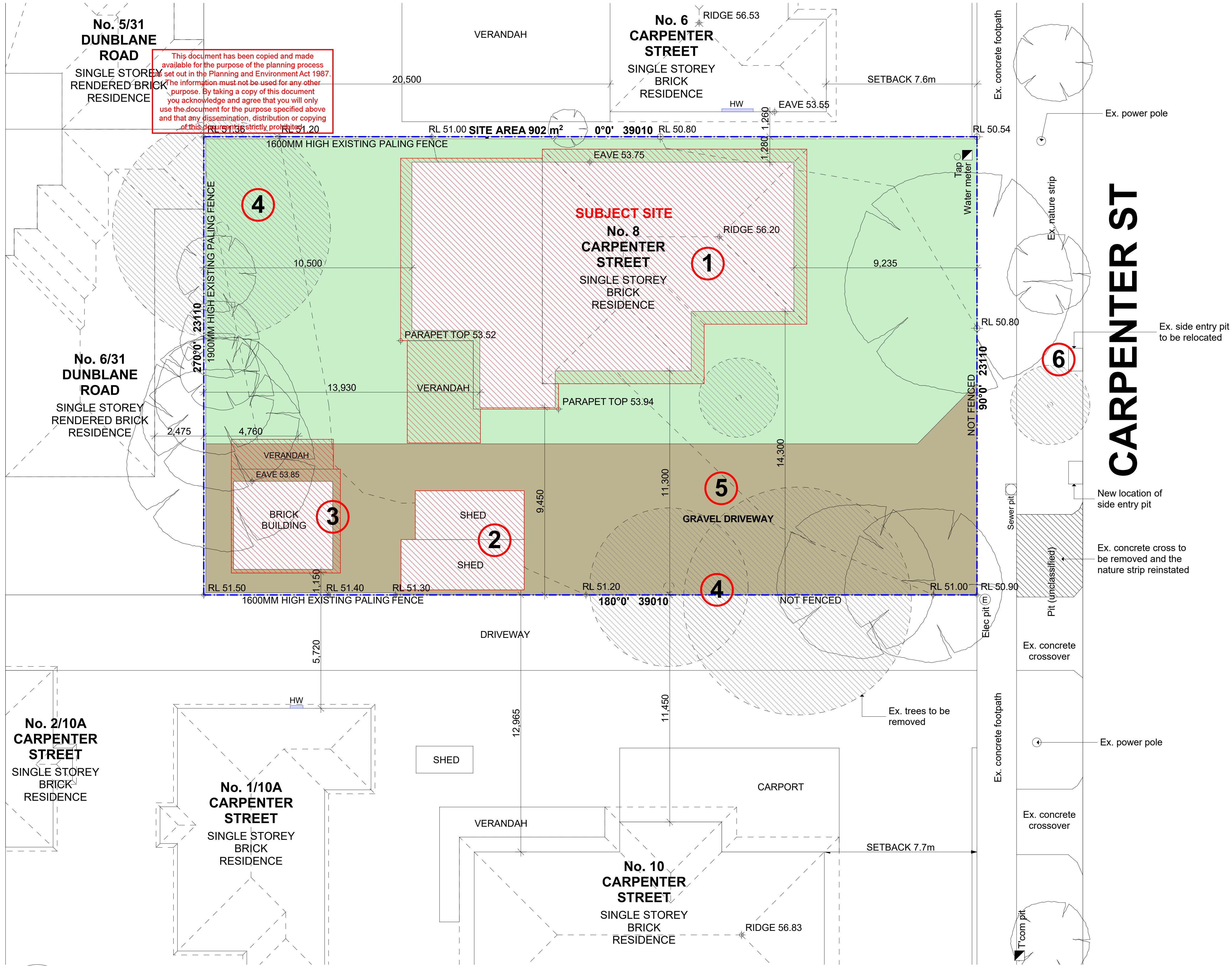
address:
8 CARPENTER ST
NOBLE PARK
VIC 3174



drawing title:
SITE LOCATION

job No.:
21087

date	scale	dwg. no.	rev.
19/03/2024	as shown on A1	TP01	-
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project:
PROPOSED FIVE THREE-STOREY DWELLINGS
for:
-

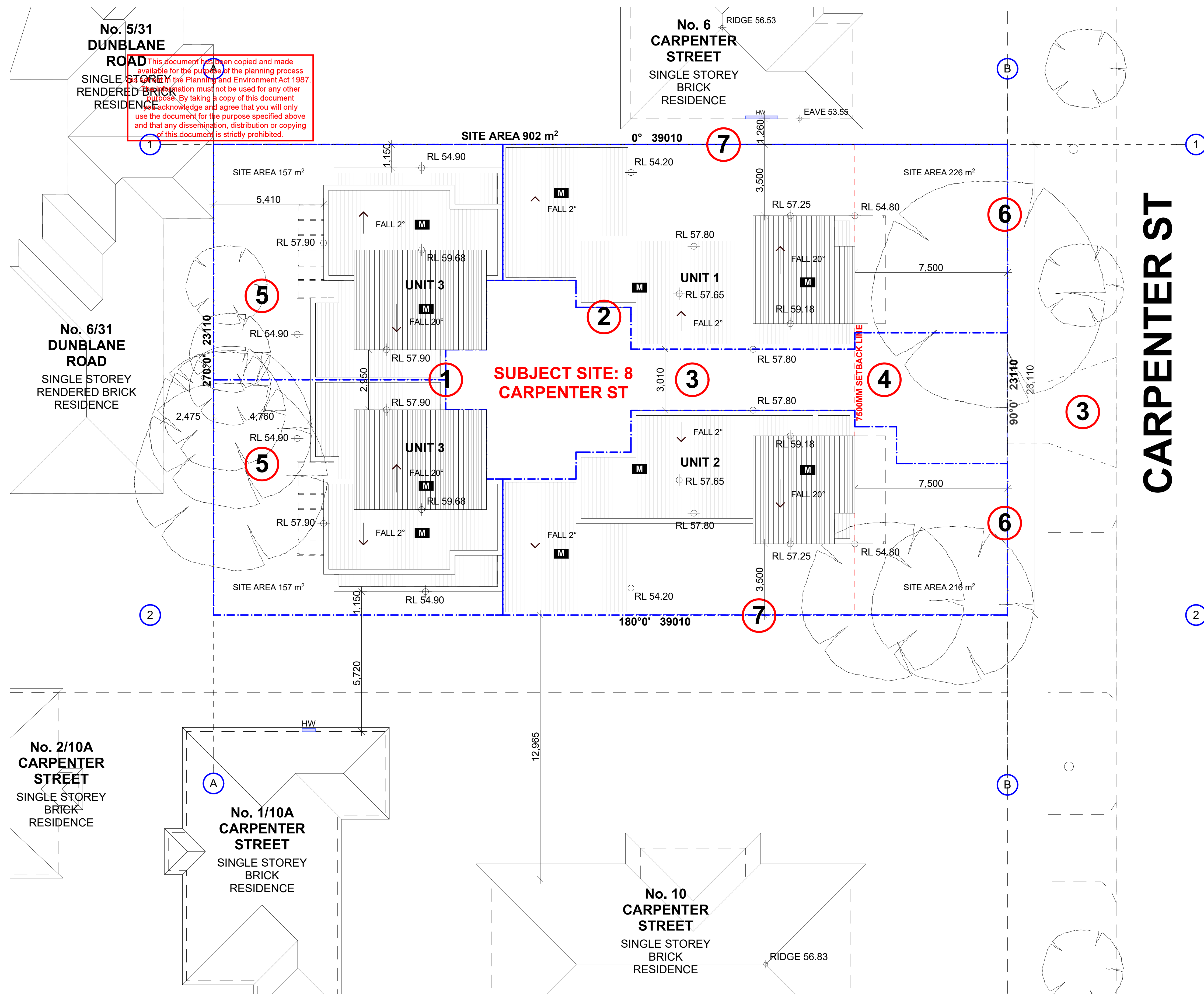
address:
8 CARPENTER ST
NOBLE PARK
VIC 3174









drawing title:
SITE ANALYSIS

job No.:
21087

date	scale	dwg. no.	rev.
19/03/2024	as shown on A1	TP02	-
drawn -		checked -	
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- ## LEGEND
- | | |
|---|--------------------------------------|
| T1 | Tree Number. Refer to Aborist Report |
|  | TPZ - Tree Protection Zone |
|  | SRZ - Structural Root Zone |
|  | Existing Tree to be retained |
|  | Existing Tree to be removed |

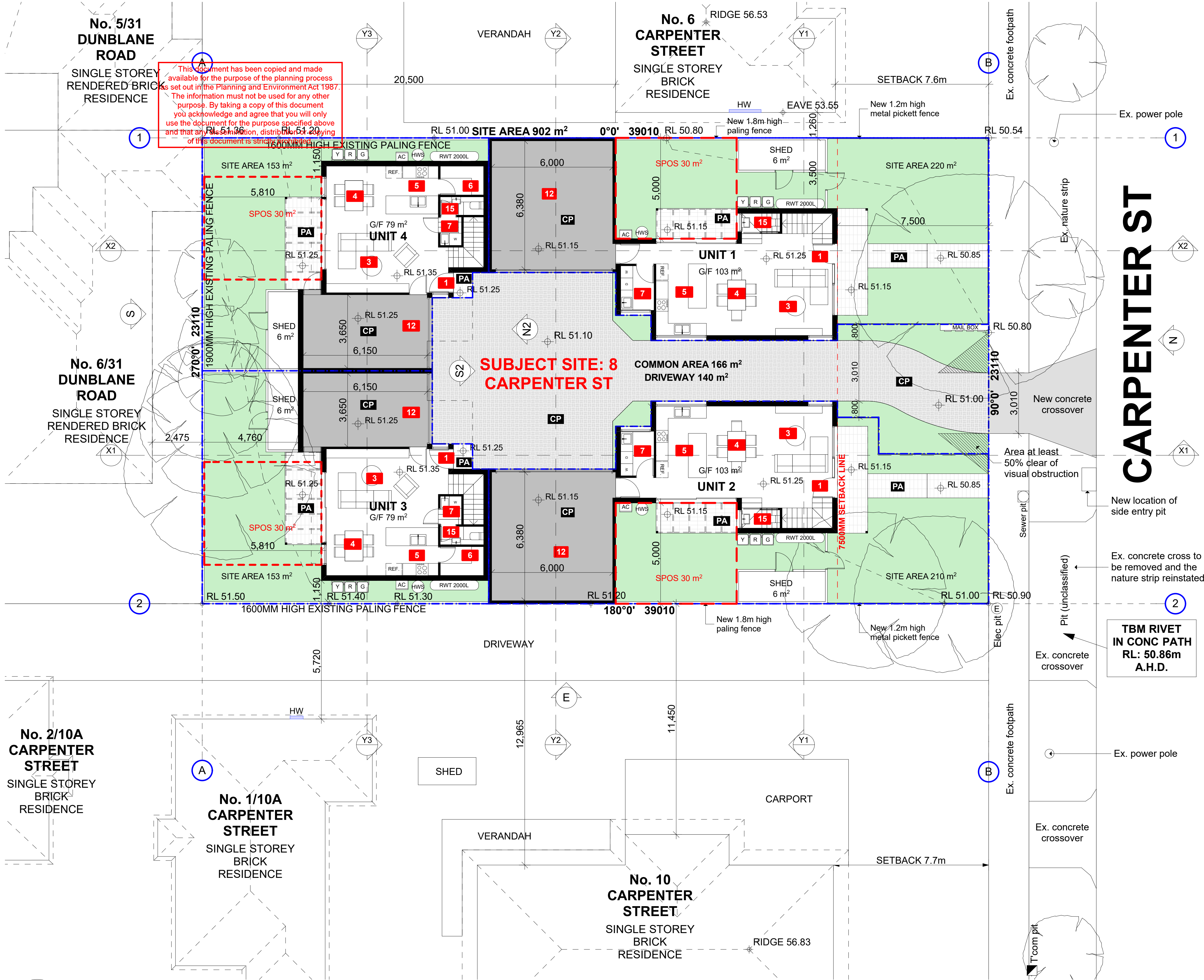
- ## LEGEND
- | | |
|---|---|
|  | Existing Building Works to be removed |
|  | Proposed Building Works |
| HW | Habitable Window |
| NH | Non-habitable Window |
| FW | Frosted Window |
| D | Door |
| BM | Bench Mark |
| TBM | Temporary Bench Mark |
| AHD | Australian Height Datum |
| RL | Reduced Levels in metres
to the Australian Height
Datum |

- ## DESIGN RESPONSE
- 1 Site subdivided into 4 lots
 - 2 Proposed 4x two storey units to suit neighbourhood character
 - 3 Proposed a new concrete crossing and new driveway with direct access to garages
 - 4 7.5m front street setback
 - 5 West/South facing outdoor space and living areas to maximise sunlight area for all units
 - 6 New 1.2m high metal pickett fence
 - 7 New 1.8m high paling fence

1 DESIGN RESPONSE

- 1:100

[illegible]



PLANNING SCHEME REQUIREMENT

GRZ1 - GENERAL RESIDENTIAL ZONE - SCHEDULE 1

MIN. FRONT SETBACK	7.5M
MIN.PRIVATE OPEN SPACE	50M²
OR	10M²
OR	10M²
MAX. BUILDING HEIGHT	9M
MAX. SITE COVERAGE	60%
MAX. FRONT FENCE HEIGHT	1.2M
MIN. PERMEABILITY	30%
MIN. GARDEN AREA	35%

SITE AREA ANALYSIS

TOTAL SITE AREA	902 m²					
	UNIT 1	UNIT 2	UNIT 3	UNIT 4	COMMON	TOTAL (m²)
SITE AREA	220	210	153	153	166	902
INTERNAL AREA						
Ground Floor	103	103	79	79		364
First Floor	70	70	61	61		262
TOTAL	173	173	140	140		626
EXTERNAL AREA						
Private Open Space	117	107	74	74	26	398
Driveway					140	140
Pavement	7	7	1	1		16
Building Area	103	103	79	79		364
Site Coverage	47%	49%	52%	52%		40%
Permeable Area	117	107	74	74	166	538
Permeable Area %	53%	51%	48%	48%	100%	60%
Impermeable Area	103	103	79	79	140	364
Impermeable Area %	47%	49%	52%	52%	16%	40%
Garden Area	109	99	71	71	21	371
Garden Area %	50%	47%	46%	46%		41%

LEGEND

- 1 Entrance
- 2 Hallway
- 3 Living Room
- 4 Dining
- 5 Kitchen
- 6 Pantry
- 7 Laundry
- 8 Bedroom
- 9 Ensuite
- 10 Bathroom
- 11 Balcony
- 12 Garage
- 13 Storage
- 14 Walk-in Robe
- 15 Toilet
- 16 Lounge/Study

LEGEND - EXTERNAL FINISHES

- SW Scyon Cladding - White or similar
- B Brick - Light yellow
- R Rendered - white or similar
- M Metal Roof - White or similar
- G1 Framed Glass - Clear Glass
- G2 Framed Glass - Frosted Glass
- CP Permeable Interlocking Paving
- PA Permeable Pavers

LEGEND

- Existing Building Works to be removed
- Proposed Building Works
- HW Habitable Window
- NH Non-habitable Window
- FW Frosted Window
- D Door
- BM Bench Mark
- TBM Temporary Bench Mark
- AHD Australian Height Datum
- RL Reduced Levels in metres to the Australian Height Datum

PROPOSED GROUND FLOOR PLAN
1:100

amendments:

DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS

project:
PROPOSED FIVE THREE-STOREY
DWELLINGS
for:

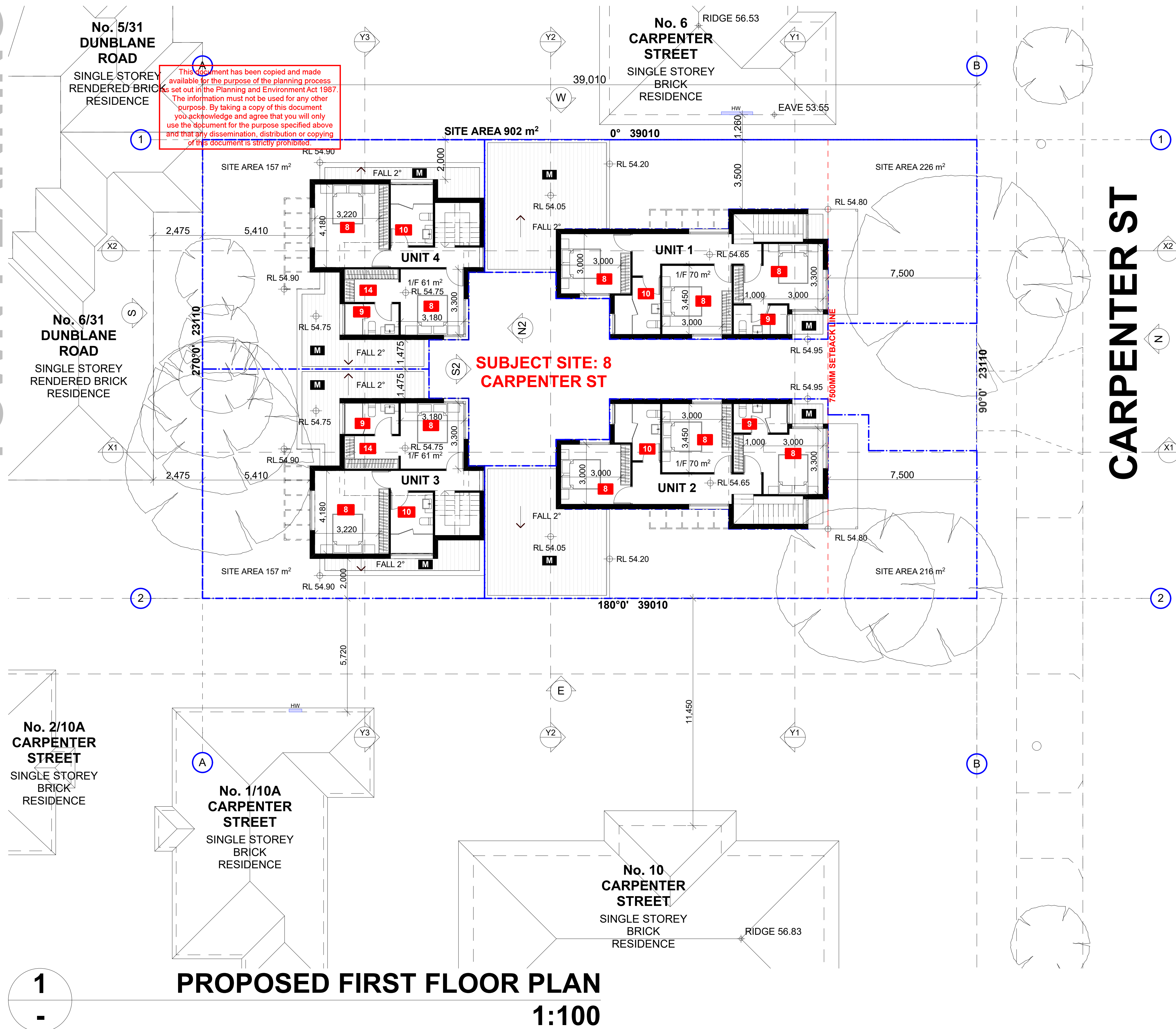
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8 CARPENTER ST
NOBLE PARK
VIC 3174

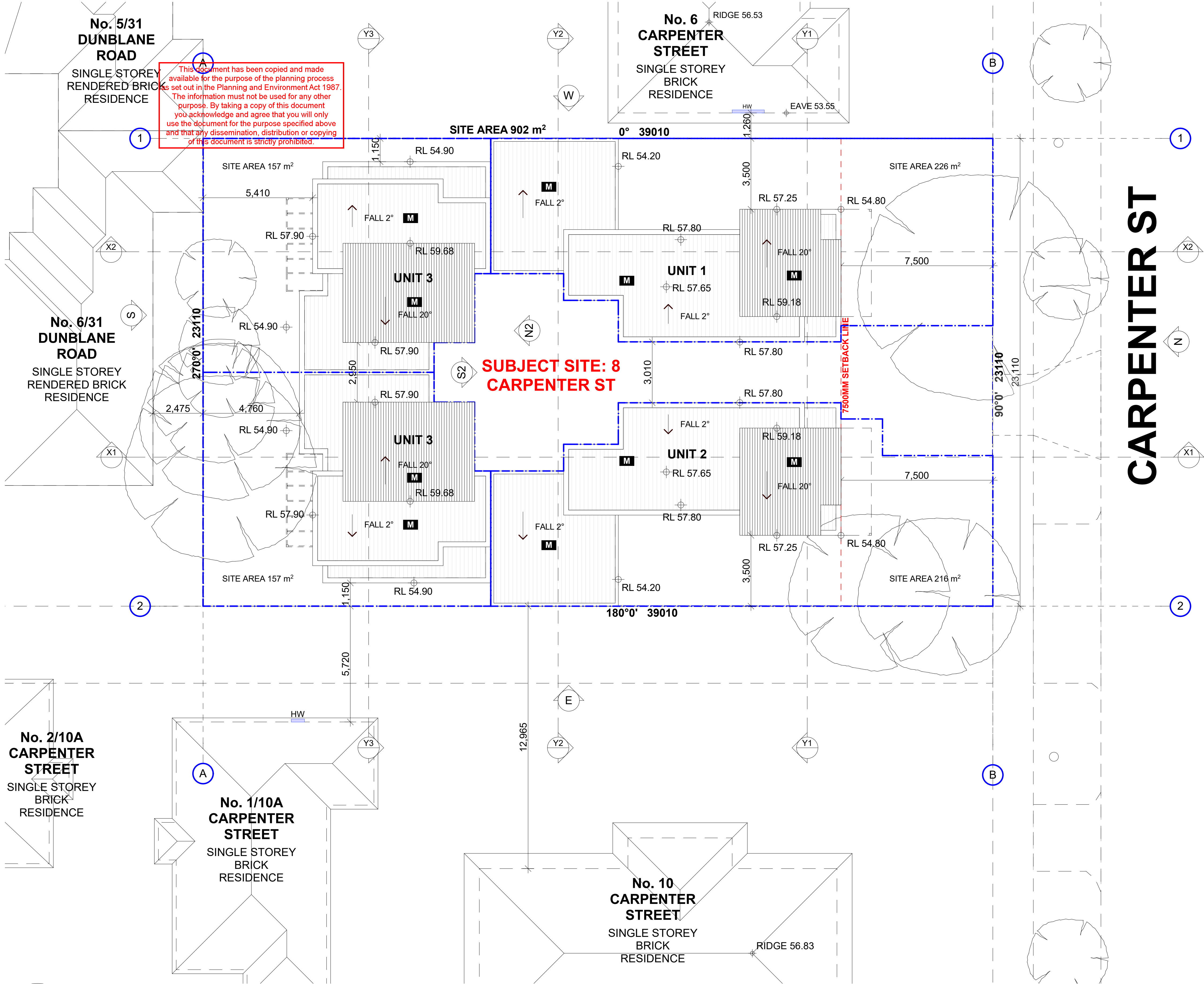


drawing title:
PROPOSED GROUND FLOOR PLAN

job No.:
21087

date	scale	dwg. no.	rev.
19/03/2024	as shown on A1	TP04	-
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[illegible]



PROPOSED ROOF PLAN
1:100

LEGEND

- 1 Entrance
- 2 Hallway
- 3 Living Room
- 4 Dining
- 5 Kitchen
- 6 Pantry
- 7 Laundry
- 8 Bedroom
- 9 Ensuite
- 10 Bathroom
- 11 Balcony
- 12 Garage
- 13 Storage
- 14 Walk-in Robe
- 15 Toilet
- 16 Lounge/Study

LEGEND - EXTERNAL FINISHES

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- G1 Framed Glass - Clear Glass
- G2 Framed Glass - Frosted Glass
- CP Permeable Interlocking Paving
- PA Permeable Pavers

LEGEND

- Existing Building Works to be removed
- Proposed Building Works
- HW Habitable Window
- NH Non-habitable Window
- FW Frosted Window
- D Door
- BM Bench Mark
- TBM Temporary Bench Mark
- AHD Australian Height Datum
- RL Reduced Levels in metres to the Australian Height Datum

amendments:					
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS

project:
PROPOSED FIVE THREE-STOREY DWELLINGS
for:
-

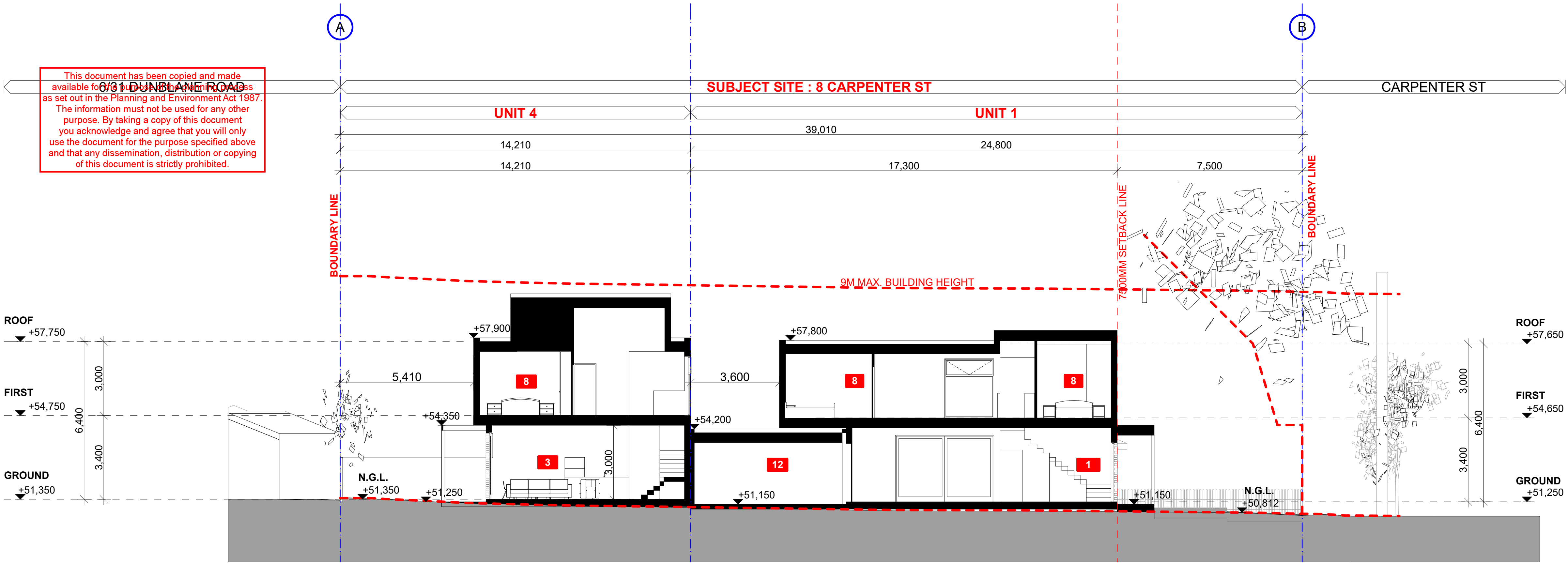
address:
8 CARPENTER ST
NOBLE PARK
VIC 3174

rchitecture
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Suite 1211, 401 Docklands Drive
Docklands VIC 3008 Australia
t 03 9600 2152
e studio@kxarchitecture.com
w www.kxarchitecture.com

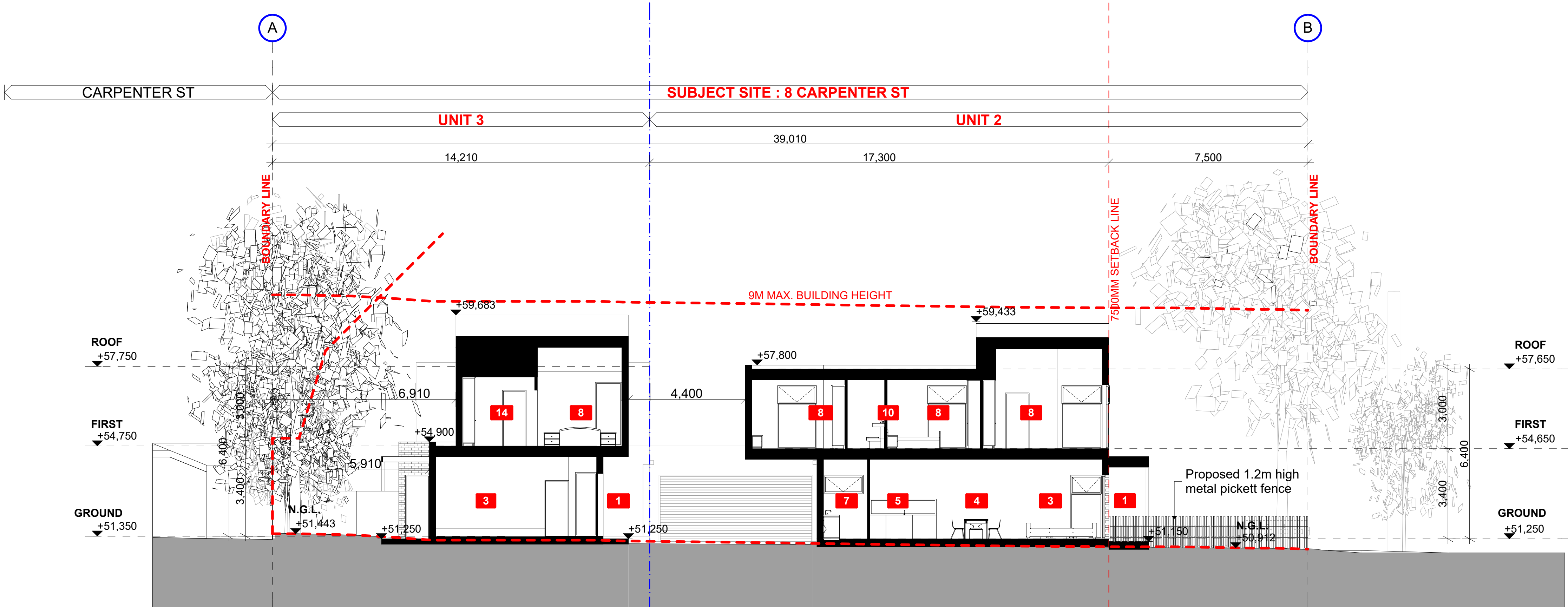
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job No.:
21087

date	scale	dwg. no.	rev.
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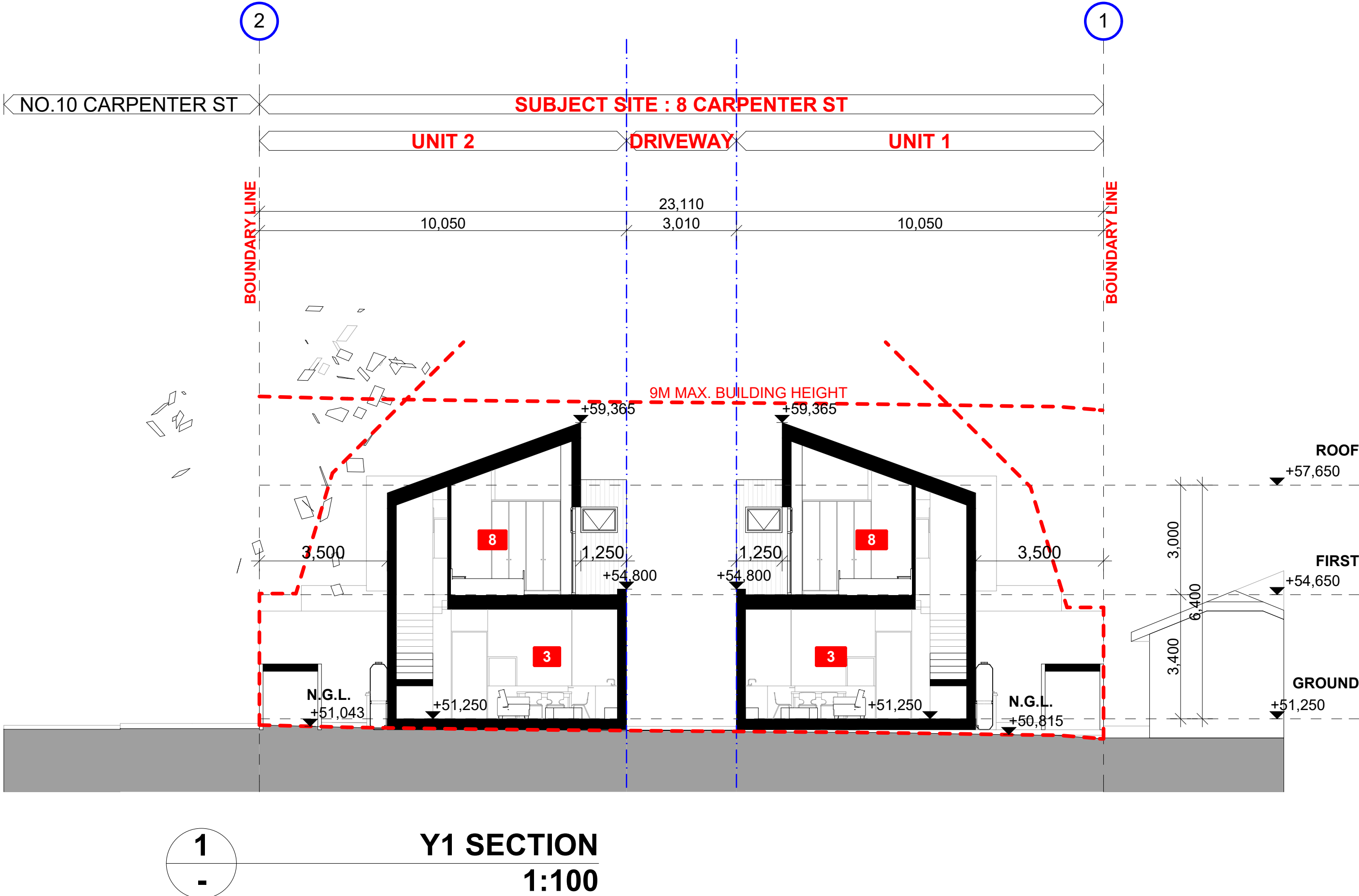
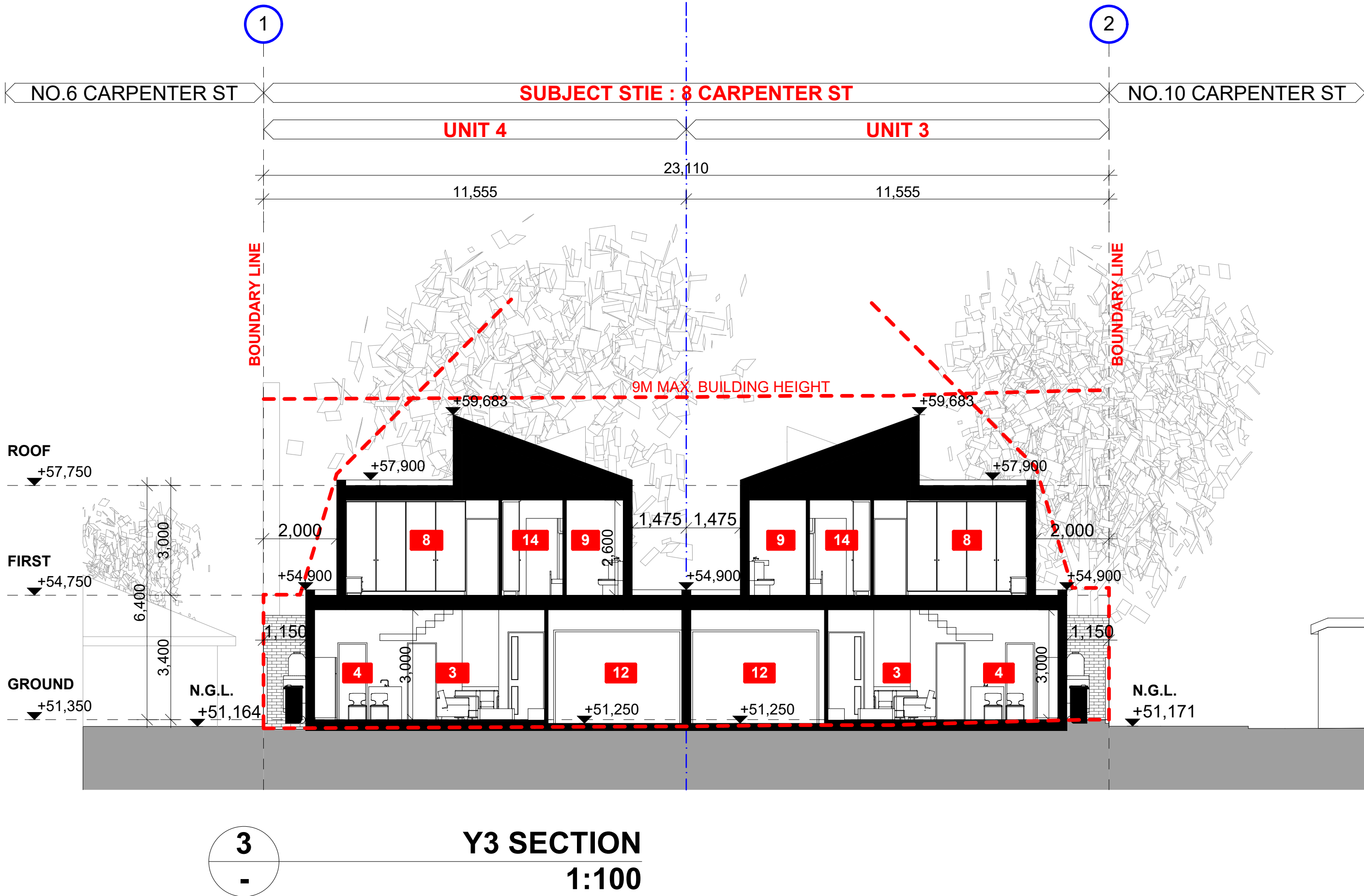
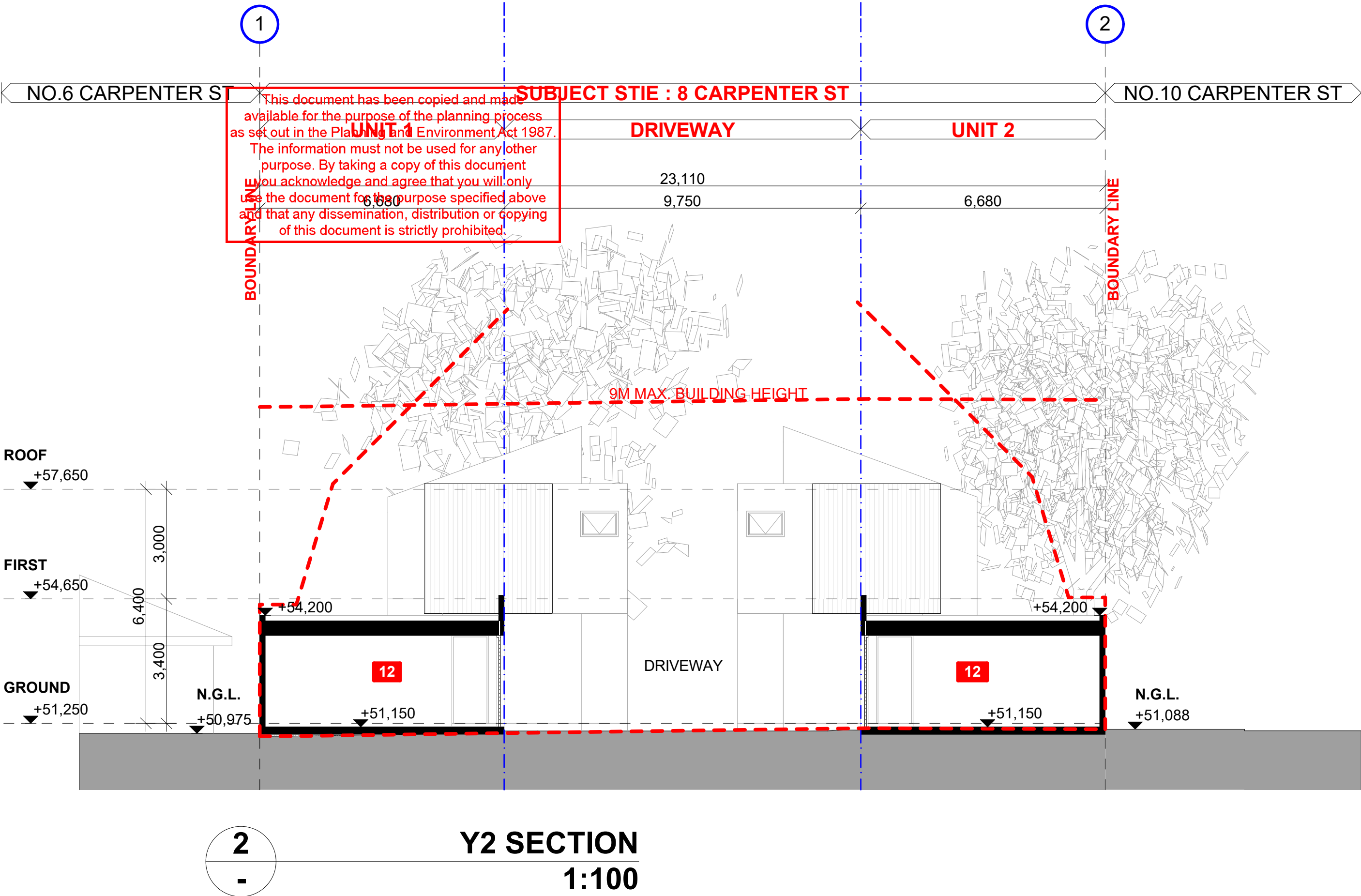
2
-
X2 SECTION
1:100



1
-
X1 SECTION
1:100

- LEGEND**
- 1 Entrance
 - 2 Hallway
 - 3 Living Room
 - 4 Dining
 - 5 Kitchen
 - 6 Pantry
 - 7 Laundry
 - 8 Bedroom
 - 9 Ensuite
 - 10 Bathroom
 - 11 Balcony
 - 12 Garage
 - 13 Storage
 - 14 Walk-in Robe
 - 15 Toilet
 - 16 Lounge/Study

amendments:						project: PROPOSED FIVE THREE-STOREY DWELLINGS for: -	address: 8 CARPENTER ST NOBLE PARK VIC 3174	 K x Architecture Pty Ltd Suite 1211, 401 Docklands Drive Docklands VIC 3008 Australia t 03 9600 2152 e studio@kxaarchitecture.com w www.kxaarchitecture.com	drawing title: PROPOSED SECTIONS X1 & X2 job No.: 21087	date	scale	dwg. no.	rev.
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS					19/03/2024	as shown on A1	TP07	-
										drawn	-	checked	-
										verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect. c copyright of architect			



LEGEND

- 1 Entrance
- 2 Hallway
- 3 Living Room
- 4 Dining
- 5 Kitchen
- 6 Pantry
- 7 Laundry
- 8 Bedroom
- 9 Ensuite
- 10 Bathroom
- 11 Balcony
- 12 Garage
- 13 Storage
- 14 Walk-in Robe
- 15 Toilet
- 16 Lounge/Study

amendments:					
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS

project:
PROPOSED FIVE THREE-STOREY
DWELLINGS
for:
-

address:
8 CARPENTER ST
NOBLE PARK
VIC 3174



drawing title:
PROPOSED SECTIONS Y1 & Y2 & Y3

job No.:
21087

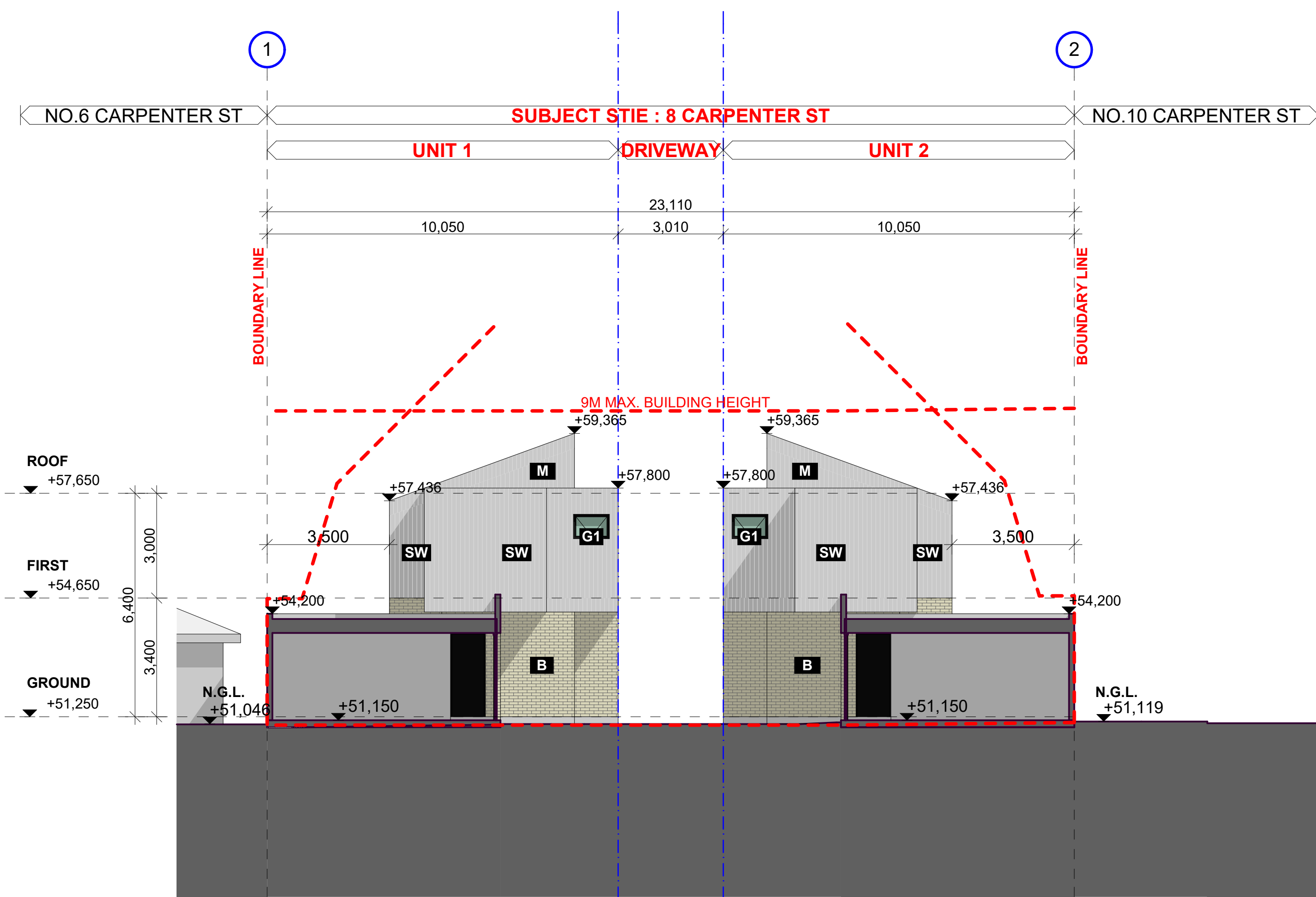
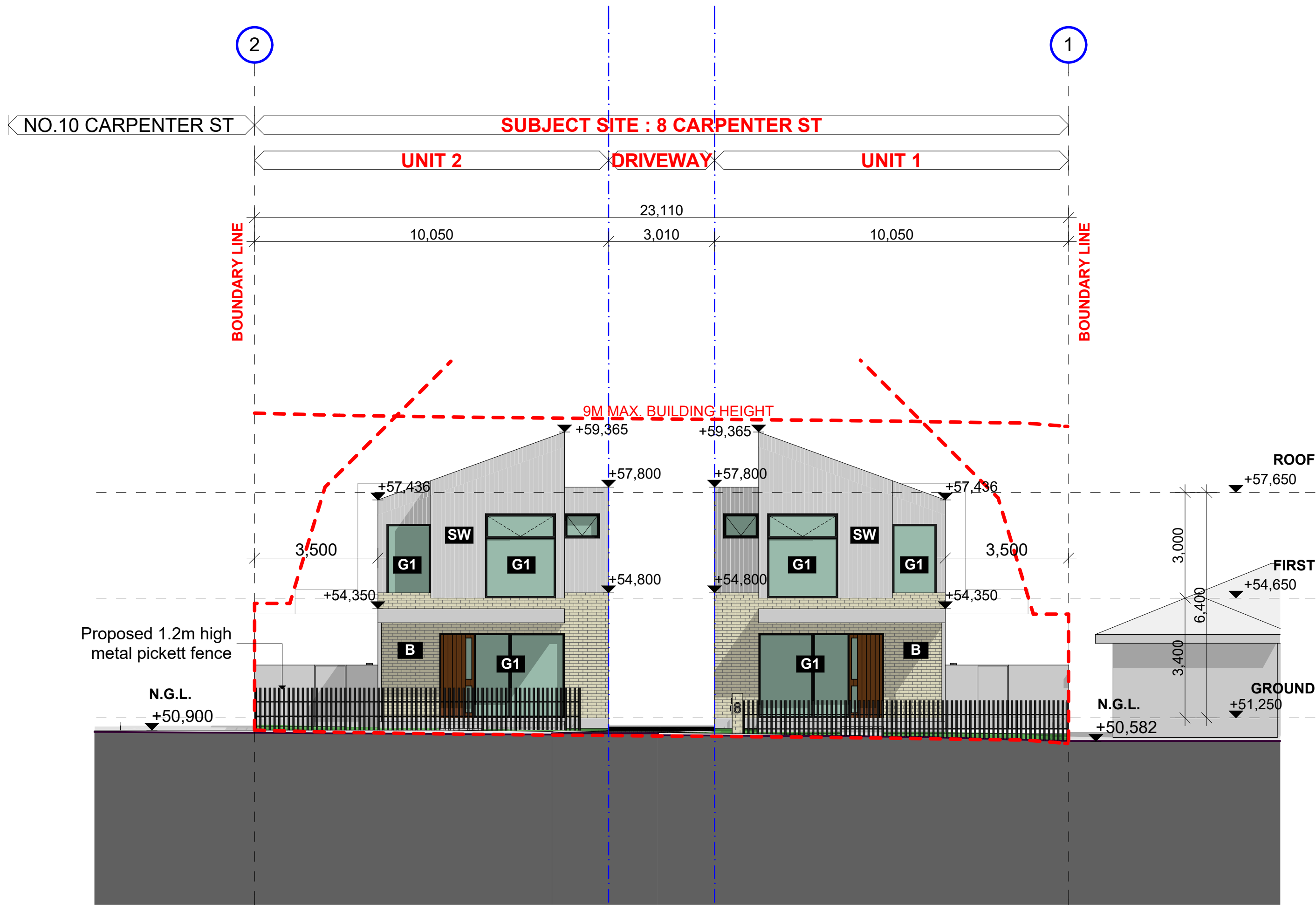
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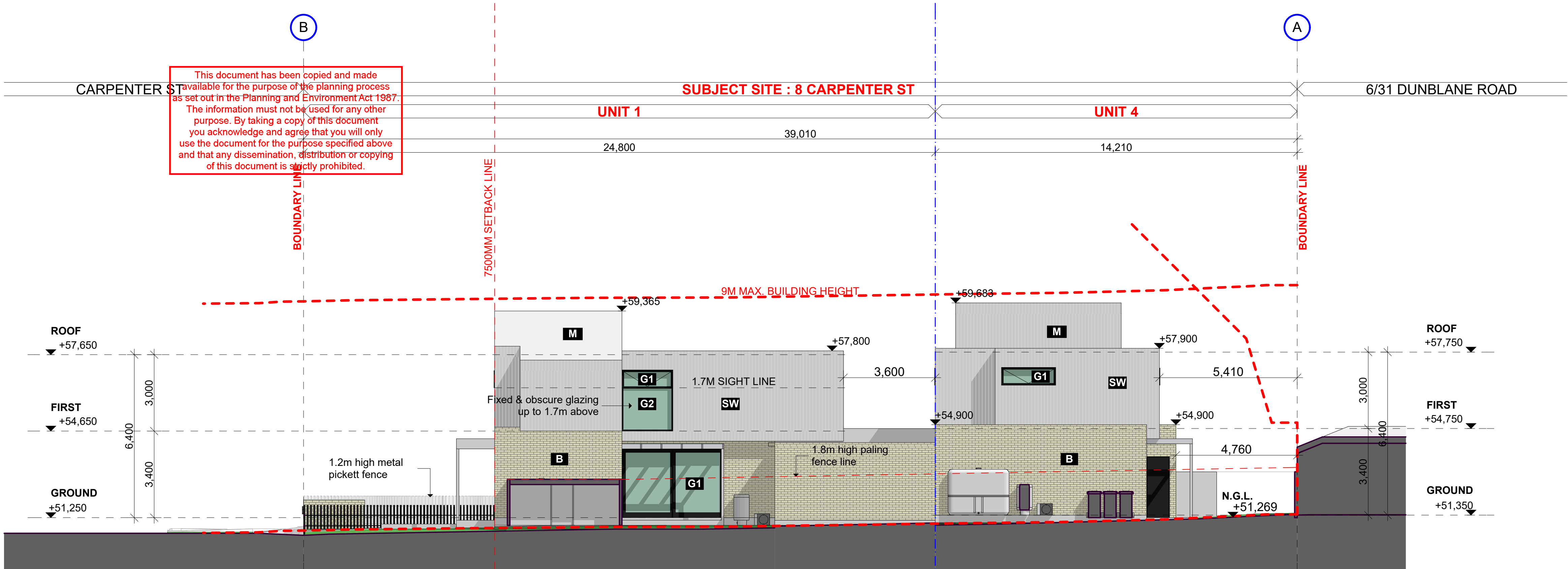


LEGEND - EXTERNAL FINISHES

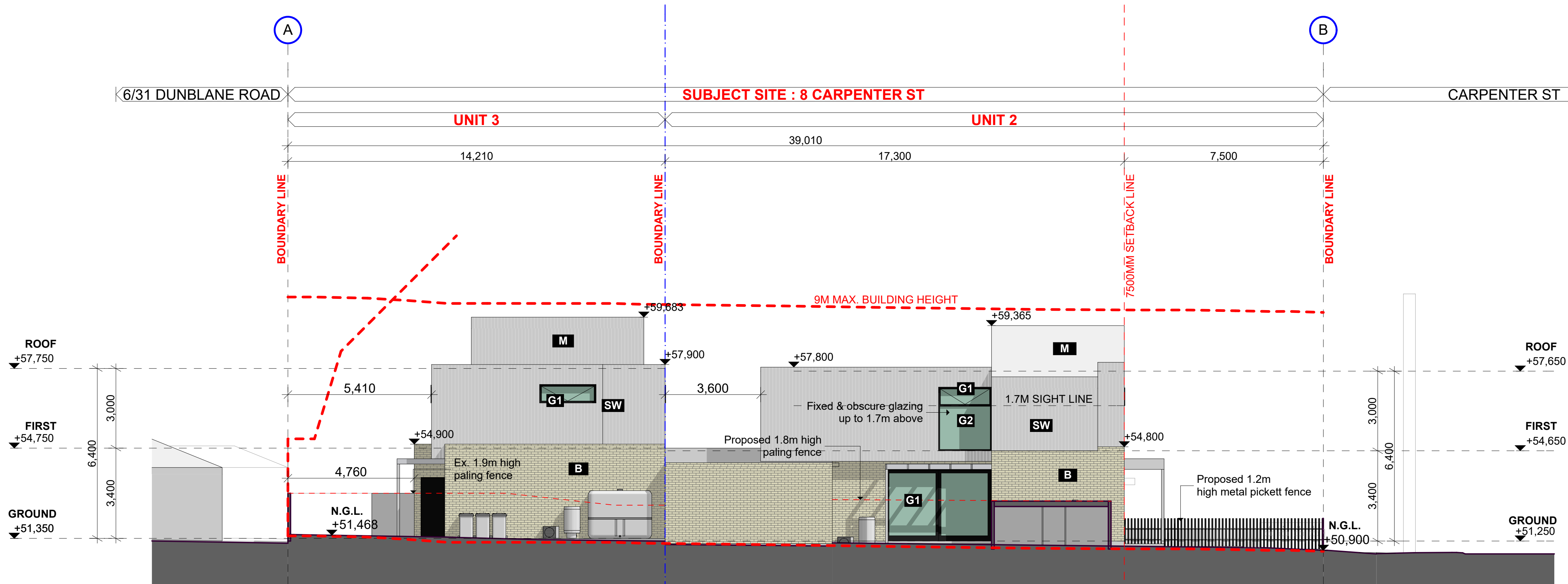
- SW** Scyon Cladding - White or similar
- B** Brick - Light yellow
- R** Rendered - white or similar
- M** Metal Roof - White or similar
- G1** Framed Glass - Clear Glass
- G2** Framed Glass - Frosted Glass
- CP** Permeable Interlocking Paving
- PA** Permeable Pavers



a m e n d m e n t s :						p r o j e c t :						a d d r e s s :						d r a w i n g t i t l e :						d a t e											
DATE REV AMENDMENTS						DATE REV AMENDMENTS						PROPOSED FIVE THREE-STOREY DWELLINGS f o r :						8 CARPENTER ST NOBLE PARK VIC 3174						as shown on A1 TP09						19/03/2024					
												</																							



2
-
WEST ELEVATION
1:100



1
-
EAST ELEVATION
1:100



LEGEND - EXTERNAL FINISHES

- SW Scyon Cladding - White or similar
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a m e n d m e n t s :							
DATE	REV	AMENDMENTS		DATE	REV	AMENDMENTS	

project:
PROPOSED FIVE THREE-STOREY DWELLINGS
for:
-

address:
8 CARPENTER ST
NOBLE PARK
VIC 3174



drawing title:
PROPOSED ELEVATIONS

job No.:
21087

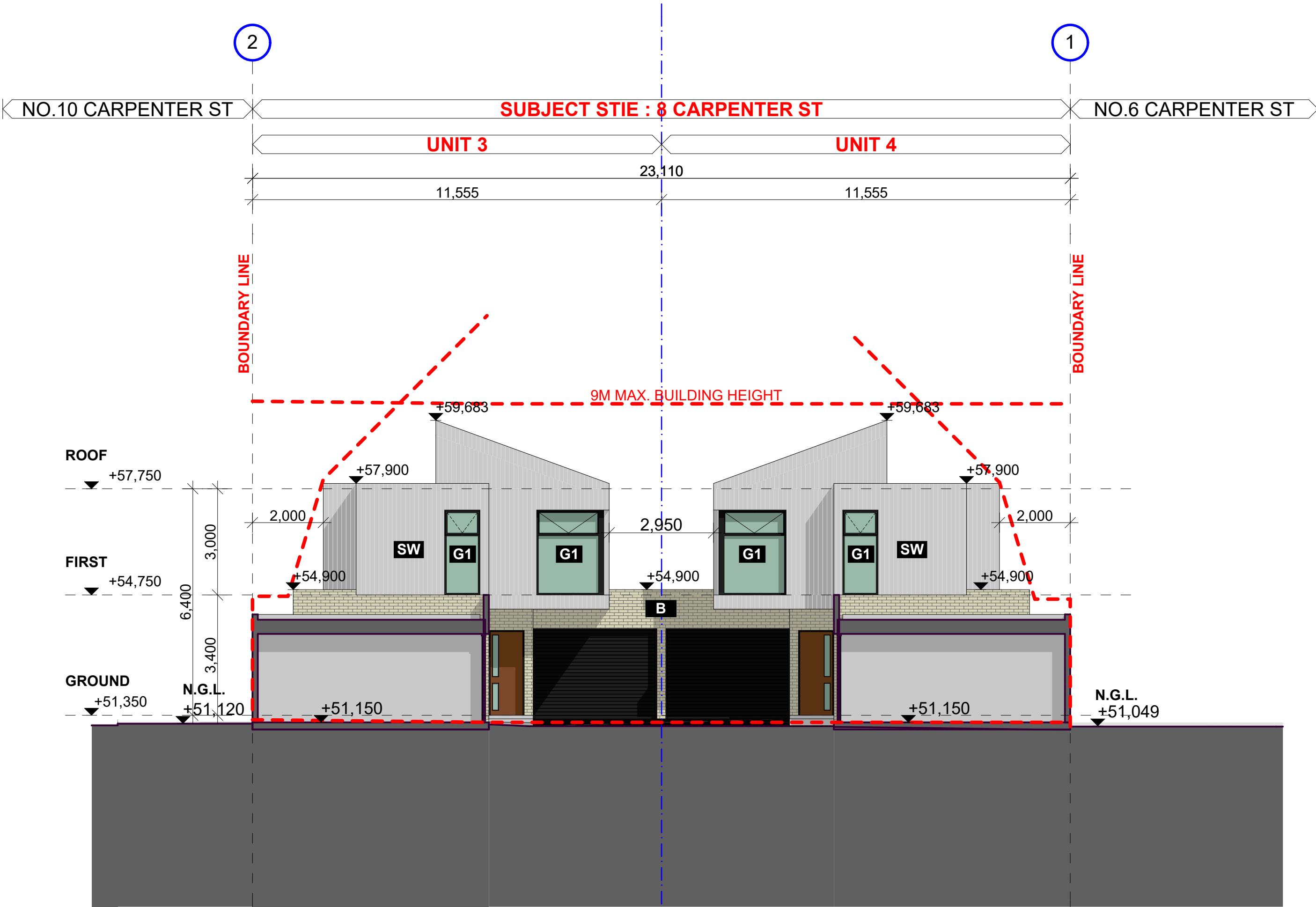
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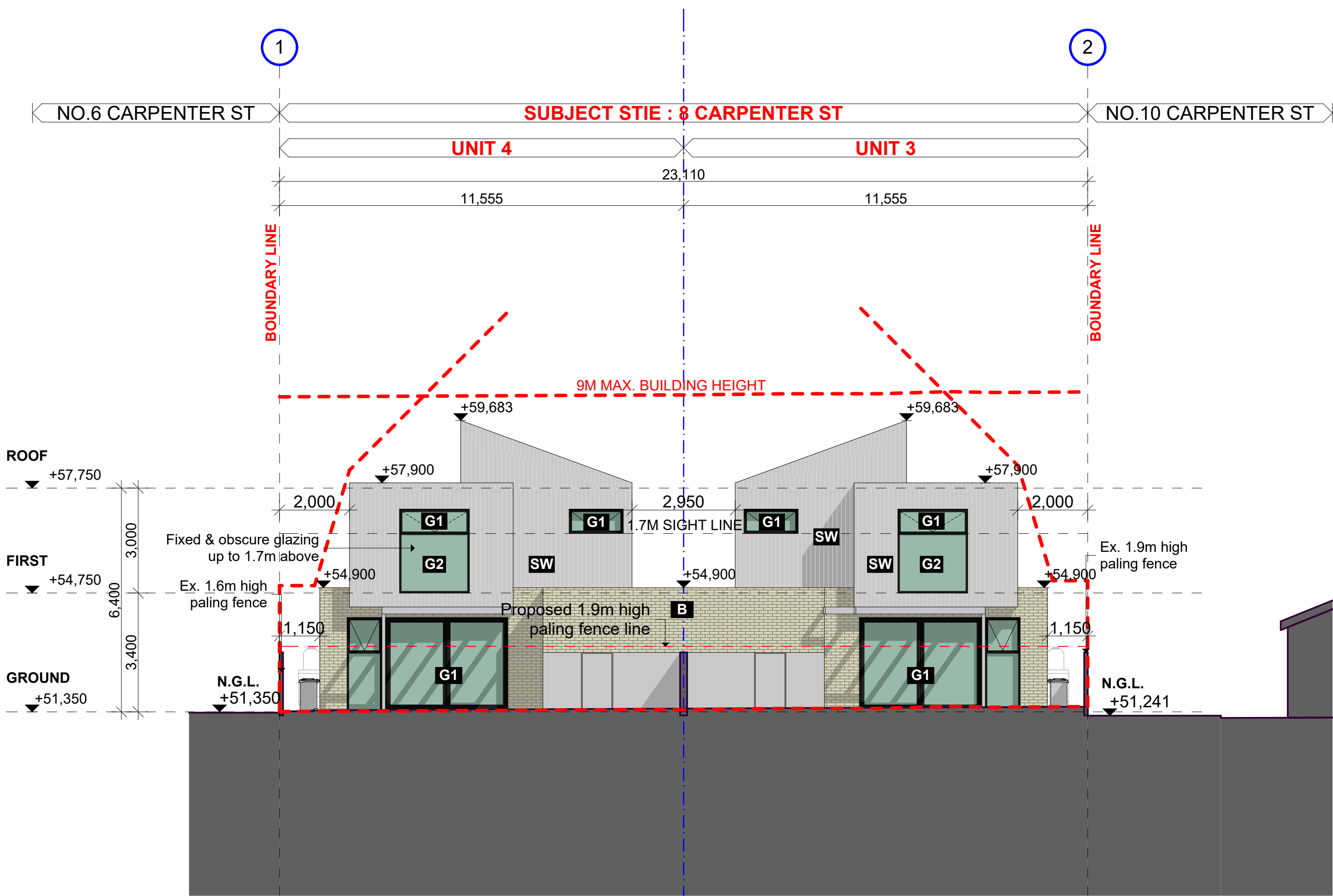


LEGEND - EXTERNAL FINISHES

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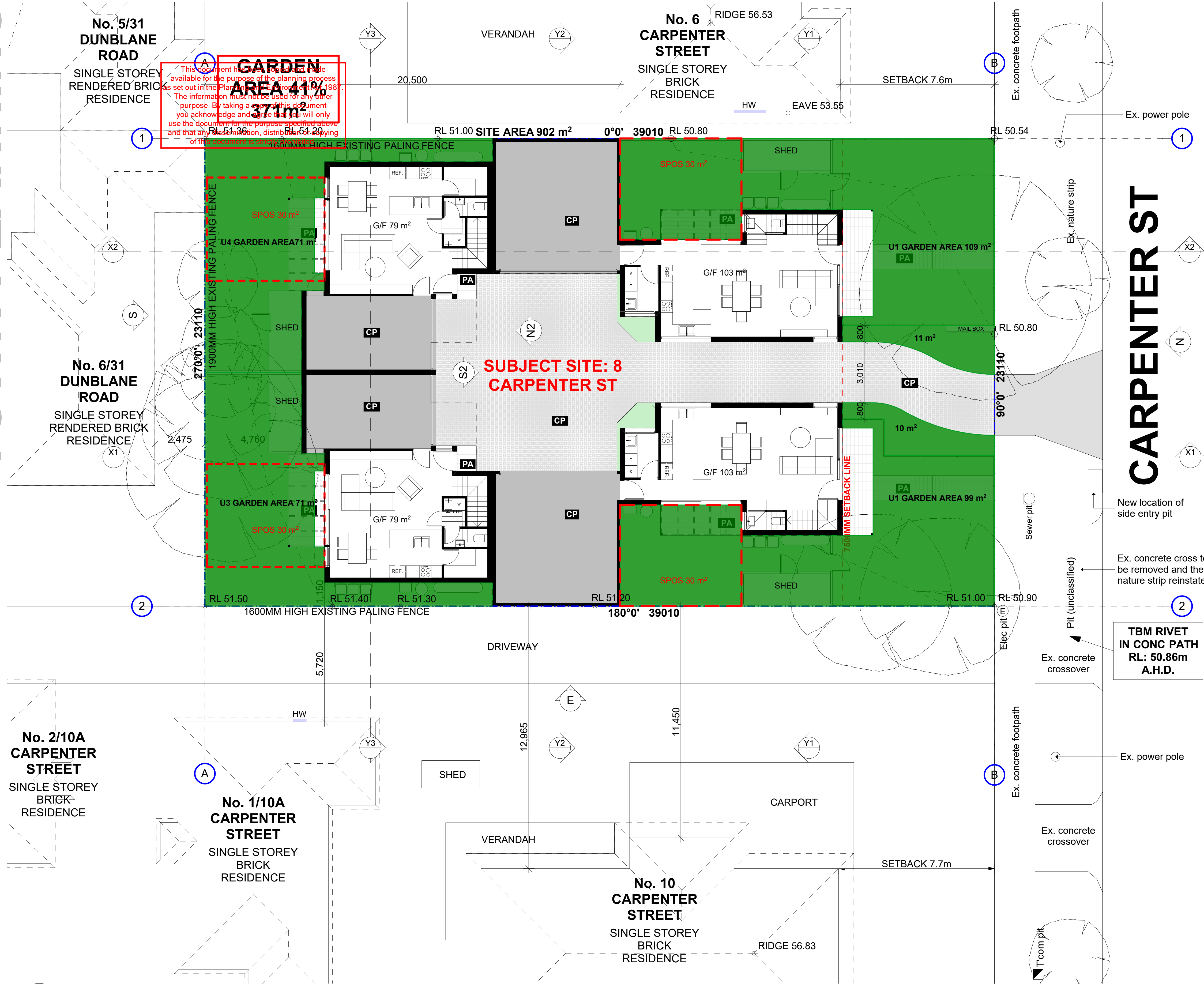


1
-
N2 ELEVATION
1:100



2
-
SOUTH ELEVATION
1:100

a m e n d m e n t s :						p r o j e c t : PROPOSED FIVE THREE-STOREY DWELLINGS f o r : -	a d d r e s s : 8 CARPENTER ST NOBLE PARK VIC 3174	 rchitecture <small>ARCHITECTURE · INTERIOR DESIGN · VISUALISATION</small> K x Architecture Pty Ltd Suite 1211, 401 Docklands Drive Docklands VIC 3008 Australia t 03 9600 2152 e studio@kxarchitecture.com w www.kxarchitecture.com	d r a w i n g t i t l e : PROPOSED ELEVATIONS			d a t e 19/03/2024	s c a l e as shown on A1	d w g n o . TP11	r e v . -
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												verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect.			
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GARDEN AREA DIAGRAM
1:100

LEGEND

- 1 Entrance
- 2 Hallway
- 3 Living Room
- 4 Dining
- 5 Kitchen
- 6 Pantry
- 7 Laundry
- 8 Bedroom
- 9 Ensuite
- 10 Bathroom
- 11 Balcony
- 12 Garage
- 13 Storage
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- 16 Lounge/Study

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LEGEND

- Existing Building Works to be removed
- Proposed Building Works
- HW Habitable Window
- NH Non-habitable Window
- FW Frosted Window
- D Door
- BM Bench Mark
- TBM Temporary Bench Mark
- AHD Australian Height Datum
- RL Reduced Levels in metres to the Australian Height Datum

amendments:

DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS

project:
PROPOSED FIVE THREE-STOREY
DWELLINGS
for:

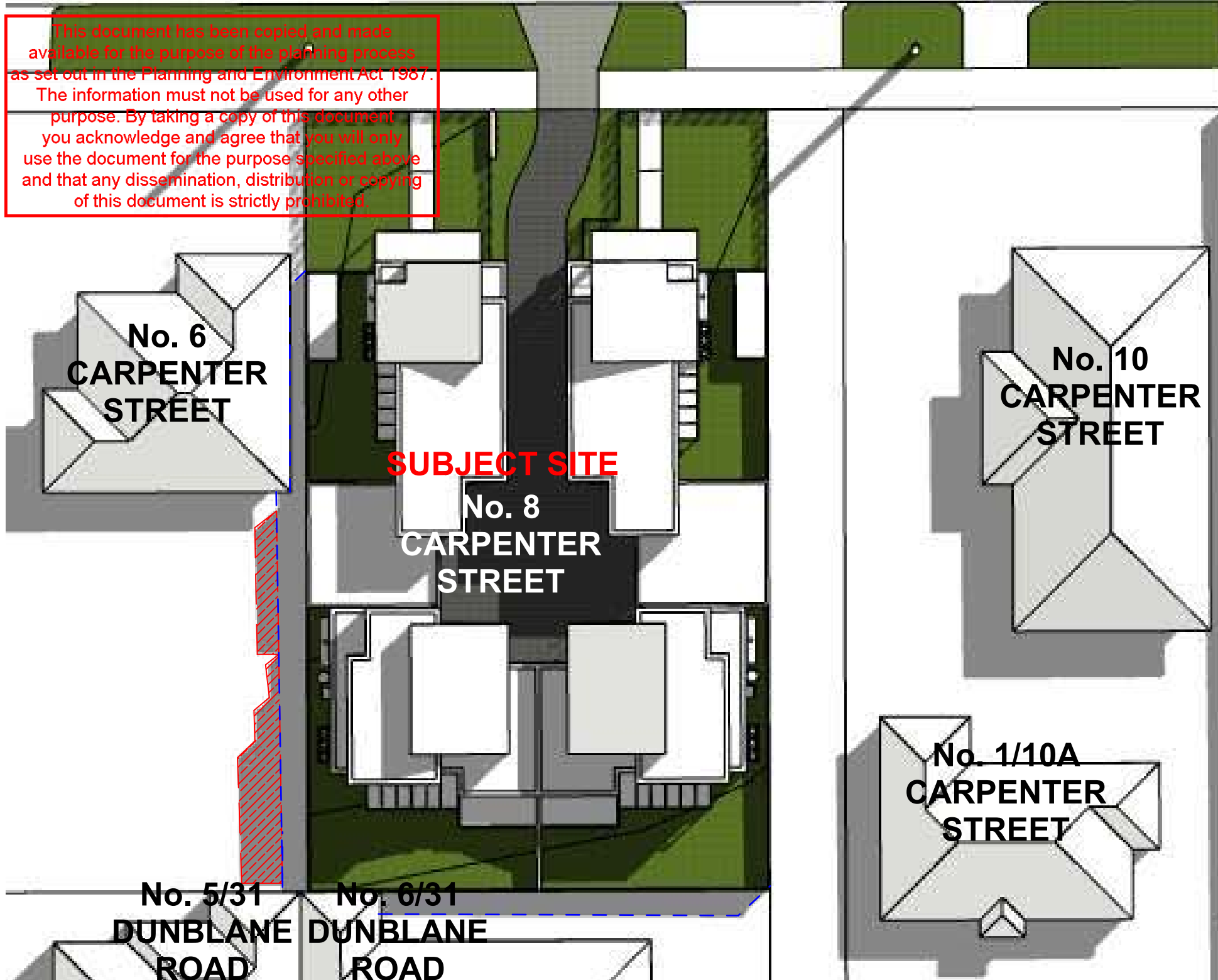
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8 CARPENTER ST
NOBLE PARK
VIC 3174



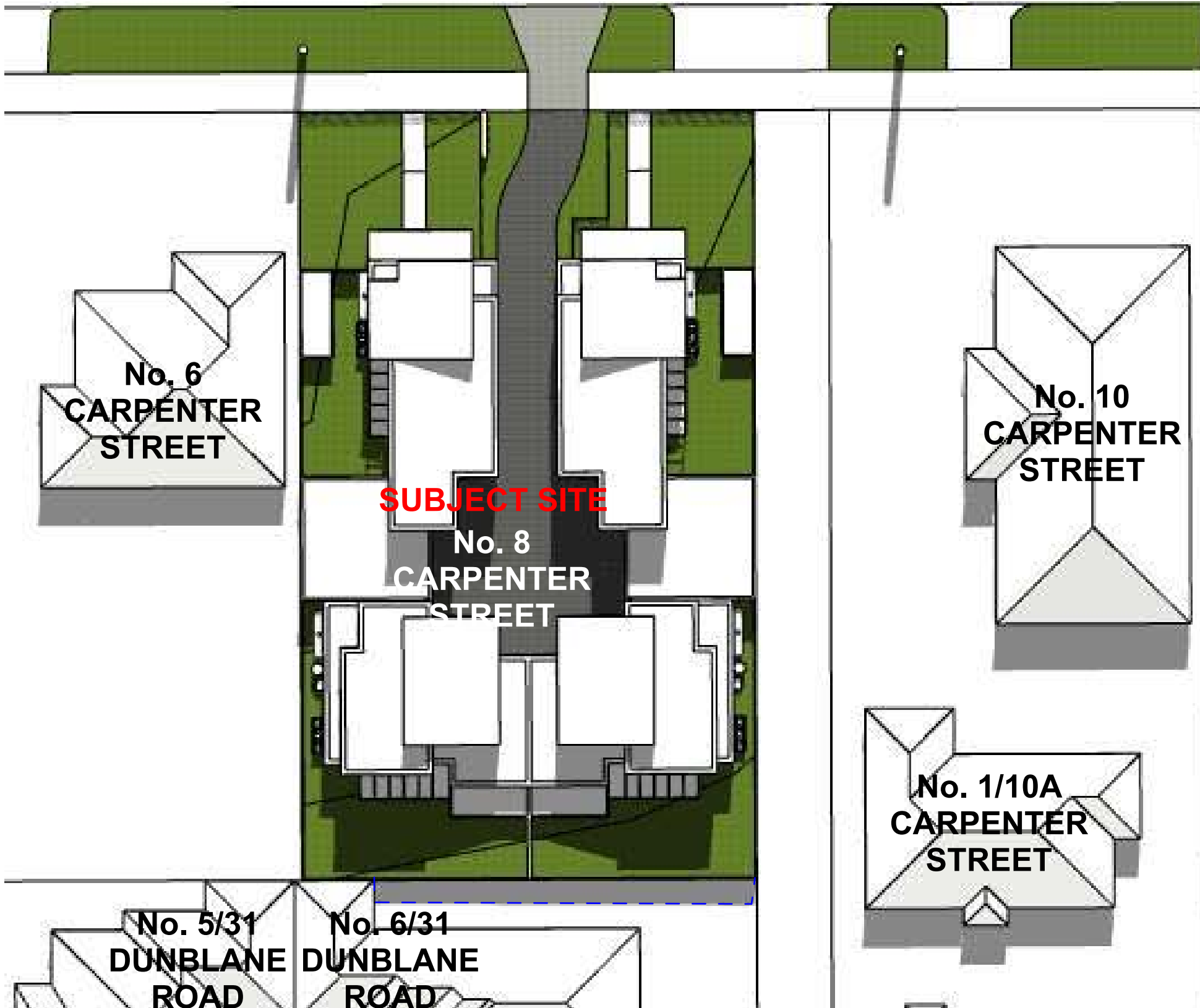
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GARDEN AREA DIAGRAM

job No.:
21087

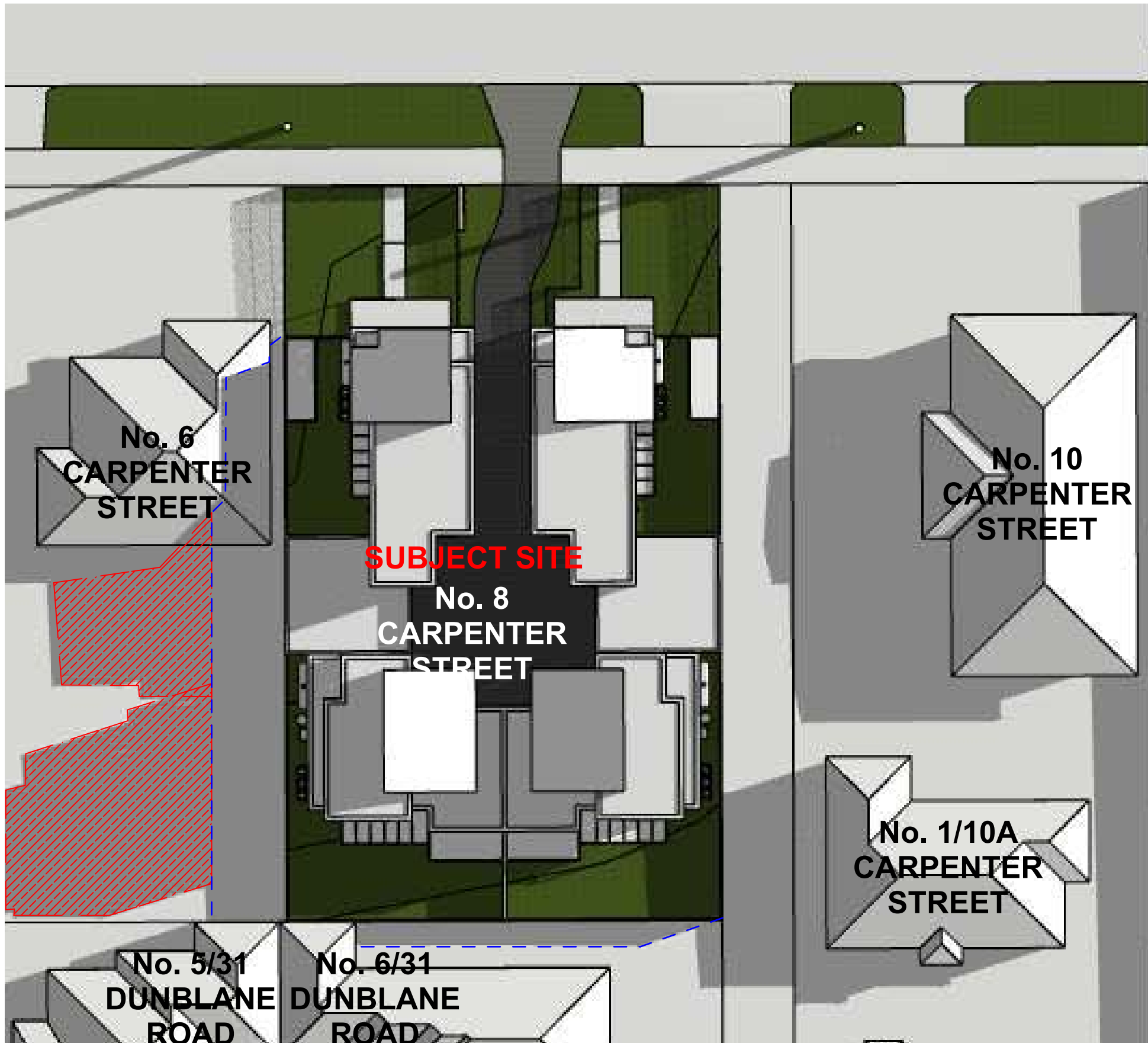
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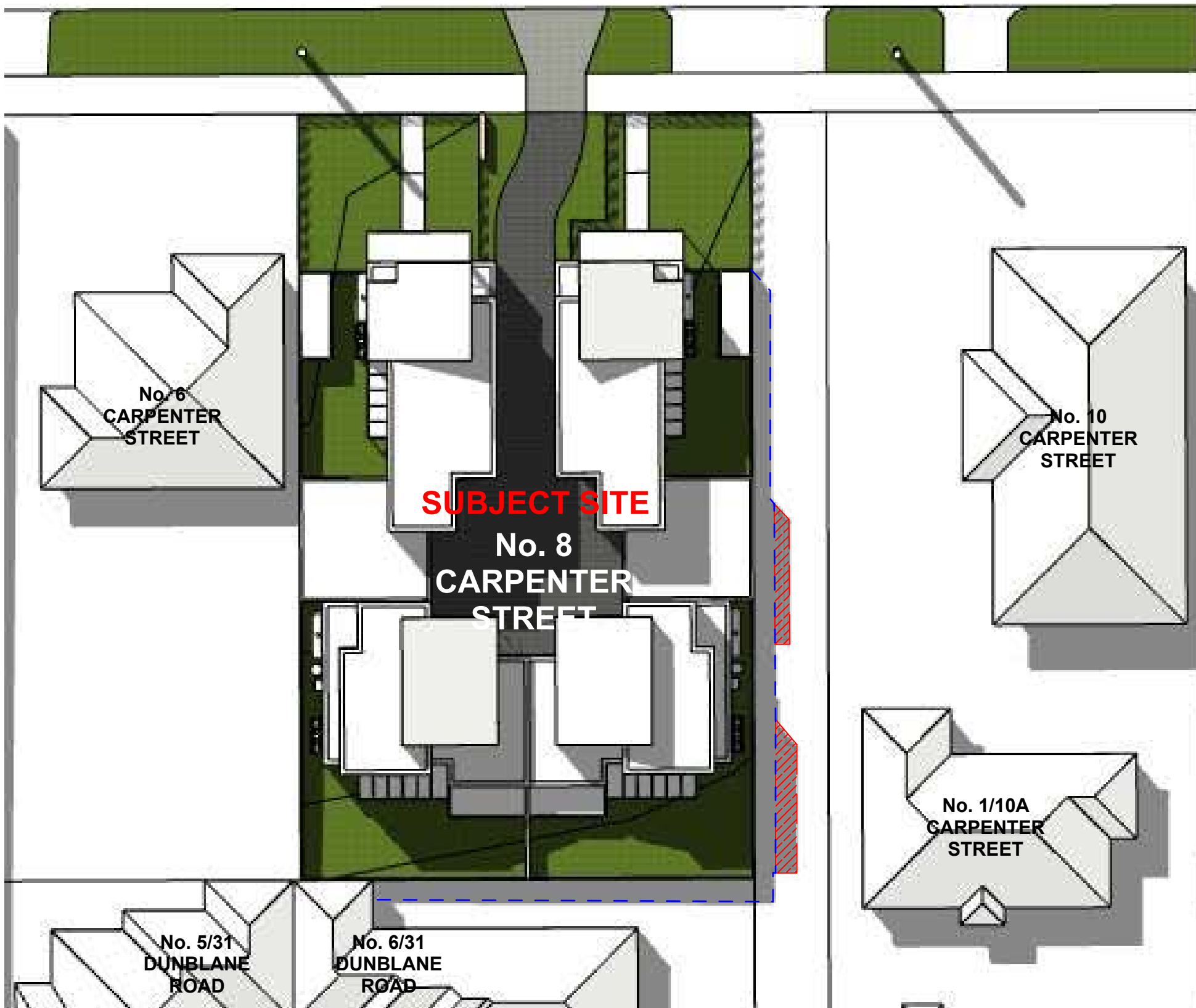
2 SHADOW DIAGRAM 11AM



3 SHADOW DIAGRAM 1PM



1 SHADOW DIAGRAM 9AM



4 SHADOW DIAGRAM 3PM

LEGEND

--- Existing fence shadow line

Proposed building works overshadow area

amendments:					
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS

project:
PROPOSED FIVE THREE-STOREY DWELLINGS
for:
-

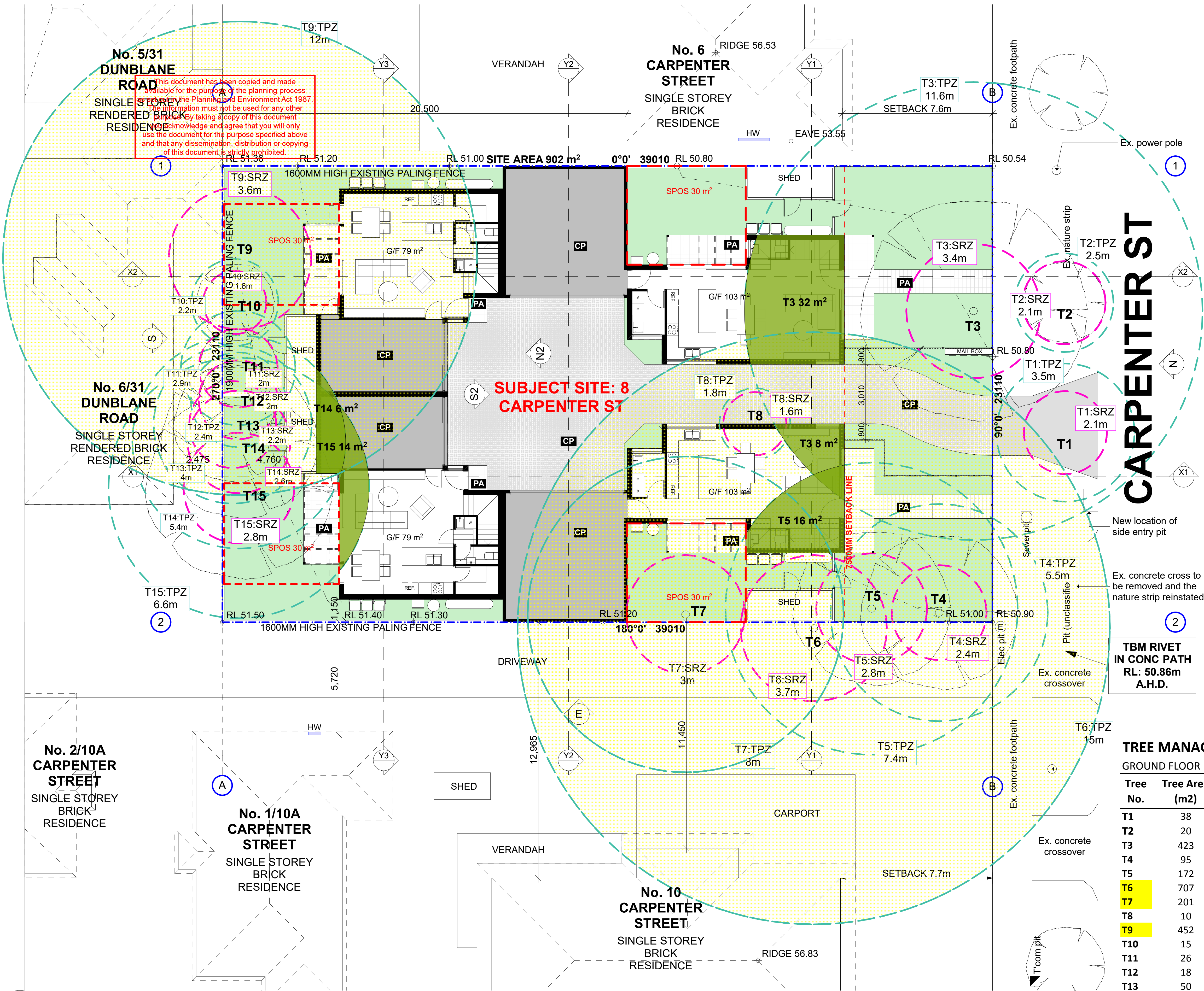
address:
8 CARPENTER ST
NOBLE PARK
VIC 3174

rchitecture
K x Architecture Pty Ltd
Suite 1211, 401 Docklands Drive
Docklands VIC 3008 Australia
t 03 9600 2152
e studio@kxarchitecture.com
w www.kxarchitecture.com

drawing title:
SHADOW DIAGRAMS - 22 SEP 9AM-3PM

job No.:
21087

date	scale	dwg. no.	rev.
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drawn		checked	
verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect.			
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- LEGEND**
- T1 Tree Number. Refer to Arborist Report
 - TPZ - Tree Protection Zone
 - SRZ - Structural Root Zone
 - Existing Tree to be retained
 - Existing Tree to be removed



- LEGEND - EXTERNAL FINISHES**
- SW Scyon Cladding - White or similar
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TREE MANAGEMENT

GROUND FLOOR					
Tree No.	Tree Area (m2)	DBH(m)	Encroachment Area (m2)	Encroachment Percentage (%)	Remarks
T1	38	0.3	0	0%	To be removed
T2	20	0.2	0	0%	
T3	423	1.0	40	9%	
T4	95	0.5	0	0%	
T5	172	0.6	16	9%	
T6	707	1.3	94	13%	To be removed
T7	201	0.7	59	29%	To be removed
T8	10	0.2	5	49%	To be removed
T9	452	1.0	92	20%	To be removed
T10	15	0.2	0	0%	
T11	26	0.2	0	0%	
T12	18	0.2	0	0%	
T13	50	0.3	0	0%	
T14	92	0.5	6	7%	
T15	137	0.6	14	10%	

Diameter at Breast Height (DBH): 1.4m above ground level

TREE MANAGEMENT - GROUND FLOOR
1:100

amendments:

DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS

project:
PROPOSED FIVE THREE-STOREY DWELLINGS
for:

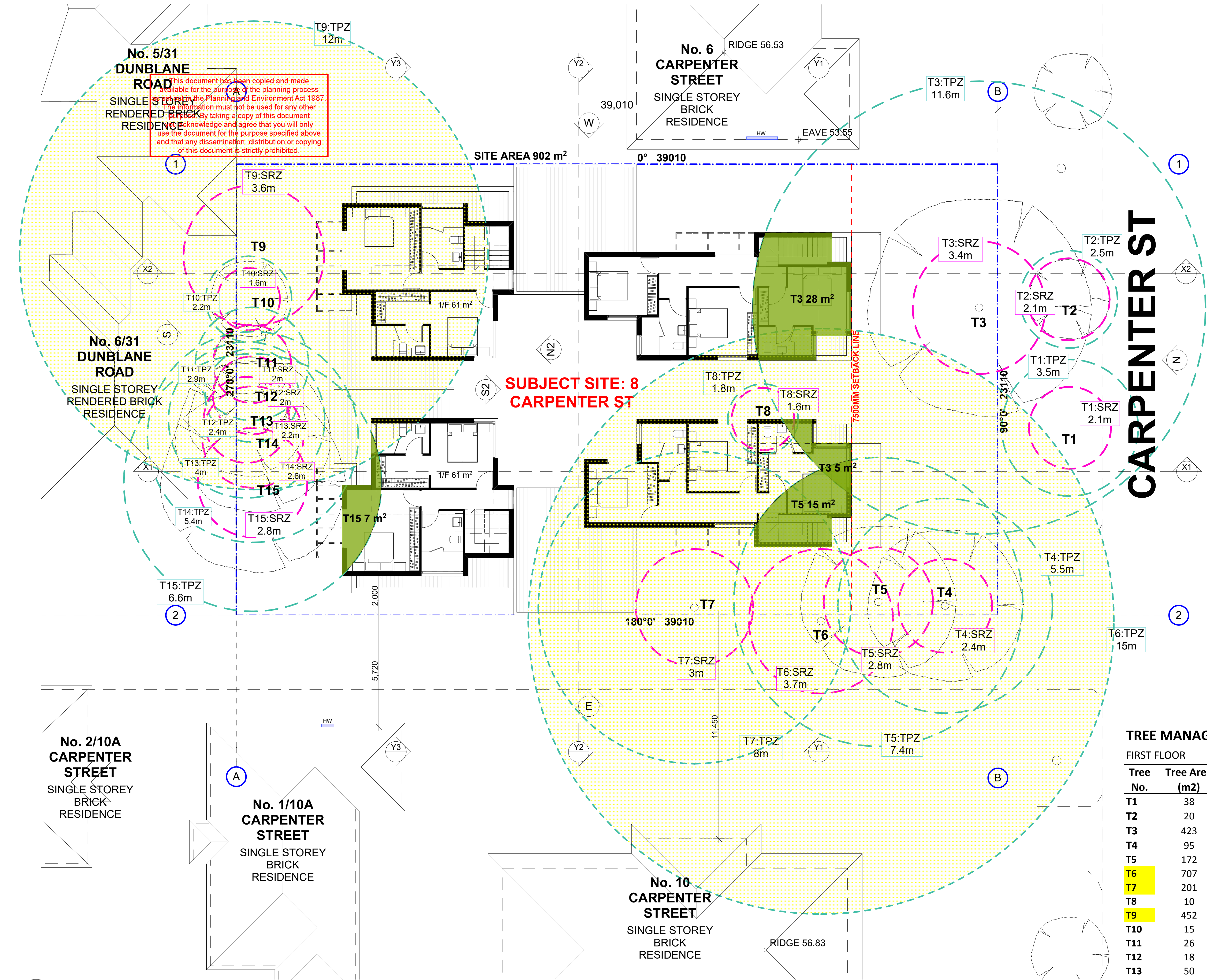
address:
8 CARPENTER ST
NOBLE PARK
VIC 3174



drawing title:
TREE MANAGEMENT - GROUND FLOOR

job No.:
21087

date	scale	dwg. no.	rev.
19/03/2024	as shown on A1	TP14	-
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- LEGEND**
- T1 Tree Number. Refer to Arborist Report
 - TPZ - Tree Protection Zone
 - SRZ - Structural Root Zone
 - Existing Tree to be retained
 - Existing Tree to be removed



- LEGEND - EXTERNAL FINISHES**
- SW Scyon Cladding - White or similar
 - B Brick - Light yellow
 - R Rendered - white or similar
 - M Metal Roof - White or similar
 - G1 Framed Glass - Clear Glass
 - G2 Framed Glass - Frosted Glass
 - CP Permeable Interlocking Paving
 - PA Permeable Pavers

TREE MANAGEMENT

FIRST FLOOR					
Tree No.	Tree Area (m2)	DBH(m)	Encroachment Area (m2)	Encroachment Percentage (%)	Remarks
T1	38	0.3	0	0%	To be removed
T2	20	0.2	0	0%	
T3	423	1.0	33	8%	
T4	95	0.5	0	0%	
T5	172	0.6	15	9%	
T6	707	1.3	64	9%	To be removed
T7	201	0.7	34	17%	To be removed
T8	10	0.2	5	49%	To be removed
T9	452	1.0	46	10%	To be removed
T10	15	0.2	0	0%	
T11	26	0.2	0	0%	
T12	18	0.2	0	0%	
T13	50	0.3	0	0%	
T14	92	0.5	0	0%	
T15	137	0.6	7	5%	

Diameter at Breast Height (DBH): 1.4m above ground level

TREE MANAGEMENT - FIRST FLOOR
1:100

amendments:

DATE	REV	AMENDMENTS

project:
PROPOSED FIVE THREE-STOREY DWELLINGS for:

address:
8 CARPENTER ST
NOBLE PARK
VIC 3174

rchitecture
K x Architecture Pty Ltd
Suite 1211, 401 Docklands Drive
Docklands VIC 3008 Australia
t 03 9600 2152
e studio@kxarchitecture.com
w www.kxarchitecture.com

drawing title:
TREE MANAGEMENT - FIRST FLOOR

job No.:
21087

date	scale	dwg. no.	rev.
19/03/2024	as shown on A1	TP15	-

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EXTERNAL PERSPECTIVE- STREET VIEW 1

a m e n d m e n t s :						p r o j e c t : PROPOSED FIVE THREE-STOREY DWELLINGS f o r : -	a d d r e s s : 8 CARPENTER ST NOBLE PARK VIC 3174	<div><div>kxa</div><div>rchitecture</div><div><small>ARCHITECTURE · INTERIOR DESIGN · VISUALISATION</small></div></div> <div>K x Architecture Pty Ltd Suite 1211, 401 Docklands Drive Docklands VIC 3008 Australia t 03 9600 2152 e studio@kxarchitecture.com w www.kxarchitecture.com</div>	d r a w i n g t i t l e : PROPOSED PERSPECTIVE		d a t e 19/03/2024	s c a l e as shown on A1	d w g n o . TP17	r e v . -
D A T E	REV	A M E N D M E N T S	D A T E	REV	A M E N D M E N T S				j o b N o. : 21087		drawn - checked - verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect. c copyright of architect			

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EXTERNAL PERSPECTIVE- STREET VIEW 2

a m e n d m e n t s :						p r o j e c t : PROPOSED FIVE THREE-STOREY DWELLINGS f o r : -	a d d r e s s : 8 CARPENTER ST NOBLE PARK VIC 3174	<div><div>kxarchitecture</div><div>K x Architecture Pty Ltd Suite 1211, 401 Docklands Drive Docklands VIC 3008 Australia t 03 9600 2152 e studio@kxarchitecture.com w www.kxarchitecture.com</div></div>	d r a w i n g t i t l e : PROPOSED PERSPECTIVE		date scale dwg. no. rev.			
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EXTERNAL PERSPECTIVE- STREET VIEW 3

a m e n d m e n t s :						p r o j e c t : PROPOSED FIVE THREE-STOREY DWELLINGS f o r : -	a d d r e s s : 8 CARPENTER ST NOBLE PARK VIC 3174	<div><div><div></div><div></div><div></div></div><div>kxarchitecture</div><div><div>K x Architecture Pty Ltd Suite 1211, 401 Docklands Drive Docklands VIC 3008 Australia t 03 9600 2152 e studio@kxarchitecture.com w www.kxarchitecture.com</div></div></div>	drawing title: PROPOSED PERSPECTIVE			date 19/03/2024	scale	dwg. no.	rev.
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									verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect.						
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EXTERNAL PERSPECTIVE

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