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### DRAWING SCHEDULE

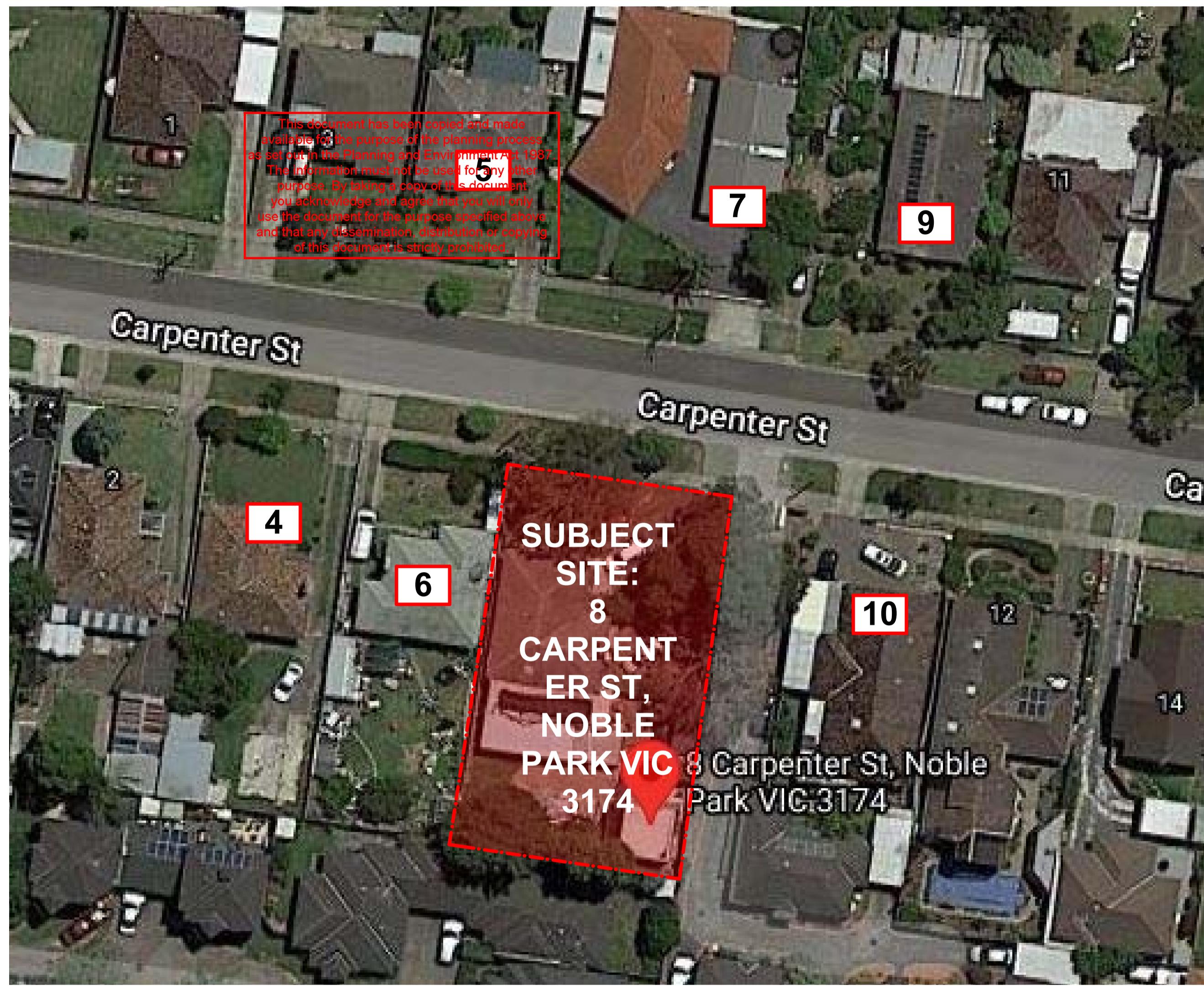
Drawing No.	Drawing Description	Scale
TP00	COVER	N.T.S
TP01	SITE LOCATION	N.T.S
TP02	SITE ANALYSIS	1:100
TP03	DESIGN RESPONSE	1:100
TP04	PROPOSED GROUND FLOOR PLAN	1:100
TP05	PROPOSED FIRST FLOOR PLAN	1:100
TP06	PROPOSED ROOF PLAN	1:100
TP07	PROPOSED SECTIONS X1 & X2	1:100
TP08	PROPOSED SECTIONS Y1 & Y2 & Y3	1:100
TP09	PROPOSED ELEVATIONS	1:100
TP10	PROPOSED ELEVATIONS	1:100
TP11	PROPOSED ELEVATIONS	1:100
TP12	GARDEN AREA DIAGRAM	1:100
TP13	SHADOW DIAGRAMS - 22 SEPT 9AM-3PM	N.T.S
TP14	TREE MANAGEMENT - GROUND FLOOR	1:100
TP15	TREE MANAGEMENT - FIRST FLOOR	1:100
TP16	PROPOSED AERIAL VIEWS	N.T.S
TP17	PROPOSED STREET PERSPECTIVE	N.T.S
TP18	PROPOSED STREET PERSPECTIVE	N.T.S
TP19	PROPOSED STREET PERSPECTIVE	N.T.S
TP20	PROPOSED PERSPECTIVE	N.T.S
TP21	PROPOSED PERSPECTIVE	N.T.S



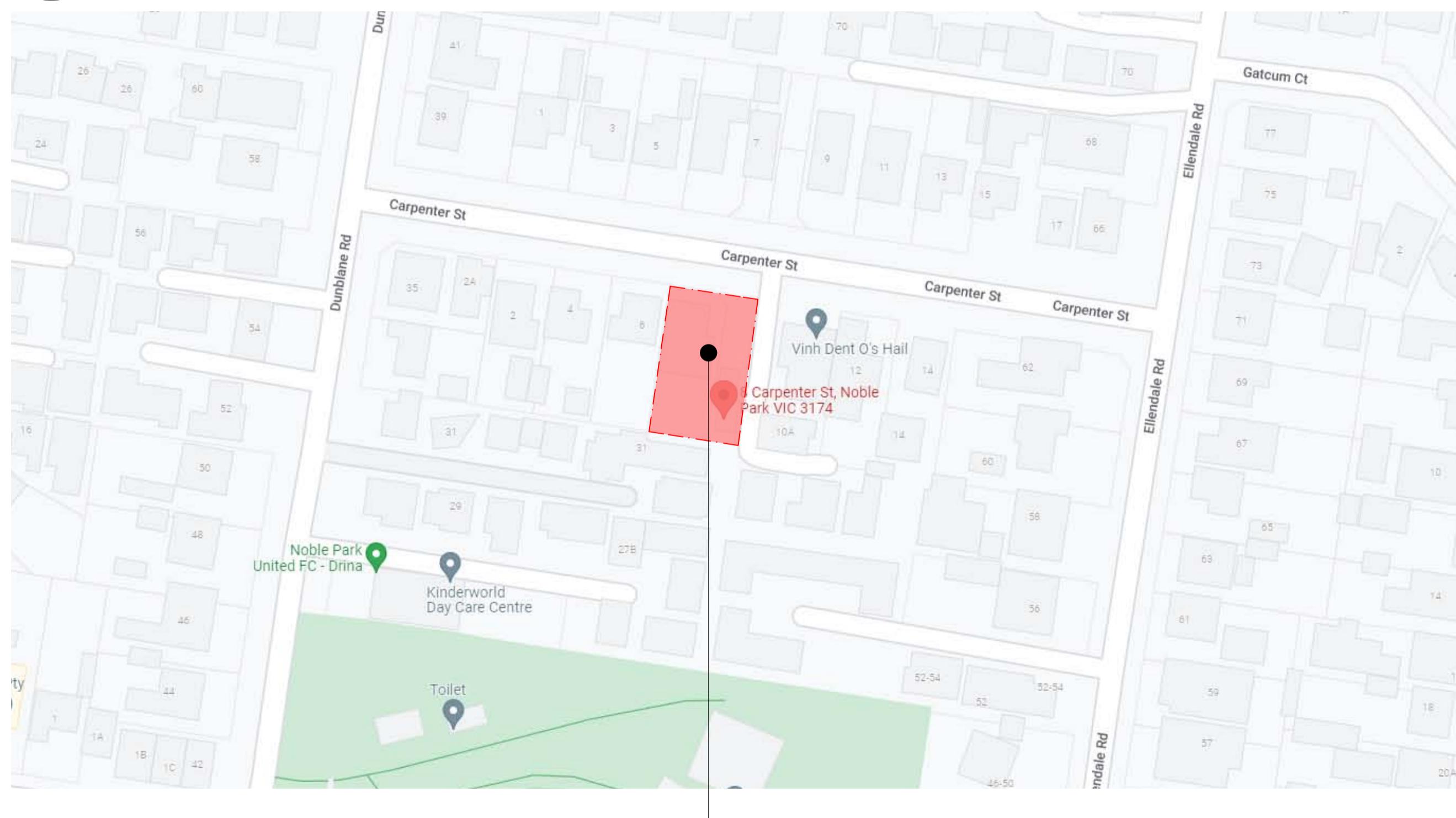
## 8 CARPENTER ST NOBLE PARK

a m e n d m e n t s :	DATE			REV	AMENDMENTS			DATE	REV	AMENDMENTS	p r o j e c t :	a d d r e s s :	d r a w i n g t i t l e :	date	scale	d w g n o .	rev.	
	DATE	REV	AMENDMENTS		DATE	REV	AMENDMENTS											
												PROPOSED FIVE THREE-STOREY DWELLINGS	8 CARPENTER ST NOBLE PARK VIC 3174	K x Architecture	19/03/2024	as shown on A1	TP00	-
												for:	K x Architecture Pty Ltd Suite 1211, 121 Docklands Drive Docklands VIC 3008 Australia t: 03 9600 2152 e: studio@kxarchitecture.com w: www.kxarchitecture.com	job No.:				

# TOWN PLANNING



2 EXISTING SITE AERIAL PHOTO



1 SITE LOCATION MAP



3 SUBJECT SITE 8 CARPENTER ST



4 4 CARPENTER ST



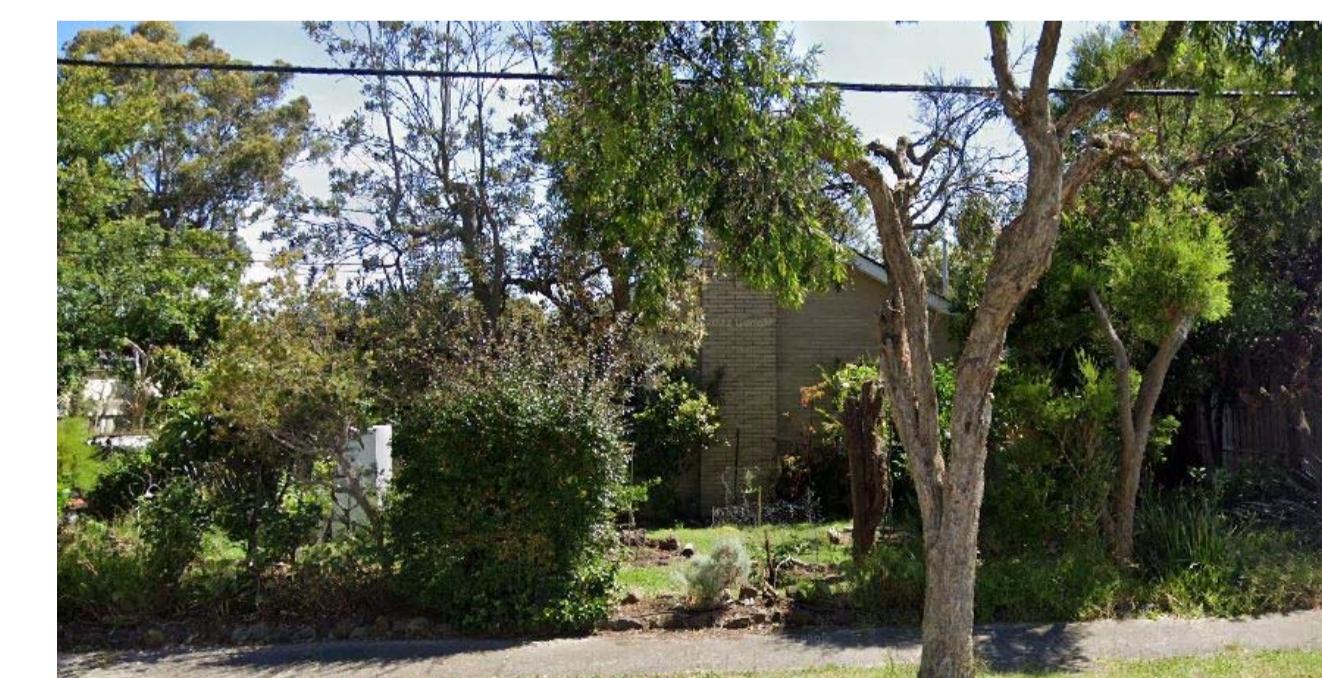
5 5 CARPENTER ST



6 6 CARPENTER ST



7 7 CARPENTER ST



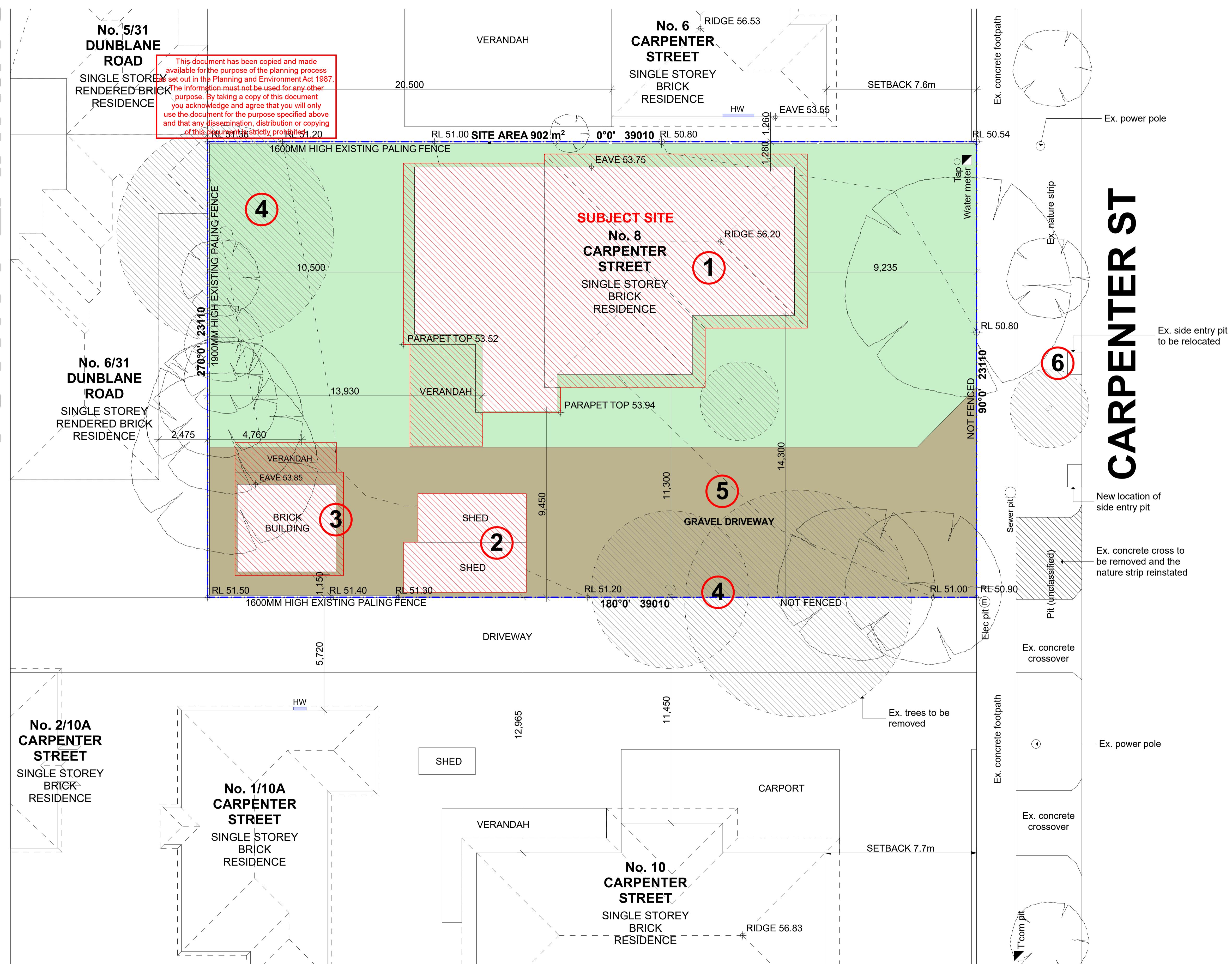
8 8 CARPENTER ST



9 10 CARPENTER ST

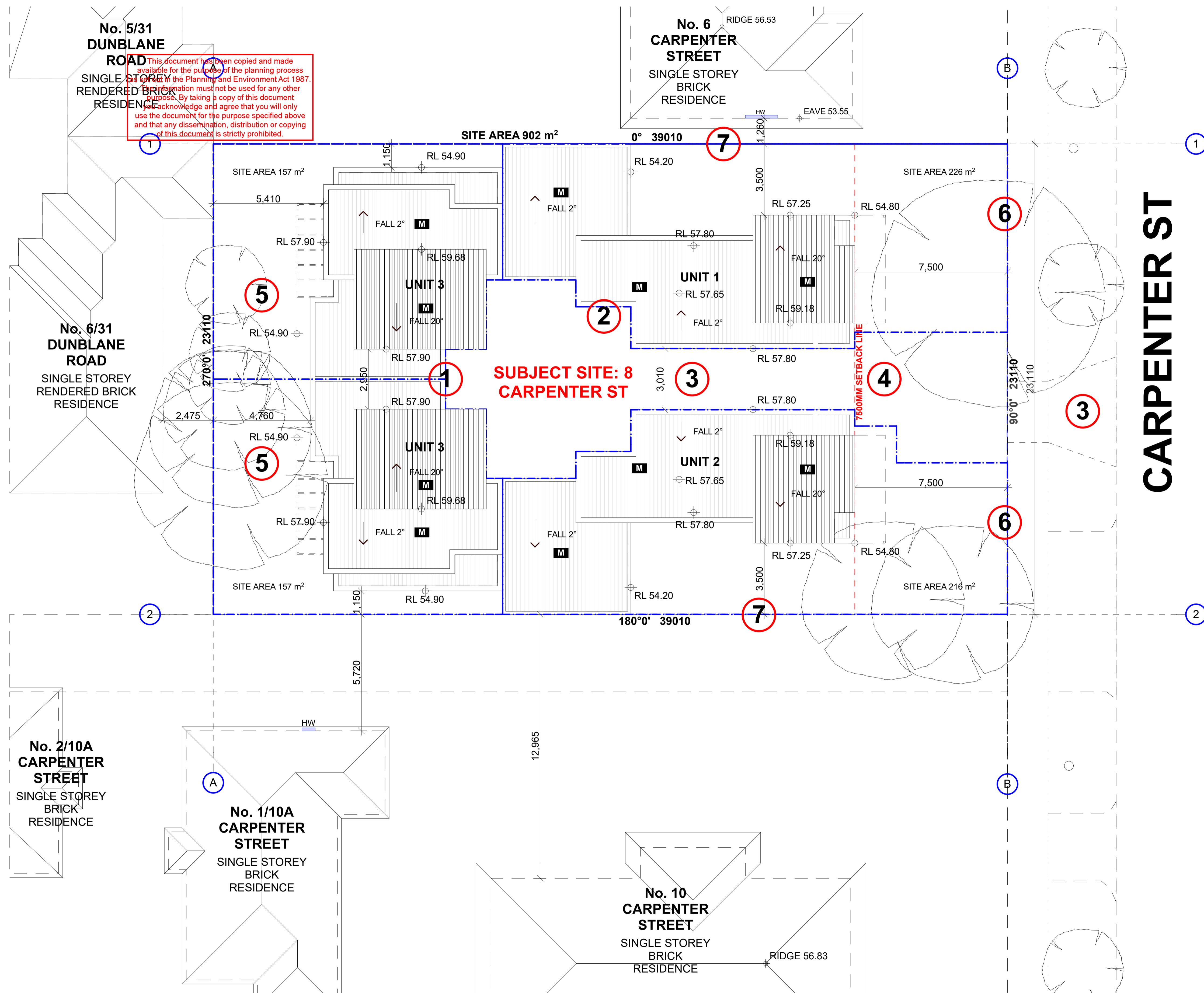
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DATE REV AMENDMENTS	DATE REV AMENDMENTS	address:	SITE LOCATION	19/03/2024 as shown on A1
		8 CARPENTER ST NOBLE PARK VIC 3174		TP01
				drawn - checked -
				verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect
				C copyright of architect

# TOWN PLANNING



amendments:	project:	address:	drawing title:	date							
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	address:	drawing title:	date	scale	dwg no.	rev.
			PROPOSED FIVE THREE-STOREY DWELLINGS			8 CARPENTER ST NOBLE PARK VIC 3174	SITE ANALYSIS	19/03/2024	as shown	TP02	-
			for:						on A1		
									drawn		
									checked		
									verify all dimensions on site before commencing work or shop drawings		
									and report any discrepancies to the architect		
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# TOWN PLANNING



# CARPENTER ST

## LEGEND

**T1** Tree Number. Refer to Arborist Report

( ) TPZ - Tree Protection Zone

( ) SRZ - Structural Root Zone

 Existing Tree to be retained

 Existing Tree to be removed

## LEGEND

	Existing Building Works to be removed
	Proposed Building Works
<b>HW</b>	Habitable Window
<b>NH</b>	Non-habitable Window
<b>FW</b>	Frosted Window
<b>D</b>	Door
<b>BM</b>	Bench Mark
<b>TBM</b>	Temporary Bench Mark
<b>AHD</b>	Australian Height Datum
<b>RL</b>	Reduced Levels in metres to the Australian Height Datum

## DESIGN RESPONSE

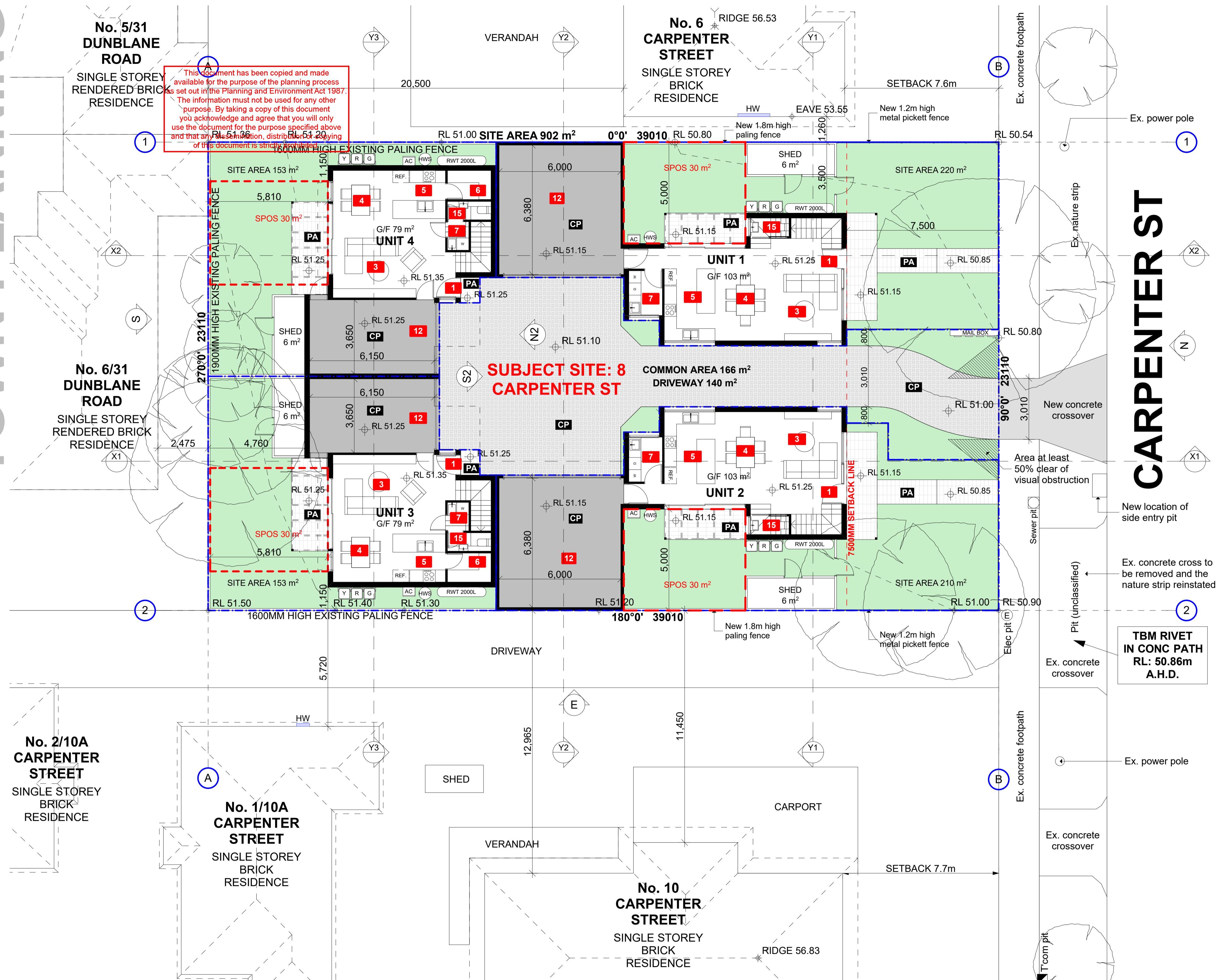
- ① Site subdivided into 4 lots
- ② Proposed 4x two storey units to suit neighbourhood character
- ③ Proposed a new concrete crossing and new driveway with direct access to garages
- ④ 7.5m front street setback
- ⑤ West/South facing outdoor space and living areas to maximise sunlight area for all units
- ⑥ New 1.2m high metal pickett fence
- ⑦ New 1.8m high paling fence

# DESIGN RESPONSE

**1:100**

a m e n d m e n t s:			a m e n d m e n t s:			p r o j e c t:			a d d r e s s :			d r a w i n g t i t l e:			
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	PROPOSED FIVE THREE-STOREY DWELLINGS for:			8 CARPENTER ST NOBLE PARK VIC 3174			date	scale	drawn no.	rev.
-	-	-	-	-	-	-			-			19/03/2024	as shown on A	TP03	-
													drawn	checked	-
													Z	verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect	
														Copyright of architect	

# TOWN PLANNING



## PLANNING SCHEME REQUIREMENT

GR21 - GENERAL RESIDENTIAL ZONE - SCHEDULE 1

MIN. FRONT SETBACK	7.5M	POS	SPOS	MIN. WIDTH
MIN.PRIVATE OPEN SPACE	50M <sup>2</sup>	30M <sup>2</sup>		5M
OR	10M <sup>2</sup>			2M
OR	10M <sup>2</sup>			2M
MAX. BUILDING HEIGHT	9M			
MAX. SITE COVERAGE	60%			
MAX. FRONT FENCE HEIGHT	1.2M			
MIN. PERMEABILITY	30%			
MIN. GARDEN AREA	35%			

## SITE AREA ANALYSIS

TOTAL SITE AREA					
	UNIT 1	UNIT 2	UNIT 3	UNIT 4	COMMON
SITE AREA	220	210	153	153	166
INTERNAL AREA					902
Ground Floor	103	103	79	79	364
First Floor	70	70	61	61	262
<b>TOTAL</b>	<b>173</b>	<b>173</b>	<b>140</b>	<b>140</b>	<b>626</b>
EXTERNAL AREA					
Private Open Space	117	107	74	74	398
Driveway	7	7	1	1	140
Pavement					16
Building Area	103	103	79	79	364
Site Coverage	47%	49%	52%	52%	40%
Permeable Area	117	107	74	74	166
Permeable Area %	53%	51%	48%	48%	60%
Impervious Area	103	103	79	79	364
Impervious Area %	47%	49%	52%	52%	40%
Garden Area	109	99	71	71	21
Garden Area %	50%	47%	46%	46%	41%

## LEGEND

1	Entrance
2	Brick - Light yellow
3	Rendered - white or similar
4	Metal Roof - White or similar
5	Framed Glass - Clear Glass
6	Framed Glass - Frosted Glass
7	Permeable Interlocking Paving
8	Permeable Pavers

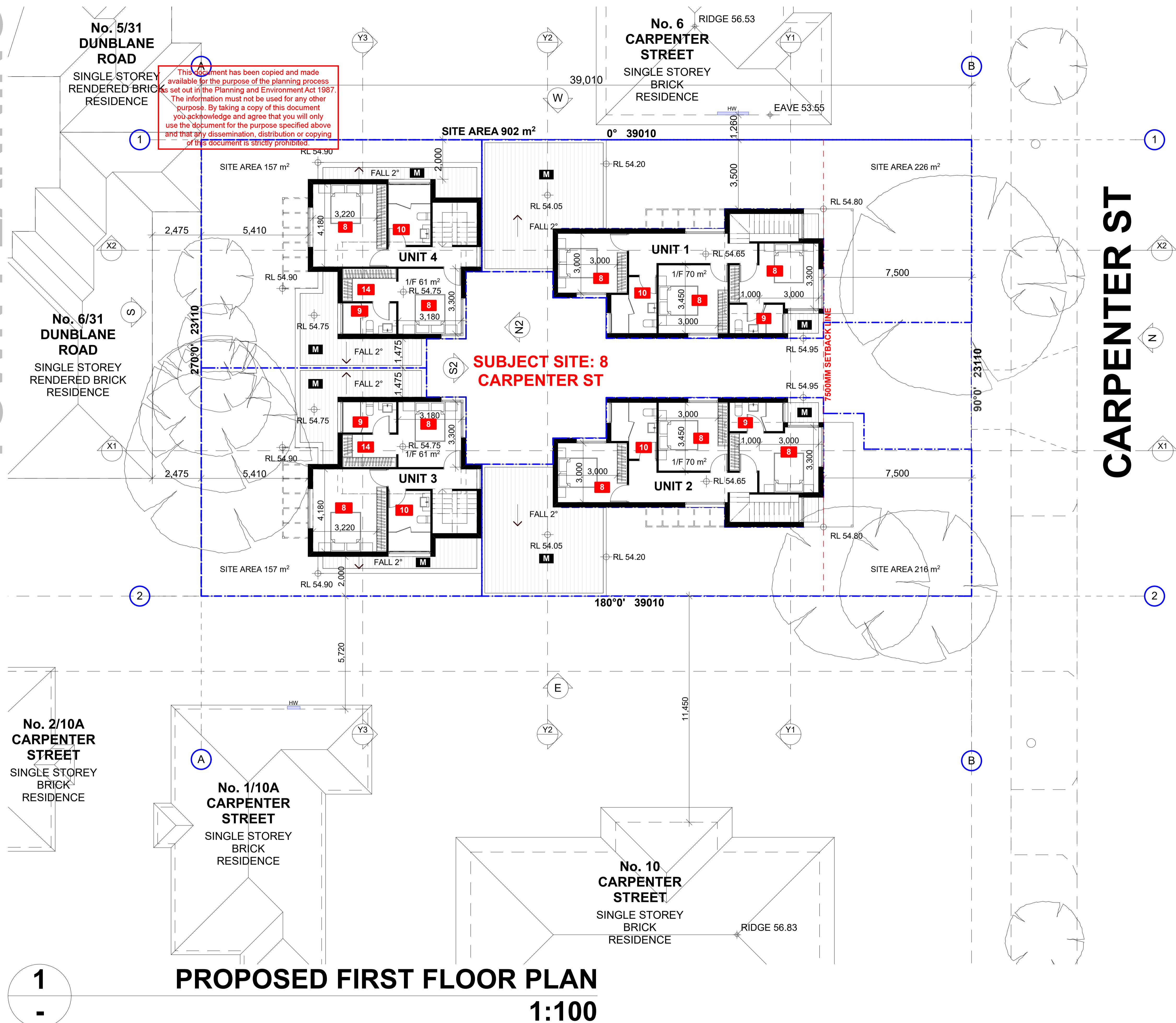
## LEGEND - EXTERNAL FINISHES

SW	Scyon Cladding - White or similar
B	Brick - Light yellow
R	Rendered - white or similar
M	Metal Roof - White or similar
G1	Framed Glass - Clear Glass
G2	Framed Glass - Frosted Glass
CP	Permeable Interlocking Paving
PA	Permeable Pavers

## LEGEND

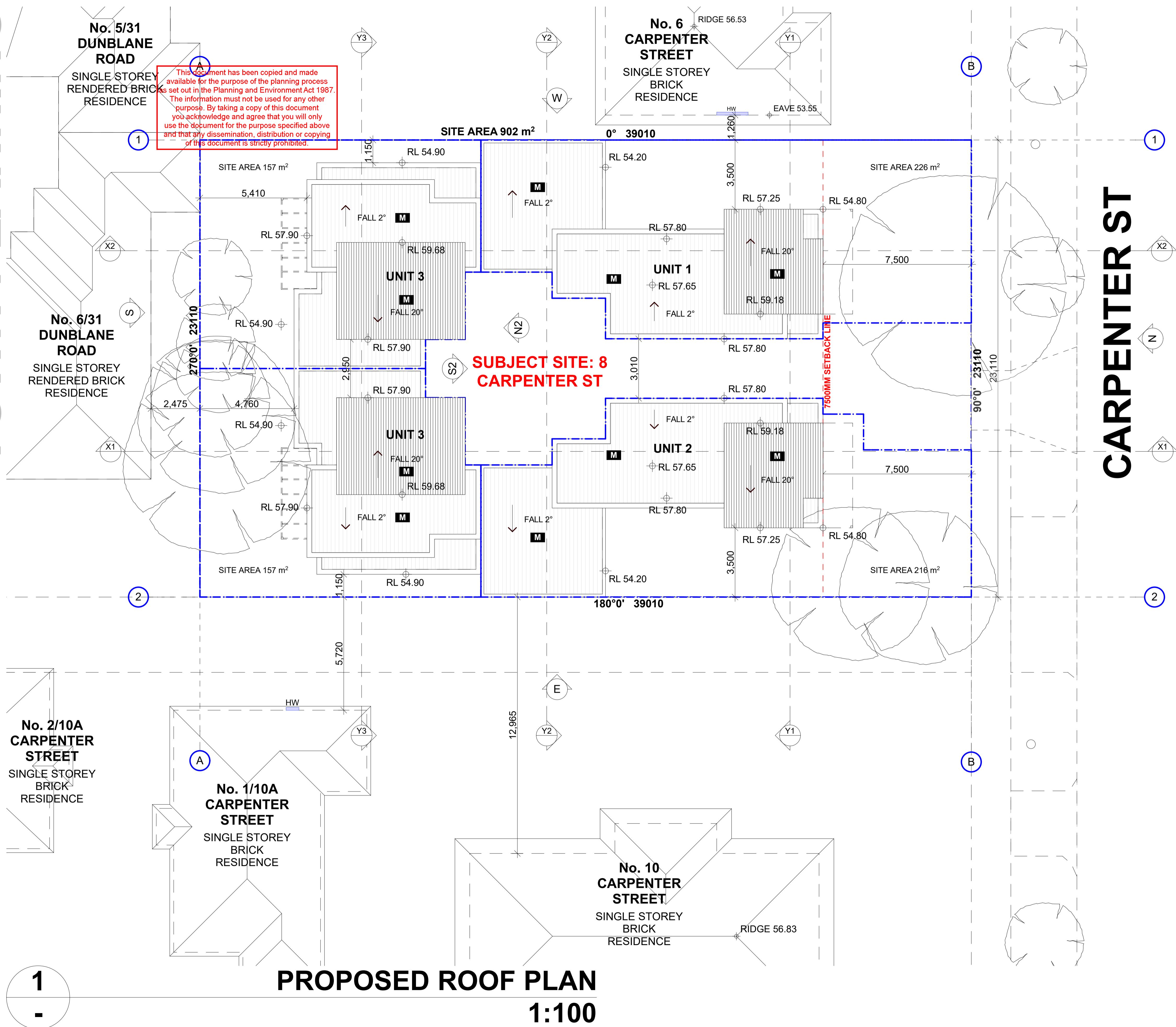
Existing Building Works to be removed
Proposed Building Works
Habitable Window
Non-habitable Window
Frosted Window
Door
Bench Mark
Temporary Bench Mark
Australian Height Datum
Reduced Levels in metres to the Australian Height Datum

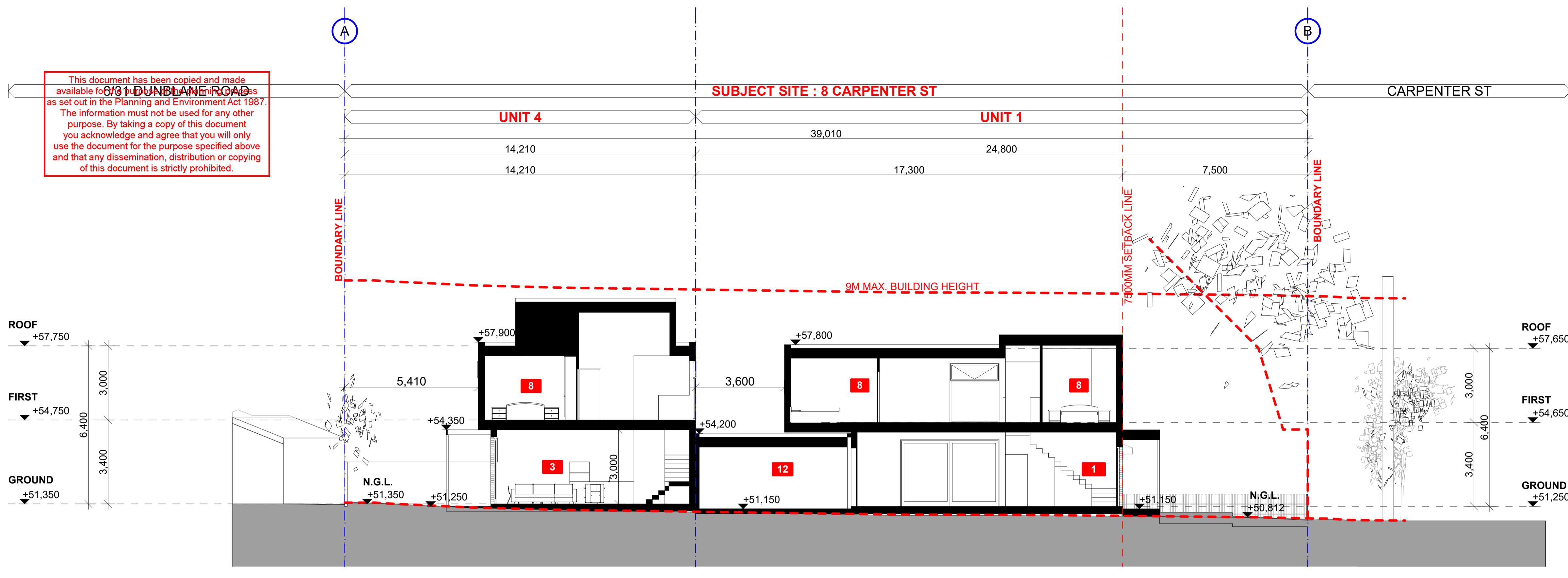
# TOWN PLANNING



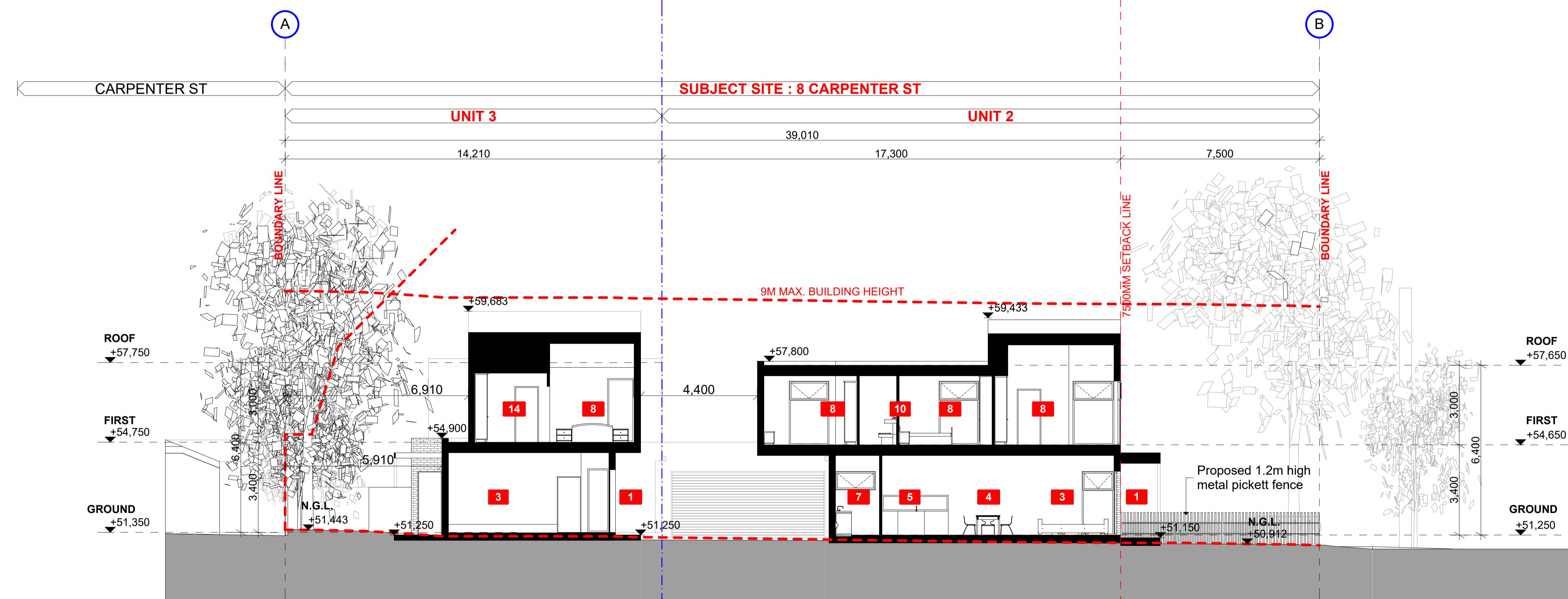
<b>amendments:</b>	<b>project:</b> PROPOSED FIVE THREE-STOREY DWELLINGS	<b>address:</b> 8 CARPENTER ST NOBLE PARK VIC 3174	<b>drawing title:</b> PROPOSED FIRST FLOOR PLAN	<b>date</b> 19/03/2024
DATE REV AMENDMENTS	DATE REV AMENDMENTS		job No.:	scale as shown on A1 TP05 - drawn checked - N verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect C copyright of architect

# TOWN PLANNING





**X2 SECTION**  
1:100



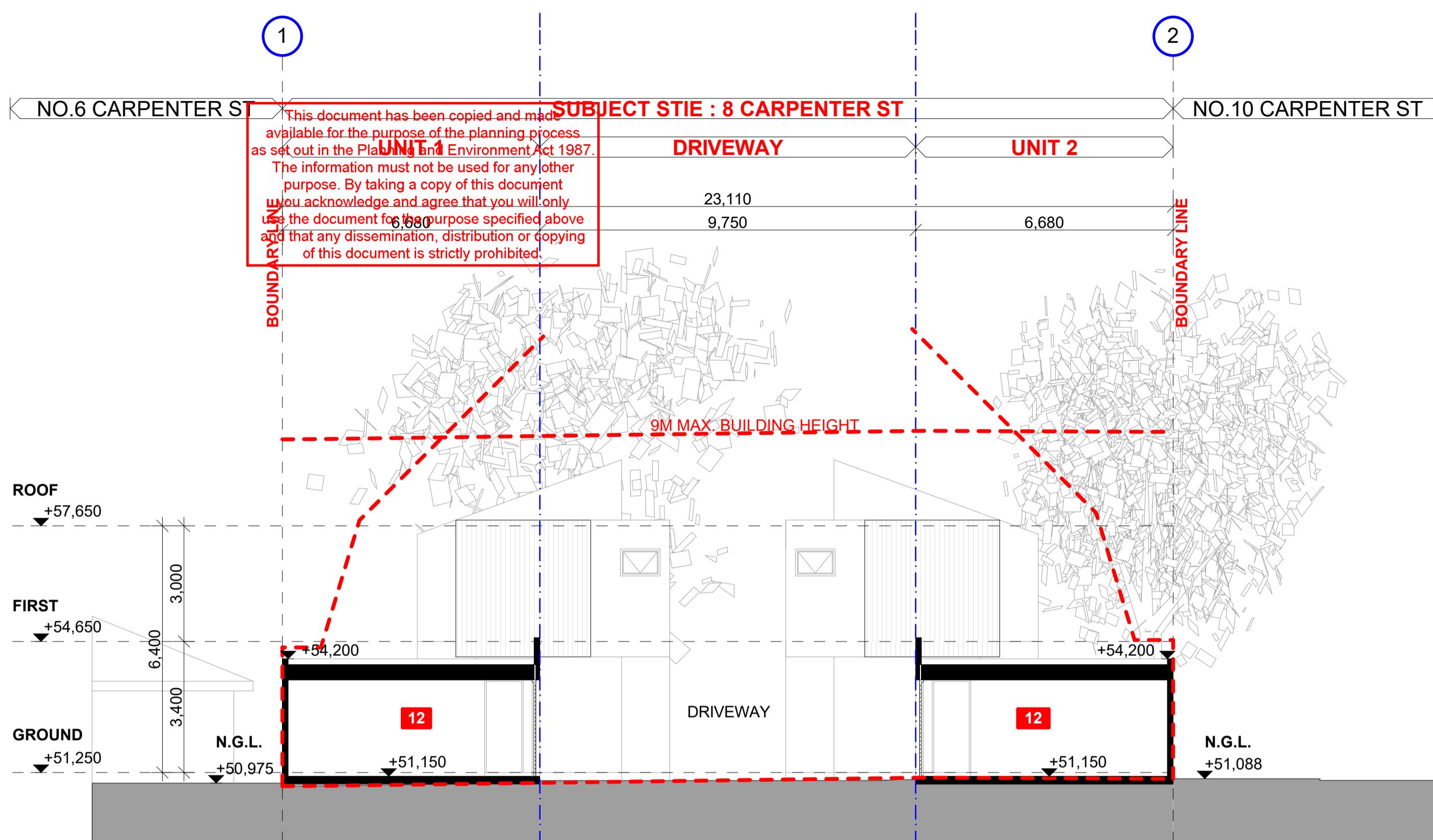
**X1 SECTION**  
1:100

## LEGEND

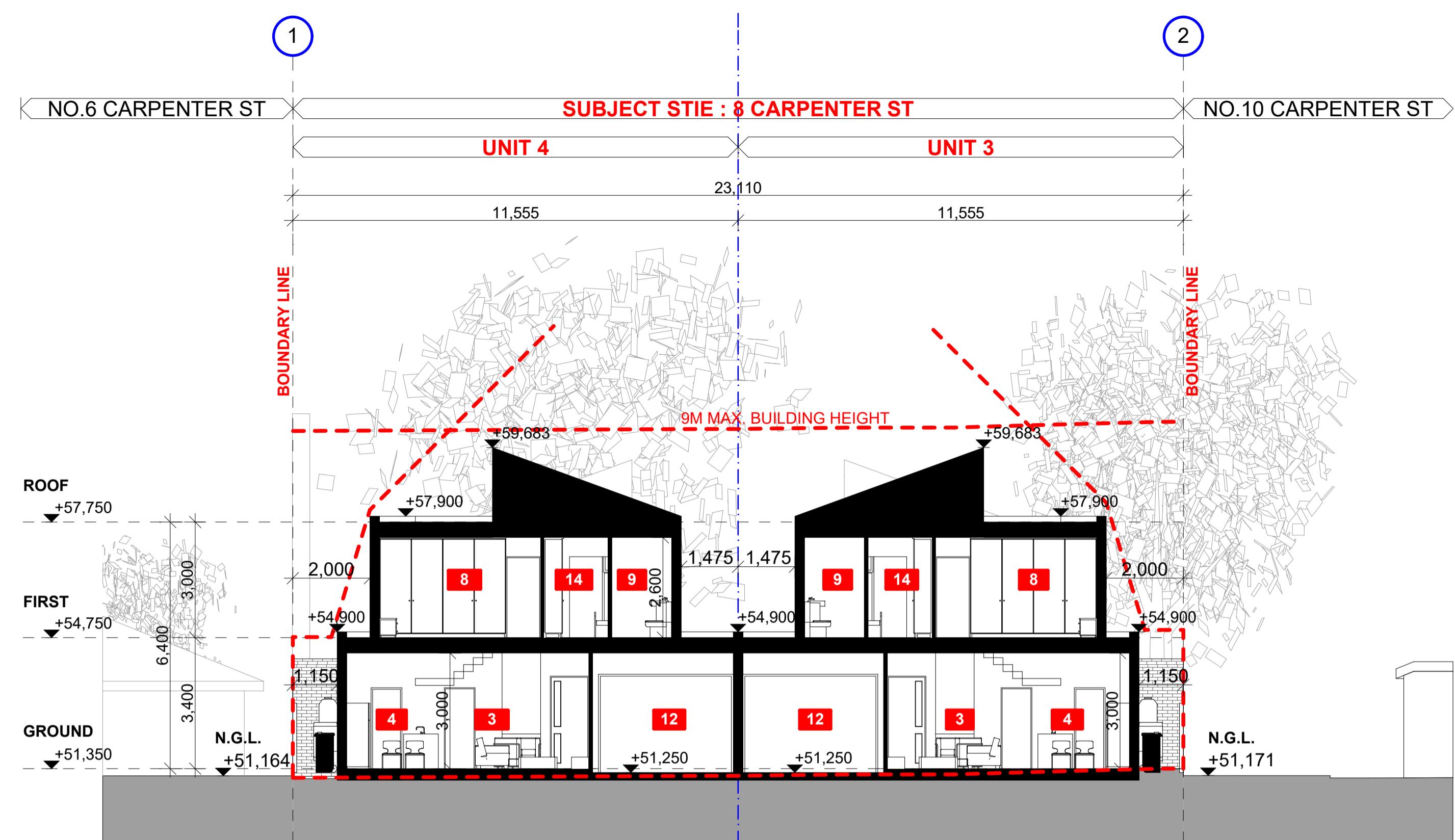
- 1 Entrance
- 2 Hallway
- 3 Living Room
- 4 Dining
- 5 Kitchen
- 6 Pantry
- 7 Laundry
- 8 Bedroom
- 9 Ensuite
- 10 Bathroom
- 11 Balcony
- 12 Garage
- 13 Storage
- 14 Walk-in Robe
- 15 Toilet
- 16 Lounge/Study

amendments:			project:			address:			drawing title:			date		
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	project:	address:	drawing title:	date	scale	dwg no.	rev.		
						PROPOSED FIVE THREE-STOREY DWELLINGS	8 CARPENTER ST NOBLE PARK VIC 3174	PROPOSED SECTIONS X1 & X2	19/03/2024	as shown on A1	TP07	-		
						for:		job No.:		drawn	-	checked		

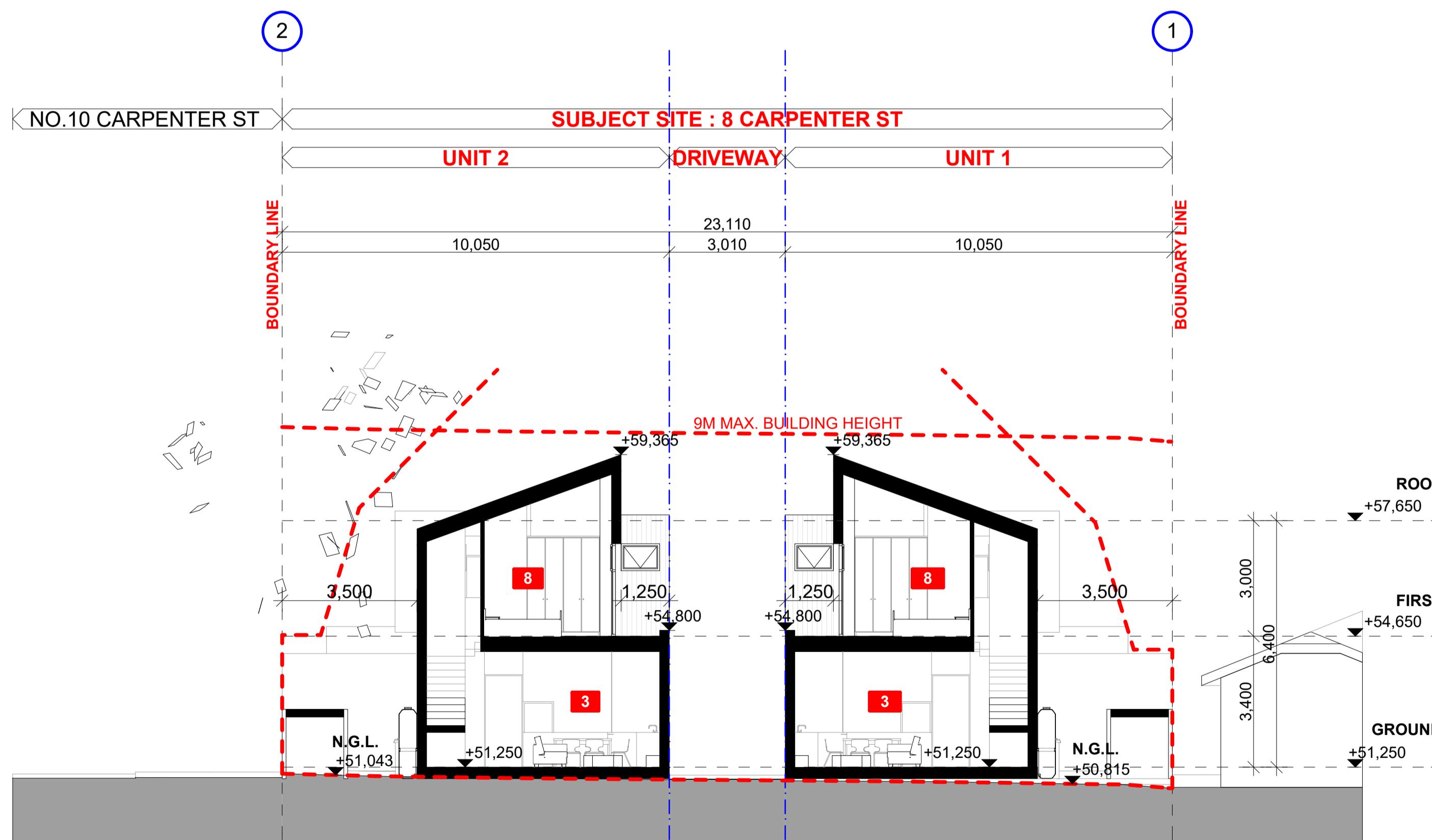
# TOWN PLANNING



**Y2 SECTION**  
1:100



**Y3 SECTION**  
1:100



**Y1 SECTION**  
1:100

## LEGEND

- 1 Entrance
- 2 Hallway
- 3 Living Room
- 4 Dining
- 5 Kitchen
- 6 Pantry
- 7 Laundry
- 8 Bedroom
- 9 Ensuite
- 10 Bathroom
- 11 Balcony
- 12 Garage
- 13 Storage
- 14 Walk-in Robe
- 15 Toilet
- 16 Lounge/Study

amendments:			project:			address:			drawing title:			date						
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	PROPOSED FIVE THREE-STOREY DWELLINGS for:			8 CARPENTER ST NOBLE PARK VIC 3174			PROPOSED SECTIONS Y1 & Y2 & Y3			scale	dwg no.	rev.	
															19/03/2024	as shown on A1	TP08	-
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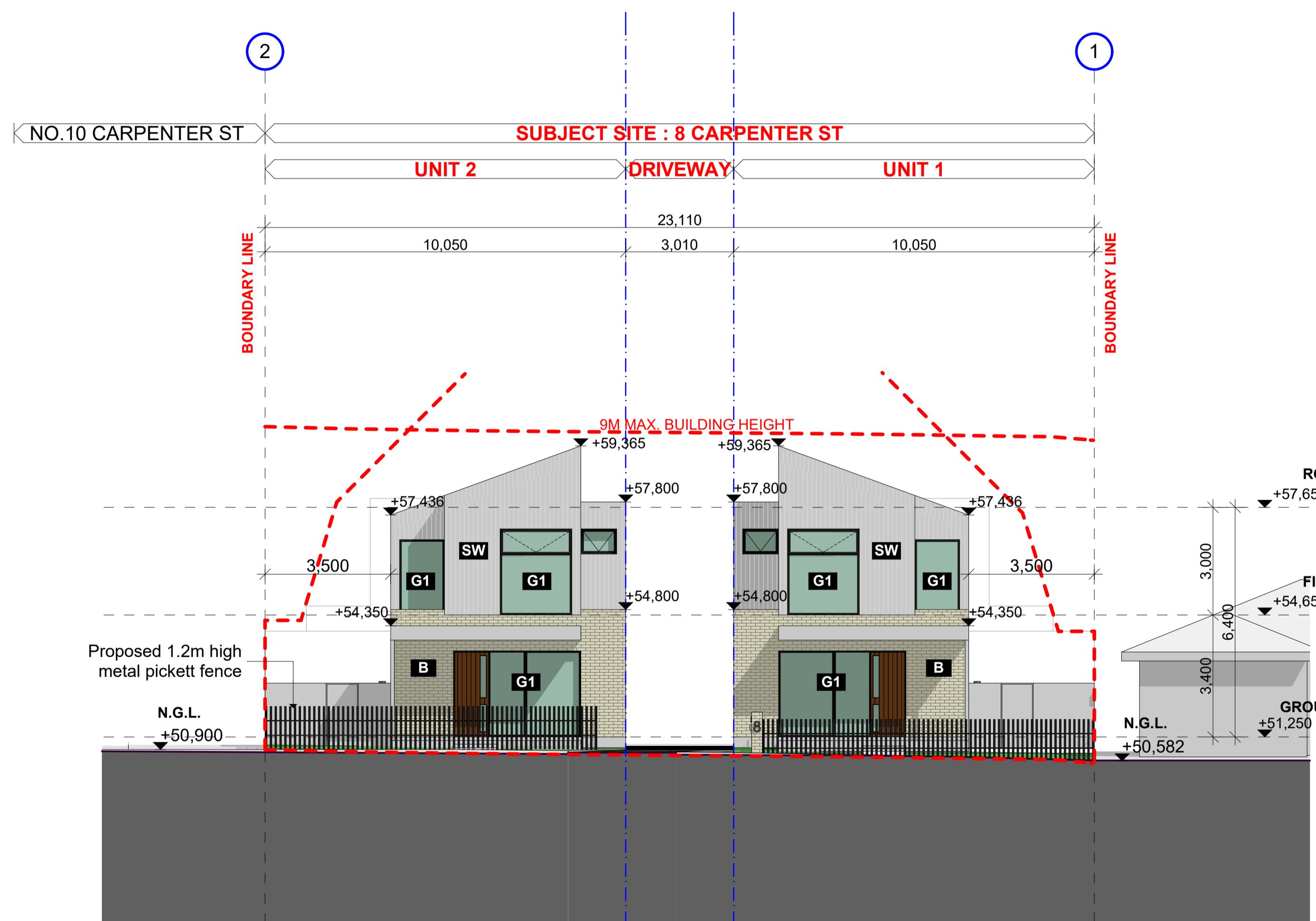
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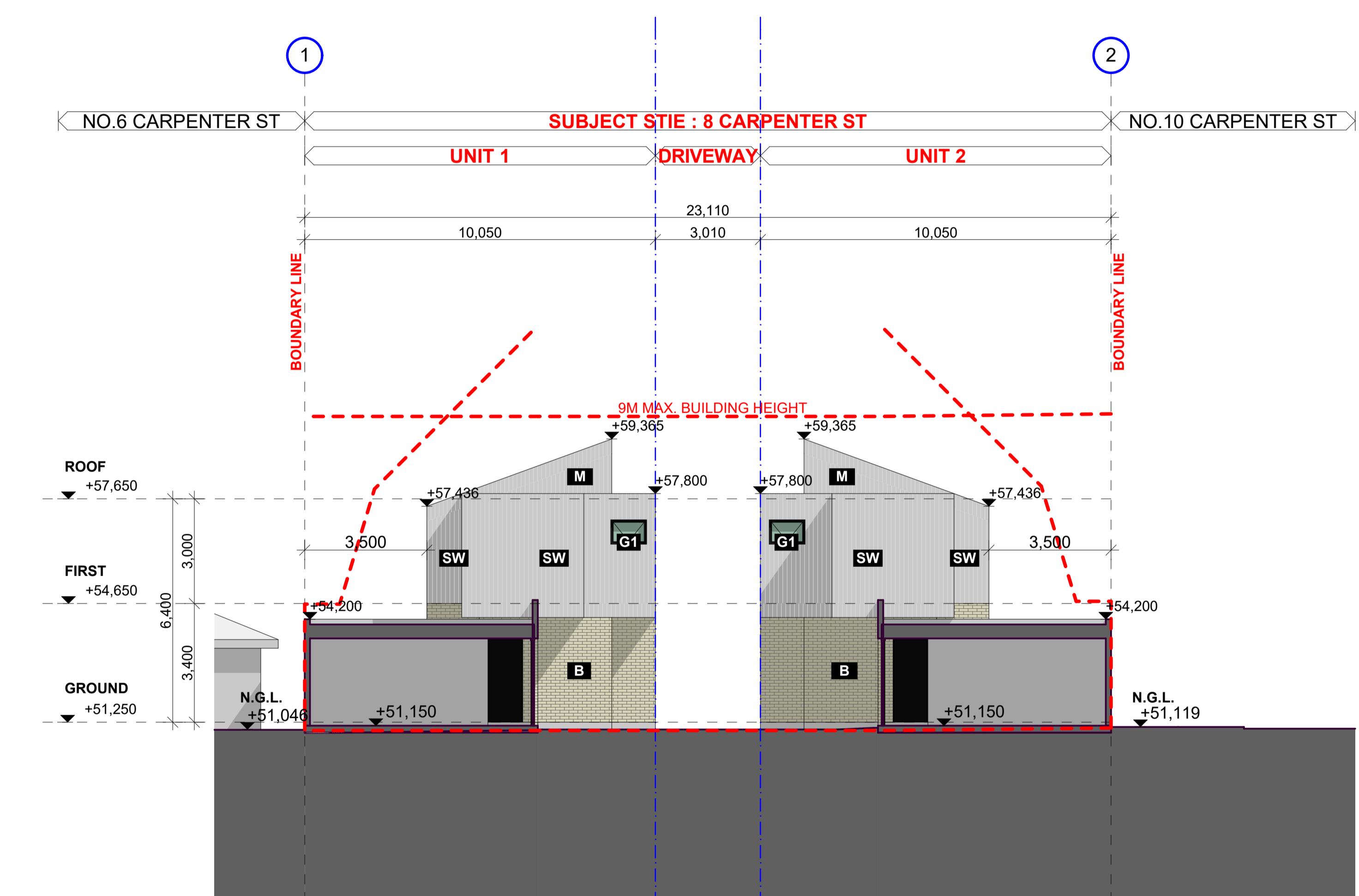
## LEGEND - EXTERNAL FINISHES

- SW** Scyon Cladding - White or similar
- B** Brick - Light yellow
- R** Rendered - white or similar
- M** Metal Roof - White or similar
- G1** Framed Glass - Clear Glass
- G2** Framed Glass - Frosted Glass
- CP** Permeable Interlocking Paving
- PA** Permeable Pavers



# **NORTH ELEVATION**

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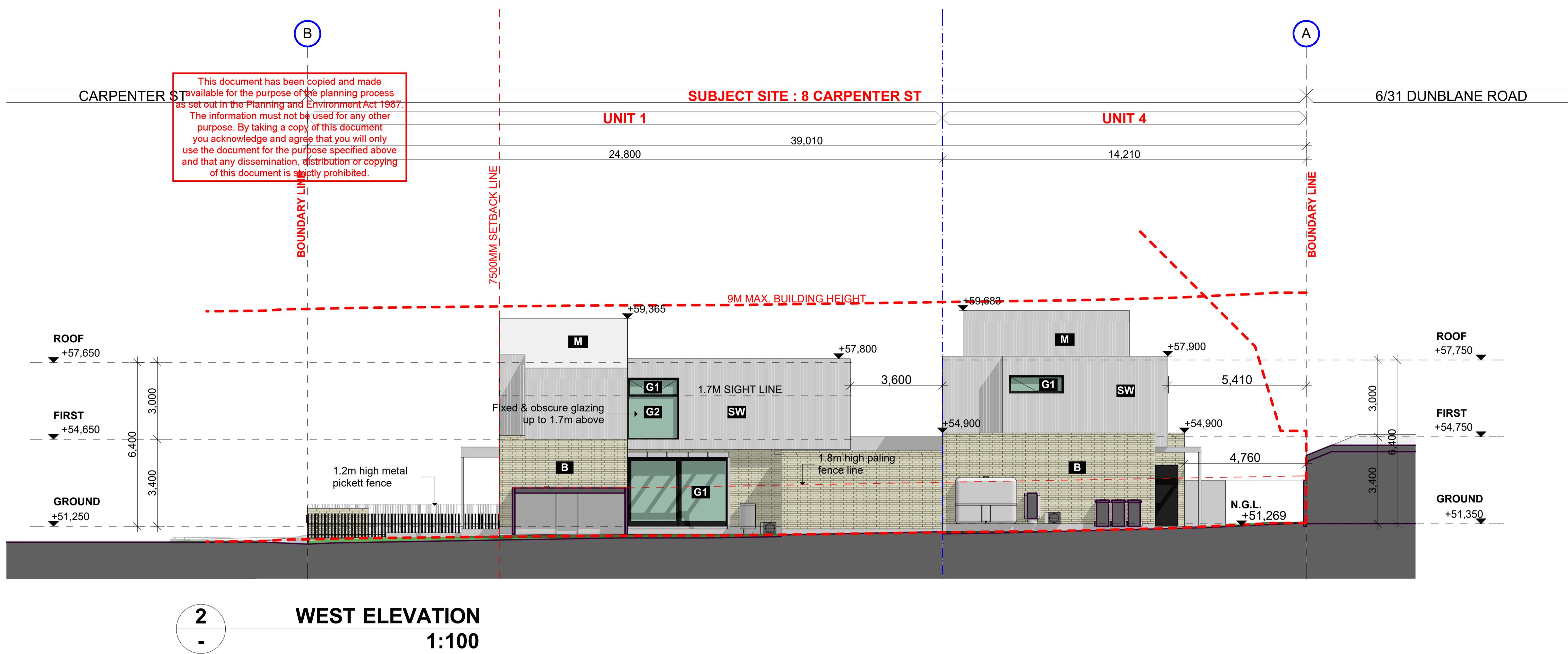


# S2 ELEVATION

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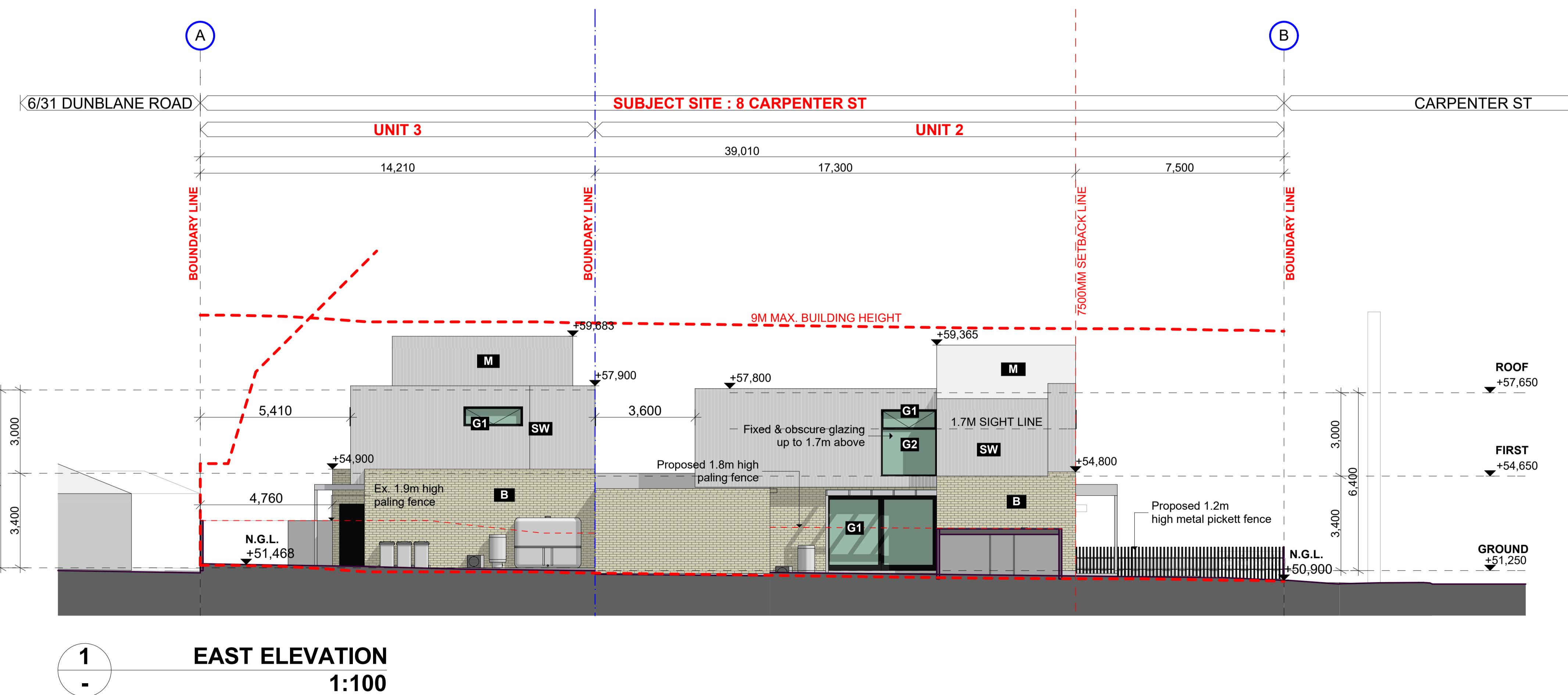
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<b>amendments:</b>						<b>project:</b>  <b>PROPOSED FIVE THREE-STOREY DWELLINGS</b> <b>for:</b>  <b>8 CARPENTER ST</b> <b>NOBLE PARK</b> <b>VIC 3174</b>	 <b>Kx Architecture Pty Ltd</b> Suite 211, 141 Docklands Drive Docklands VIC 3008 Australia t 03 9600 2552 e studio@kxarchitecture.com w www.kxarchitecture.com	<b>drawing title:</b>  <b>PROPOSED ELEVATIONS</b>		
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS			date	scale	dwg. no.
						<b>19/03/2024</b>	<b>as shown</b>	<b>TP09</b>	<b>-</b>	
							<b>draw</b>	<b>checked</b>	<b>-</b>	
							verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect			
							<b>21087</b>		<b>Copyright of architect</b>	



## LEGEND - EXTERNAL FINISHES

- SW** Scyon Cladding - White or similar
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- M** Metal Roof - White or similar
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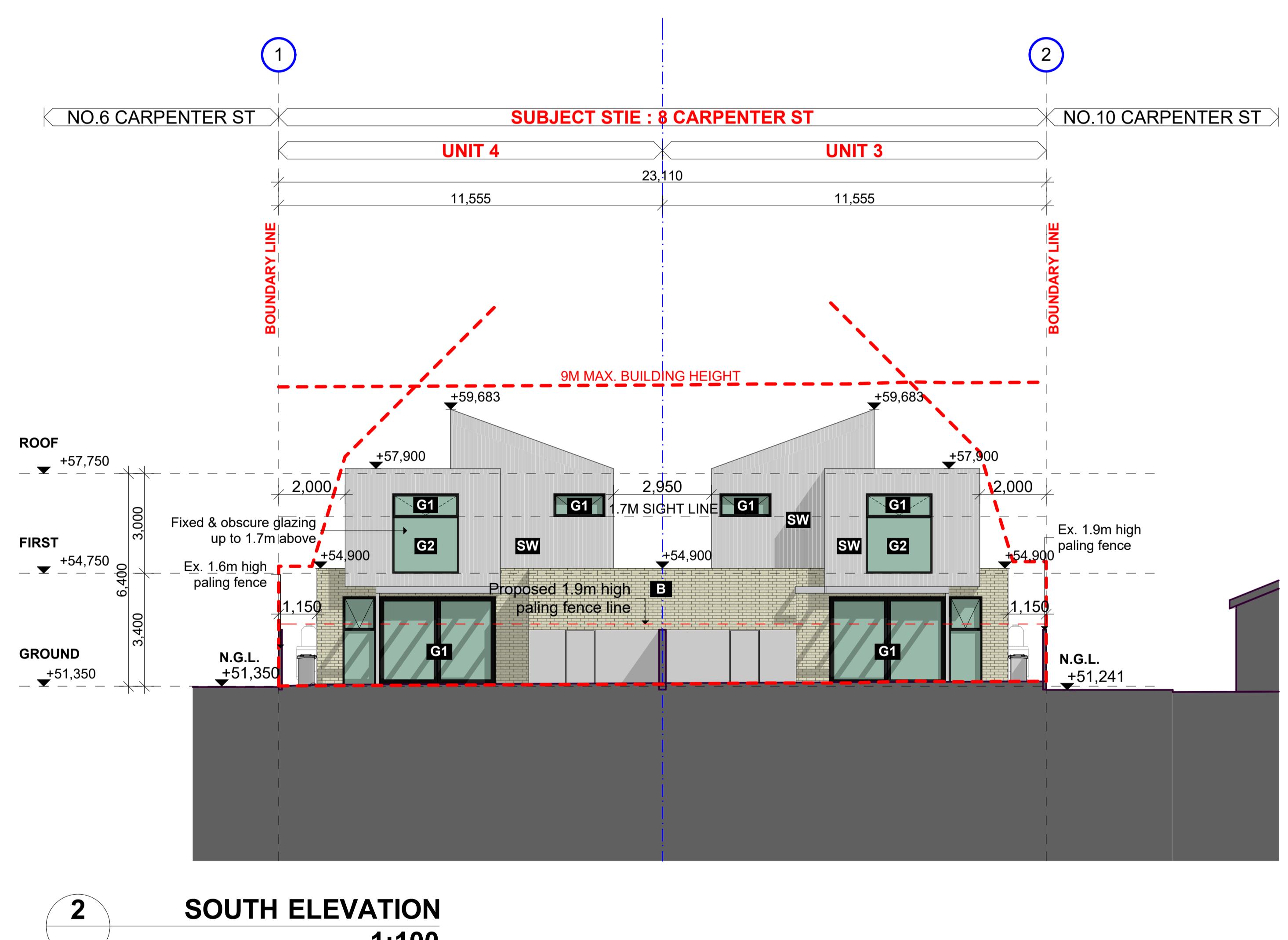
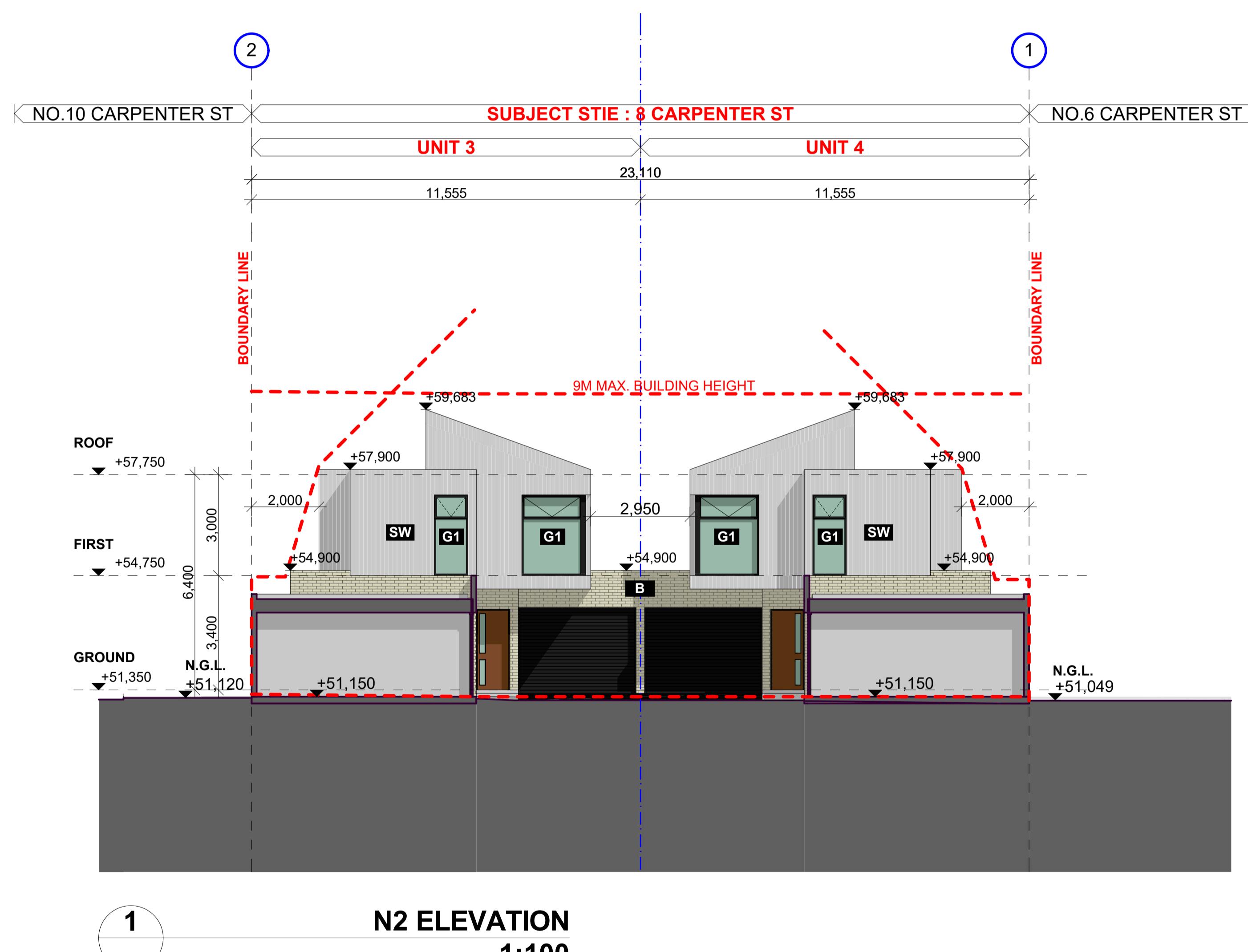
# NEW TOWN PLANNING

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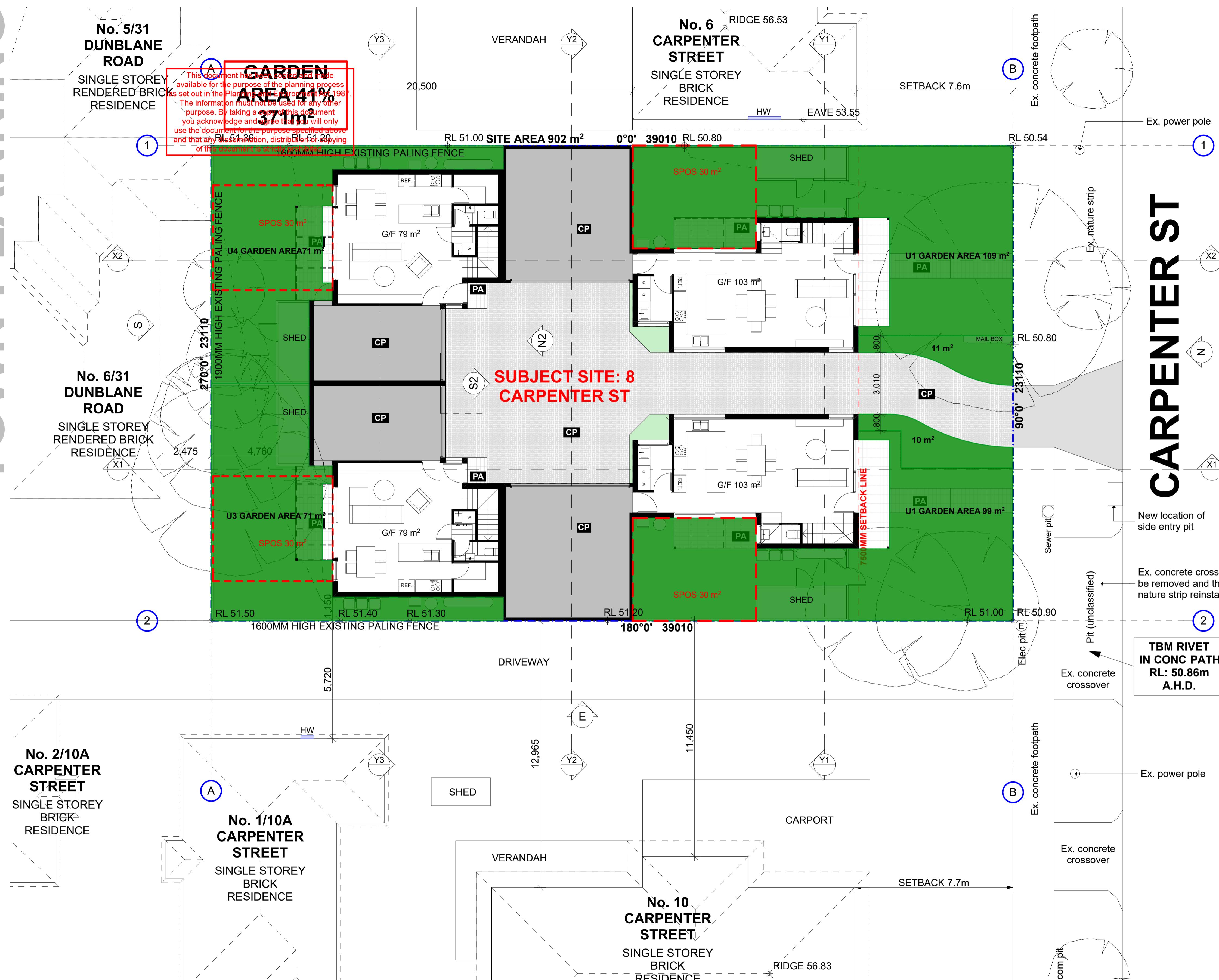
## LEGEND - EXTERNAL FINISHES

- SW** Scyon Cladding - White or similar
- B** Brick - Light yellow
- R** Rendered - white or similar
- M** Metal Roof - White or similar
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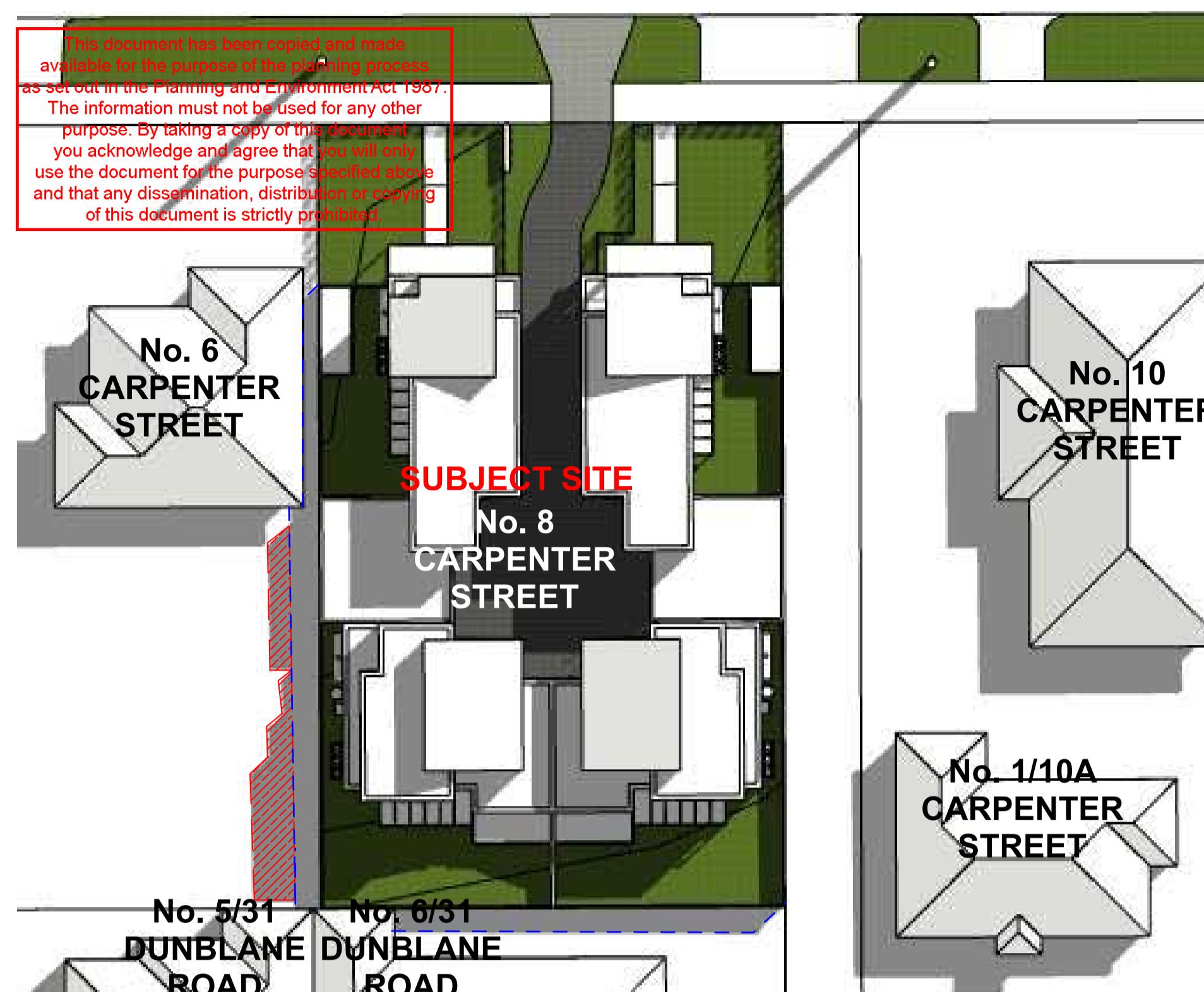


<b>amendments:</b>							<b>project:</b> <b>address:</b> <b>PROPOSED FIVE THREE-STOREY DWELLINGS for:</b> <b>8 CARPENTER ST NOBLE PARK VIC 3174</b>	 <b>Kx Architecture Pty Ltd</b> Suite 2.111, 41 Docklands Drive Docklands VIC 3008 Australia t 03 9600 2522 e studio@kxarchitecture.com w www.kxarchitecture.com	<b>drawing title:</b> <b>PROPOSED ELEVATIONS</b>			<b>date</b> <b>19/03/2024</b>	<b>scale</b> <b>1:50</b>	<b>dwg no.</b> <b>TP1</b>	<b>rev.</b> <b>-</b>
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS				drawn	checked					
												verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect			
												Copyright of architect			

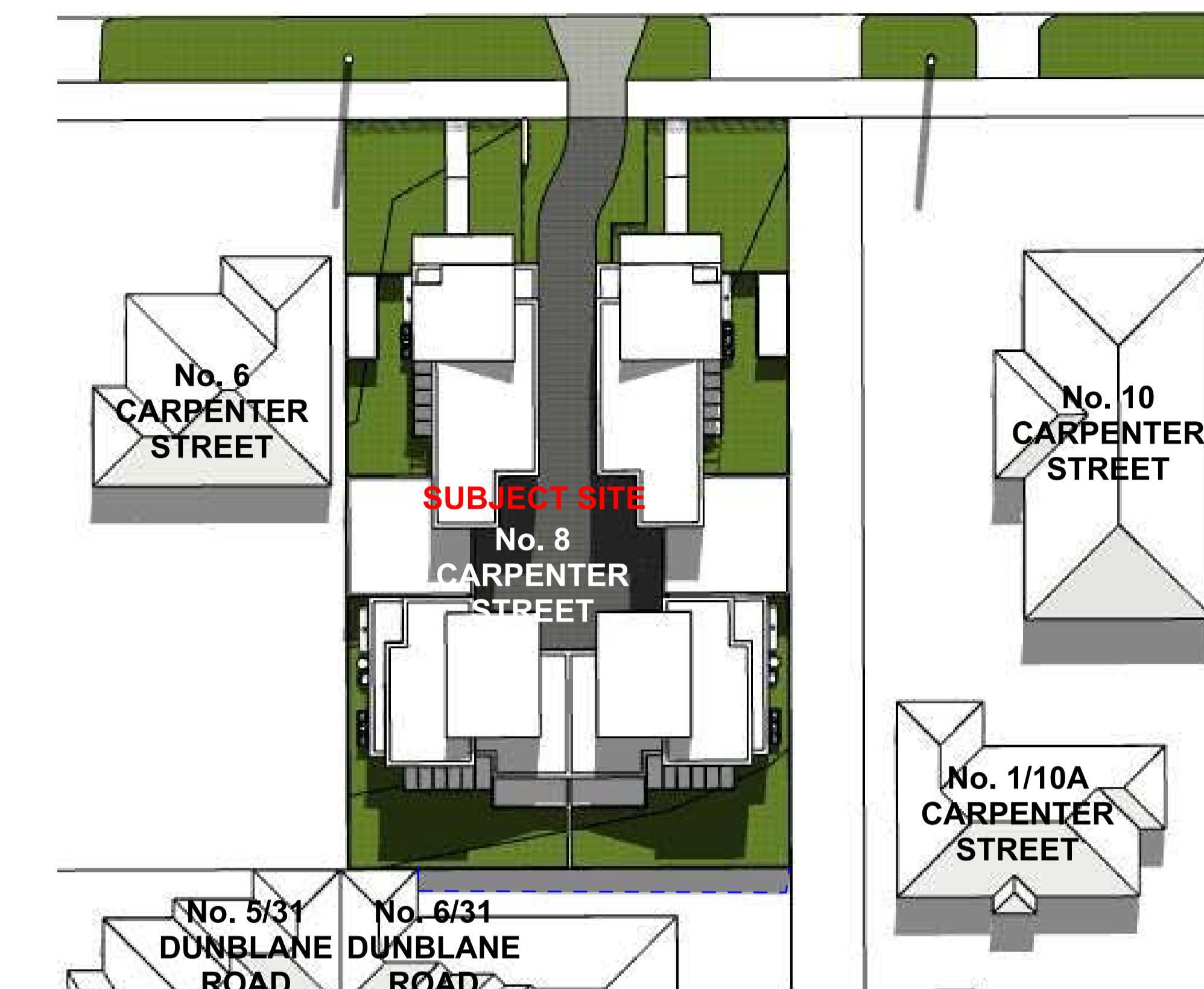
# TOWN PLANNING



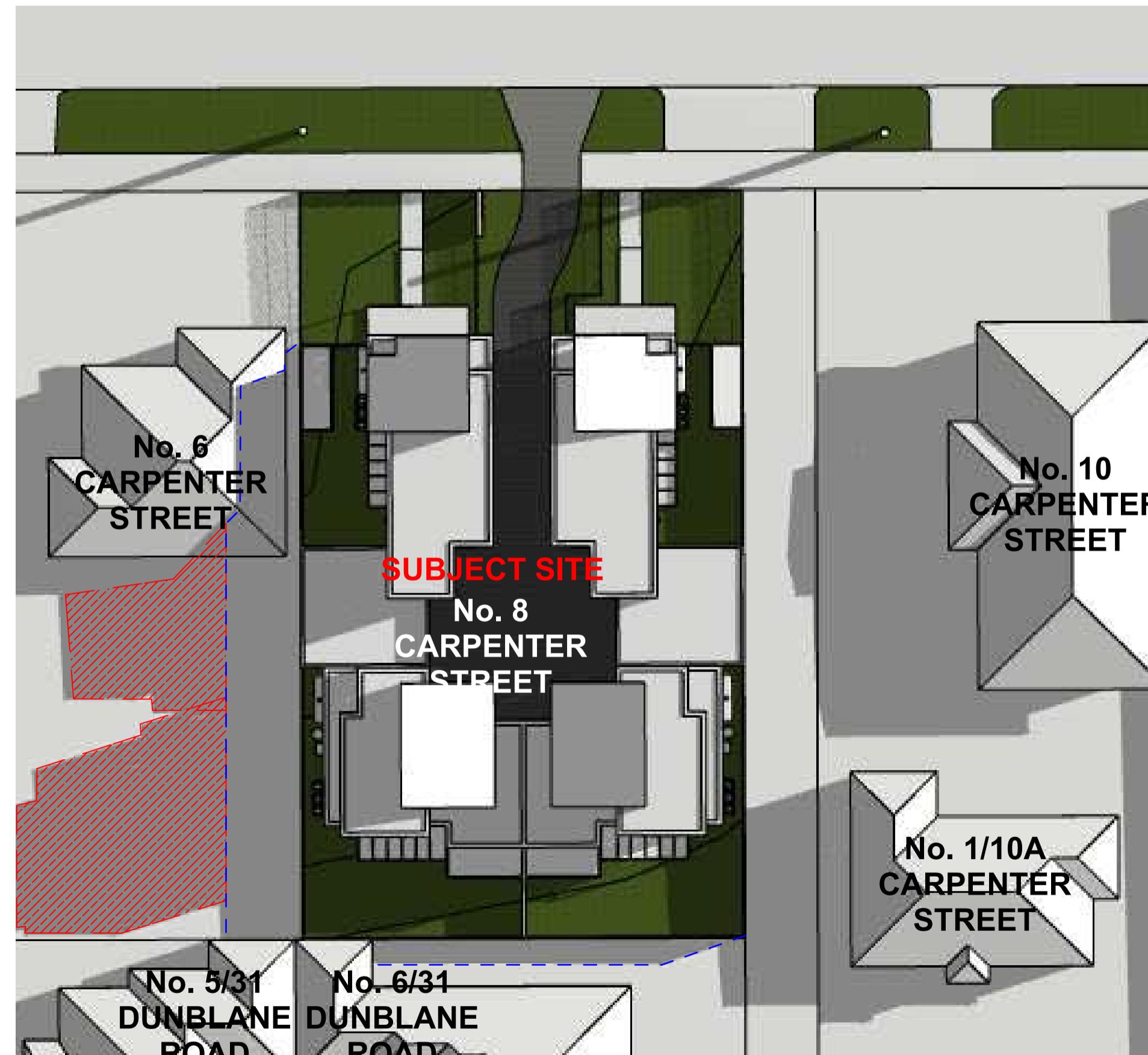
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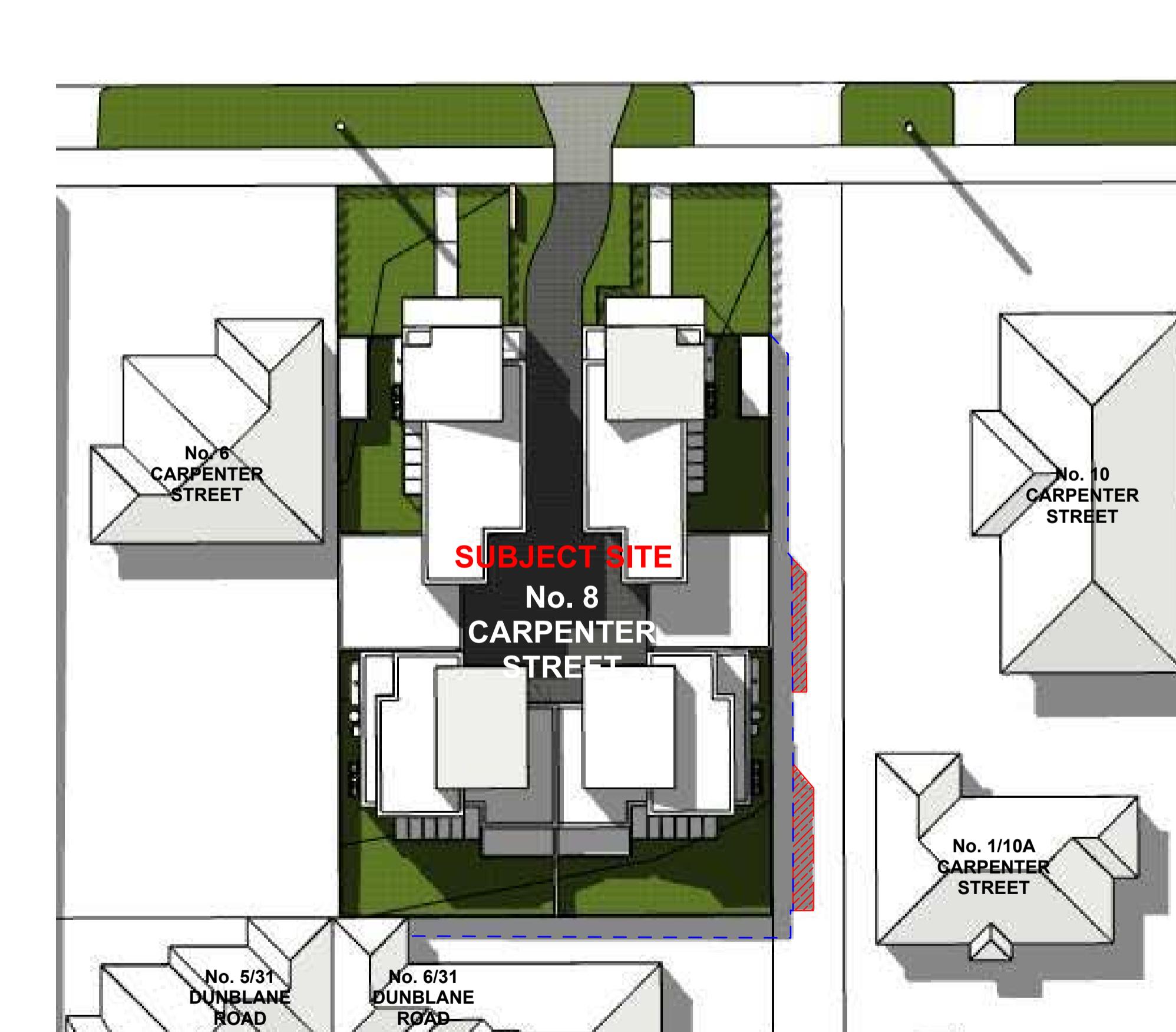
2 SHADOW DIAGRAM 11AM



3 SHADOW DIAGRAM 1PM



1 SHADOW DIAGRAM 9AM



4 SHADOW DIAGRAM 3PM

## LEGEND

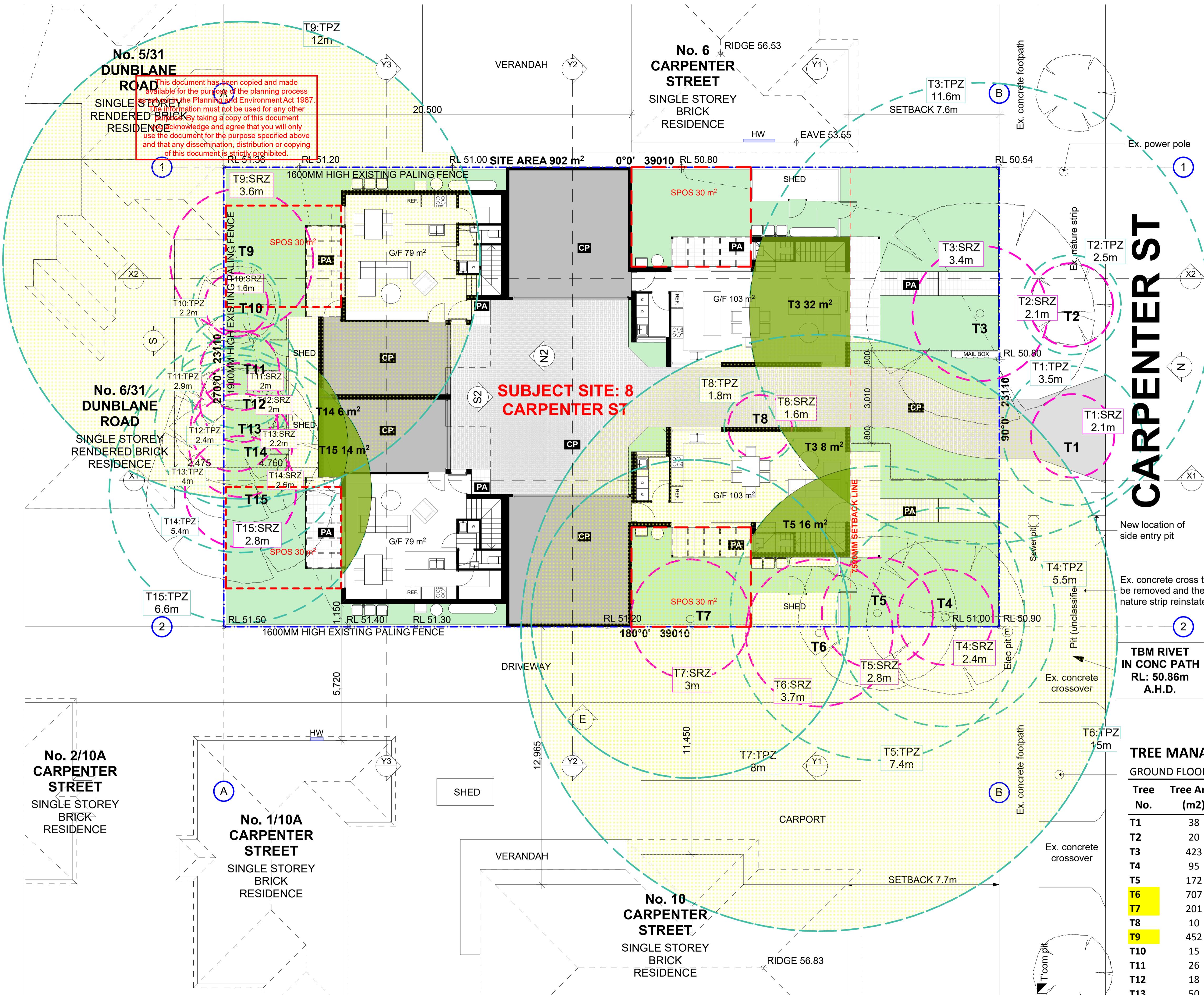
- Existing fence shadow line (blue dashed line)
- Proposed building works overshadow area (red hatched area)

<b>amendments:</b>	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	<b>project:</b> PROPOSED FIVE THREE-STOREY DWELLINGS <b>for:</b>	<b>address:</b> 8 CARPENTER ST NOBLE PARK VIC 3174	<b>architecture</b> K x Architecture Pty Ltd Suite 121, 121 Docklands Drive Docklands VIC 3008 Australia t: 03 9600 2152 e: studio@kxarchitecture.com w: www.kxarchitecture.com	<b>drawing title:</b> SHADOW DIAGRAMS - 22 SEP 9AM-3PM	date 19/03/2024	scale as shown	dwg no. TP13	rev. -
										drawn -	checked -			
N														
verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect														
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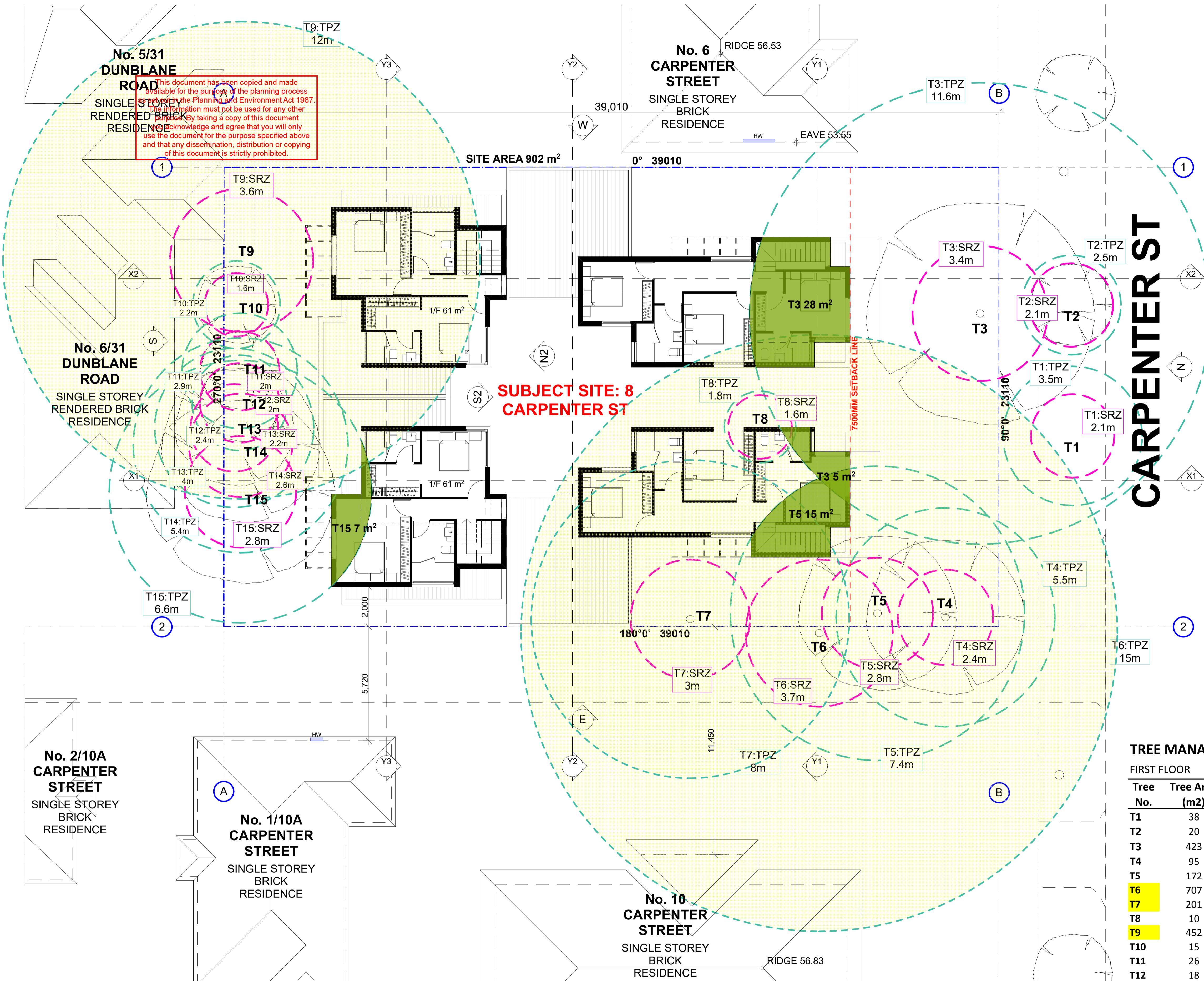
# TOWN PLANNING

## TREE MANAGEMENT - GROUND FLOOR

1:100



# TOWN PLANNING



**LEGEND**

- T1 Tree Number. Refer to Aborist Report
- TPZ - Tree Protection Zone
- SRZ - Structural Root Zone
- Existing Tree to be retained
- Existing Tree to be removed



## LEGEND - EXTERNAL FINISHES

- SW Scyon Cladding - White or similar
- B Brick - Light yellow
- R Rendered - white or similar
- M Metal Roof - White or similar
- G1 Framed Glass - Clear Glass
- G2 Framed Glass - Frosted Glass
- CP Permeable Interlocking Paving
- PA Permeable Pavers

## CARPENTER ST

### TREE MANAGEMENT

#### FIRST FLOOR

Tree No.	Tree Area (m <sup>2</sup> )	DBH(m)	Encroachment Area (m <sup>2</sup> )	Encroachment Percentage (%)	Remarks
T1	38	0.3	0	0%	To be removed
T2	20	0.2	0	0%	
T3	423	1.0	33	8%	
T4	95	0.5	0	0%	
T5	172	0.6	15	9%	
T6	707	1.3	64	9%	To be removed
T7	201	0.7	34	17%	To be removed
T8	10	0.2	5	49%	To be removed
T9	452	1.0	46	10%	To be removed
T10	15	0.2	0	0%	
T11	26	0.2	0	0%	
T12	18	0.2	0	0%	
T13	50	0.3	0	0%	
T14	92	0.5	0	0%	
T15	137	0.6	7	5%	

Diameter at Breast Height (DBH): 1.4m above ground level

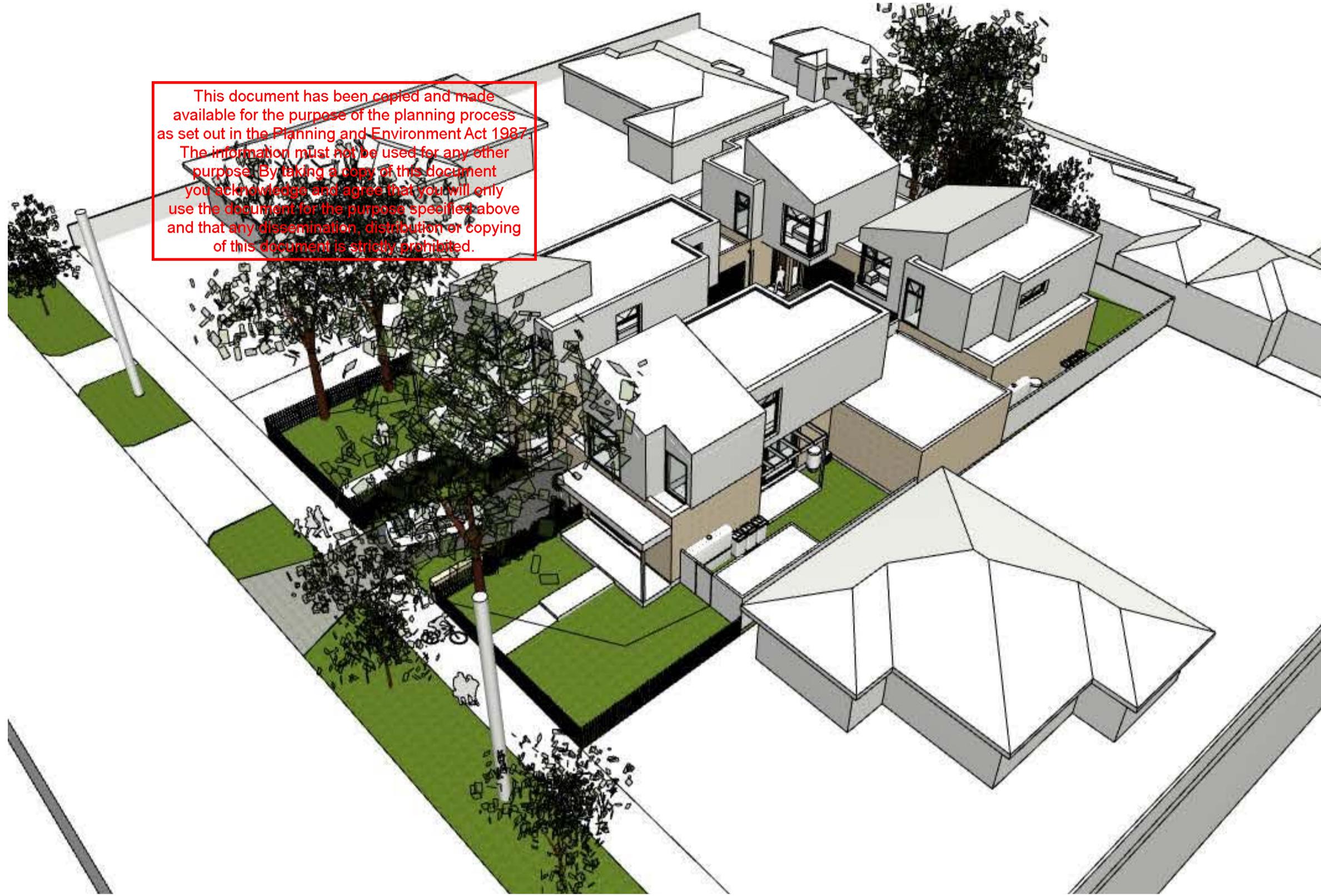
amendments:	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	project:	address:	architecture	drawing title:	date	scale	dwg no.	rev.
							PROPOSED FIVE THREE-STOREY DWELLINGS for:	8 CARPENTER ST NOBLE PARK VIC 3174	Kx architecture K x Architecture Pty Ltd Suite 121, 121a Docklands Drive Docklands VIC 3008 Australia t: 03 9600 2152 e: studio@kxarchitecture.com w: www.kxarchitecture.com	TREE MANAGEMENT - FIRST FLOOR	19/03/2024	as shown on A1	TP15	-

job No.:

21087

drawn checked  
Z  
verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect  
C copyright of architect

# TOWN PLANNING



2

PROPOSED AERIAL PERSPECTIVE 2



3

PROPOSED AERIAL PERSPECTIVE 3



1

PROPOSED AERIAL PERSPECTIVE 1



4

PROPOSED AERIAL PERSPECTIVE 4

<b>amendments:</b> <table border="1"> <tr> <th>DATE</th><th>REV</th><th>AMENDMENTS</th></tr> <tr> <td></td><td></td><td></td></tr> <tr> <td></td><td></td><td></td></tr> <tr> <td></td><td></td><td></td></tr> <tr> <td></td><td></td><td></td></tr> </table>	DATE	REV	AMENDMENTS													<b>project:</b> <b>PROPOSED FIVE THREE-STOREY DWELLINGS</b> <b>for:</b> -	<b>address:</b> <b>8 CARPENTER ST</b> <b>NOBLE PARK</b> <b>VIC 3174</b>	<b>architecture</b> <small>K x Architecture Pty Ltd Suite 121, 121a Docklands Drive Docklands VIC 3008 Australia t: 03 9600 2152 e: studio@kxarchitecture.com w: www.kxarchitecture.com</small>	<b>drawing title:</b> <b>PROPOSED AERIAL VIEWS</b>	<b>date</b> <b>19/03/2024</b>	<b>scale</b> <b>as shown on A1</b>	<b>dwg no.</b> <b>TP16</b>	<b>rev.</b> <b>-</b>
DATE	REV	AMENDMENTS																					
<b>drawn</b> -	<b>checked</b> -																						



1

EXTERNAL PERSPECTIVE- STREET VIEW 1

amendments:						project: PROPOSED FIVE THREE-STOREY DWELLINGS for: -	address: 8 CARPENTER ST NOBLE PARK VIC 3174	rchitecture ARCHITECTURE DESIGN PROJECT CONSULTATION K x Architecture Pty Ltd Suite 1211, 121 Docklands Drive Docklands VIC 3008 Australia t: 03 9600 2152 e: studio@kxarchitecture.com w: www.kxarchitecture.com	drawing title: PROPOSED PERSPECTIVE	date 19/03/2024	scale as shown on A1	dwg no. TP17	rev. -
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS								
									job No.:				
									21087				

# TOWN PLANNING



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EXTERNAL PERSPECTIVE- STREET VIEW 2

a m e n d m e n t s :						p r o j e c t :	a d d r e s s :	d r a w i n g t i t l e :	d a t e	s c a l e	d w g n o .	r e v .
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS							
						PROPOSED FIVE THREE-STOREY DWELLINGS	8 CARPENTER ST NOBLE PARK VIC 3174	PROPOSED PERSPECTIVE	19/03/2024	as shown on A1	TP18	-
						for:				drawn	checked	-
						-				verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect		
										c copyright of architect		

# TOWN PLANNING



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EXTERNAL PERSPECTIVE- STREET VIEW 3

a m e n d m e n t s :						p r o j e c t :	a d d r e s s :	d r a w i n g t i t l e :	d a t e	s c a l e	d w g n o .	r e v .
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS							
						PROPOSED FIVE THREE-STOREY DWELLINGS	8 CARPENTER ST NOBLE PARK VIC 3174	PROPOSED PERSPECTIVE	19/03/2024	as shown on A1	TP19	-
						for:				drawn	checked	-
						-				verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect		
										C copyright of architect		



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EXTERNAL PERSPECTIVE

a m e n d m e n t s :						project:	address:	d r a w i n g t i t l e :	date	scale	d w g n o .	rev.
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	PROPOSED FIVE THREE-STOREY DWELLINGS	8 CARPENTER ST NOBLE PARK VIC 3174	PROPOSED PERSPECTIVE	19/03/2024	as shown on A1	TP20	-
						for:	K x Architecture Pty Ltd Suite 1213, 1213 Docklands Drive Docklands VIC 3008 Australia t: 03 9600 2152 e: studio@kxarchitecture.com w: www.kxarchitecture.com		drawn	-	checked	
						-			verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect			
									C copyright of architect			



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EXTERNAL PERSPECTIVE

amendments:						project: PROPOSED FIVE THREE-STOREY DWELLINGS for: -	address: 8 CARPENTER ST NOBLE PARK VIC 3174	rchitecture K x Architecture Pty Ltd Suite 121, 121a Docklands Drive Docklands VIC 3008 Australia t: 03 9600 2152 e: studio@kxarchitecture.com w: www.kxarchitecture.com	drawing title: PROPOSED PERSPECTIVE		date 19/03/2024	scale as shown on A1	dwg no. TP21	rev. -
DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS				job No.: 21087	drawn -	checked -			
										verify all dimensions on site before commencing work or shop drawings and report any discrepancies to the architect				
										c copyright of architect				

