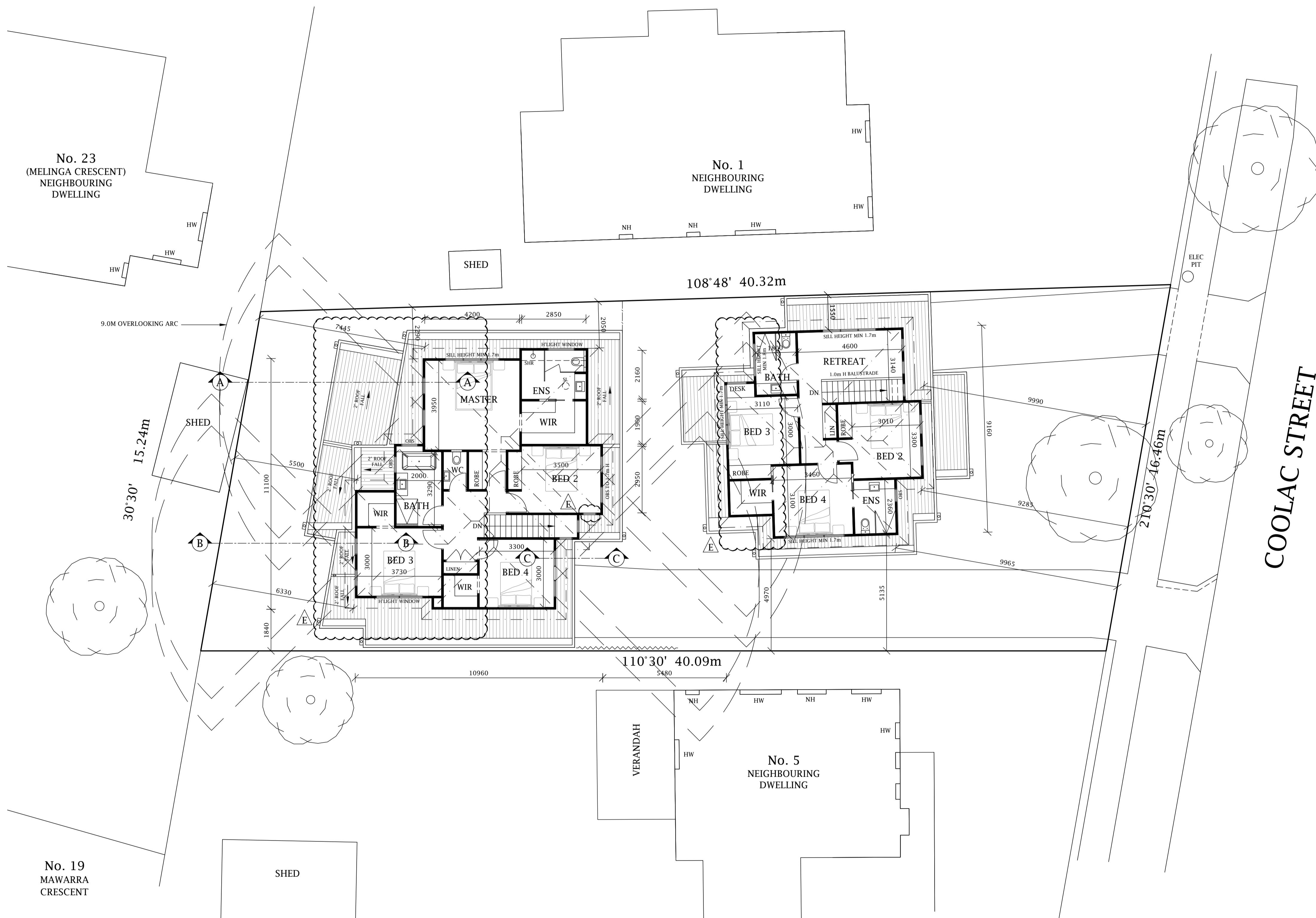


SITE ANALYSIS	
SITE AREA:	626.0 m ²
UNIT 1 (PROPOSED)	
GROUND FLOOR	75.0 m ²
FIRST FLOOR	69.5 m ²
GARAGE	23.5 m ²
PORCH	7.0 m ²
ALFRESCO	10.5 m ²
TOTAL (INCLUDING ALFRESCO)	185.5 m ² (19.95 SQ)
SPOS:	35.5 m ²
POS: (BACK)	52.5 m ²
POS: (FRONT)	72.5 m ²
UNIT 2 (PROPOSED)	
GROUND FLOOR	122.0 m ²
FIRST FLOOR	96.5 m ²
GARAGE	27.5 m ²
PORCH	2.5 m ²
ALFRESCO	20.0 m ²
TOTAL (INCLUDING ALFRESCO)	268.5 m ² (28.9 SQ)
SPOS:	87.5 m ²
POS:	101.5 m ²
SITE COVER (MAX 50%)	288.0 m ² (46.0%)
DRIVEWAY	180.5 m ²
TOTAL HARD SURFACE	390.5 m ² (62.4%)
GARDEN AREA (MIN 30%)	213.0 m ² (34.0%)
(EXCLUDES COVERED AREAS AND GARDEN BEDS LESS THAN 1.0m WIDE)	

LEGEND	
■	DENOTES EXISTING WALL
■	DENOTES NEW WALL
■	DENOTES HABITABLE ROOM
■	DENOTES WINDOWS
■	DENOTES NON-HABITABLE ROOM
■	DENOTES SITE LEVELS TO THE AUSTRALIAN HEIGHT DATUM
■	DENOTES SIGHT LINE TRIANGLE. MAX ALLOWABLE HEIGHT 900mm FOR ALL LANDSCAPING, STRUCTURES INCLUDING FENCES, LETTER BOXES & METER BOXES WITHIN TRIANGLE/SPLAY

TREE SCHEDULE		
■	EXISTING TREE TO BE REMOVED	EXISTING TREE TO BE RETAINED
■	PROPOSED TREE/PROPOSED SHRUB	
■ DENOTES TREE NUMBER. REFER TO TREE REPORT BY MELBOURNE ARBORIST REPORTS FOR FURTHER INFORMATION		

ADVERTISED COPY - CITY OF MONASH
This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act.
The document must not be used for any purpose which may breach copyright.



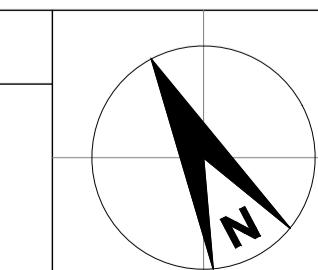
PROPOSED FIRST FLOOR PLAN

SCALE: 1:100 @ A1



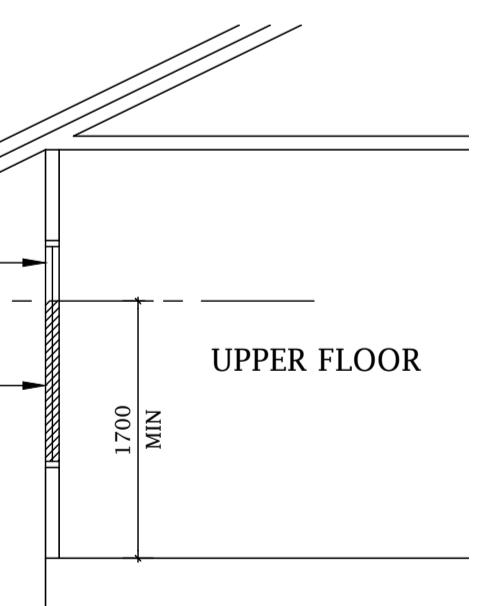
COPYRIGHT 2024
***ALL PLANS AND DESIGNS ARE COPYRIGHT OF DREAMSCAPE DRAFTING AND MAY NOT BE COPIED WHOLLY OR PARTIALLY BE ADDED TO, OR BE DISTRIBUTED WITHOUT EXPRESS WRITTEN PERMISSION BY DREAMSCAPE DRAFTING. PLANS AND DESIGNS CAN ONLY BE USED UPON THE SUBJECT SITE AND ONCE ALL INVOICES TO DREAMSCAPE DRAFTING HAVE BEEN RECEIVED IN FULL.**

DATE:	REVISION:
05/02/24	A: AMENDED AS PER S54
28/03/24	B: FURTHER AMENDMENTS AS PER COUNCIL REQUEST
16/04/24	C: UNIT 1 REDESIGNED
23/08/24	D: PLANS UPDATED AS PER PLANNING PERMIT CONDITIONS
05/12/24	E: UNIT 1 & 2 FIRST FLOOR DESIGN CHANGES



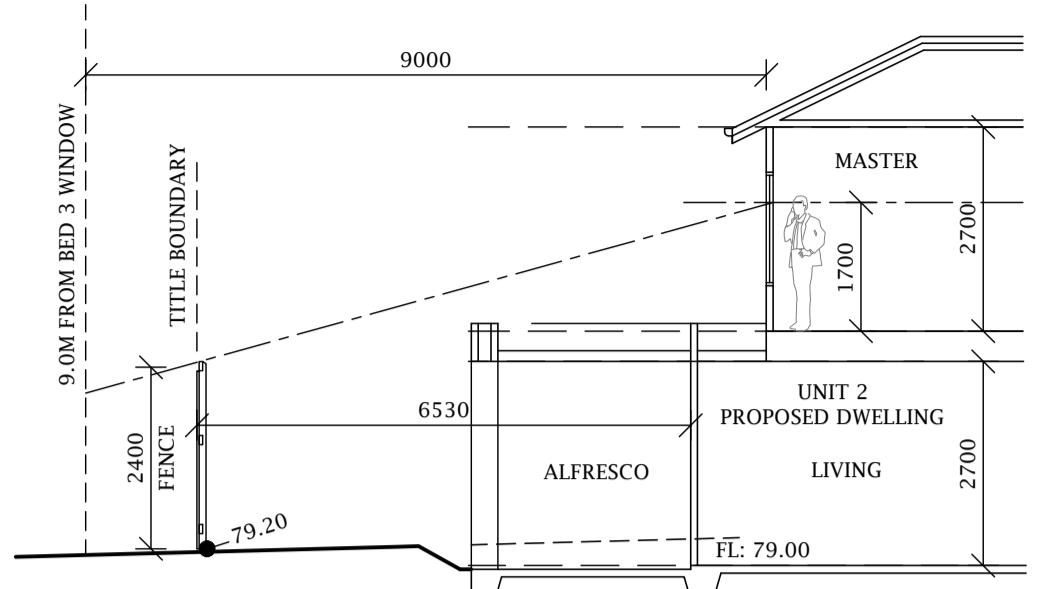
PROPOSED 2 UNIT DEVELOPMENT AT 3 COOLAC STREET, CHADSTONE

<u>DATE:</u>	06/12/24	<u>CLIENT:</u>	BURHAN	<u>SCALE:</u>	AS SHOWN
<u>ISSUE:</u>	S72 AMENDMENT	<u>DESIGN:</u>	J.D.	<u>PAGE No.</u>	2 OF 3



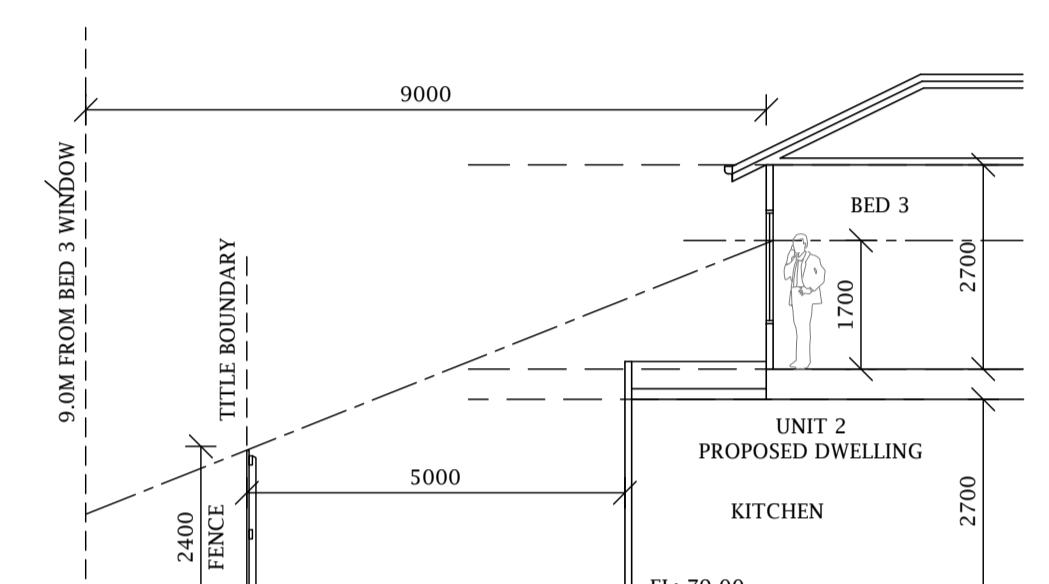
WINDOW SCREENING DETAIL

WINDOW SCALES



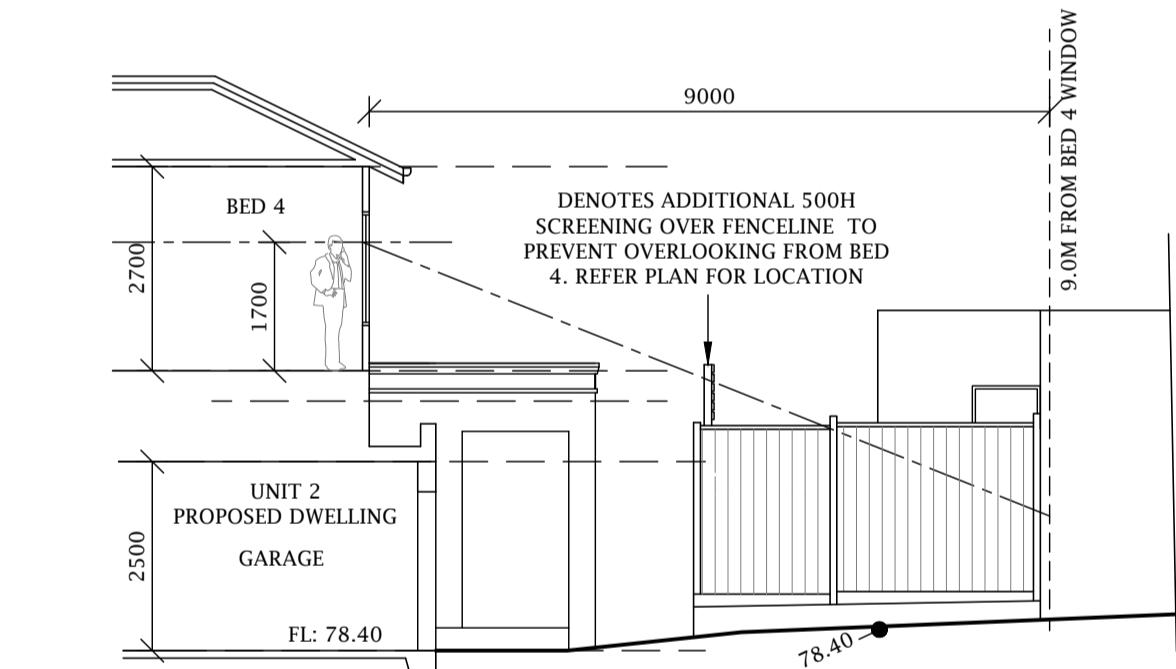
OVERLOOKING SECTION A - A

SCALE: 1:100 @ A1



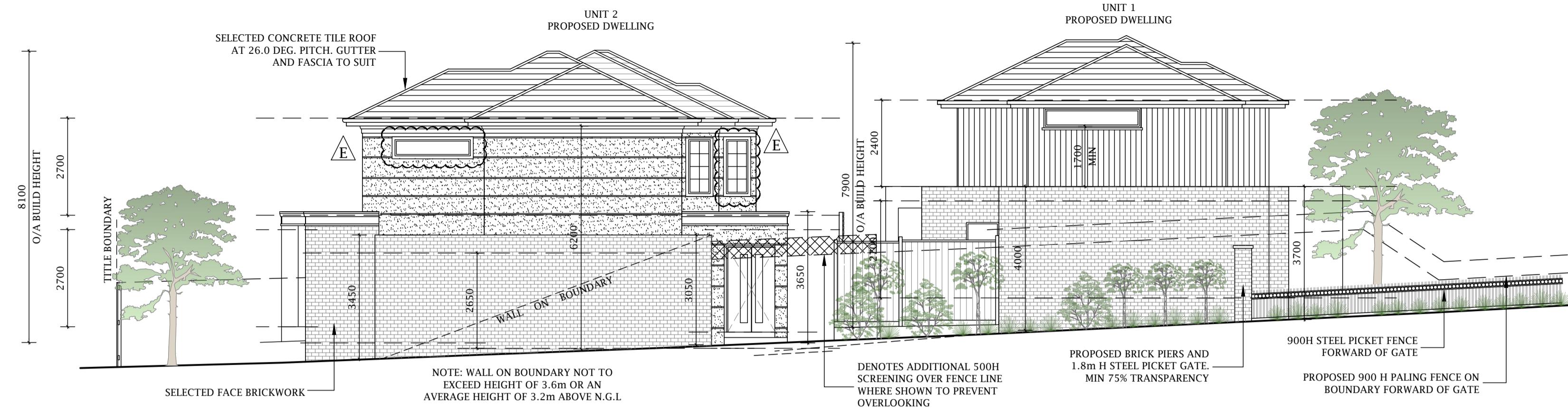
OVERLOOKING SECTION B - B

SCALE: 1:100 @ A1



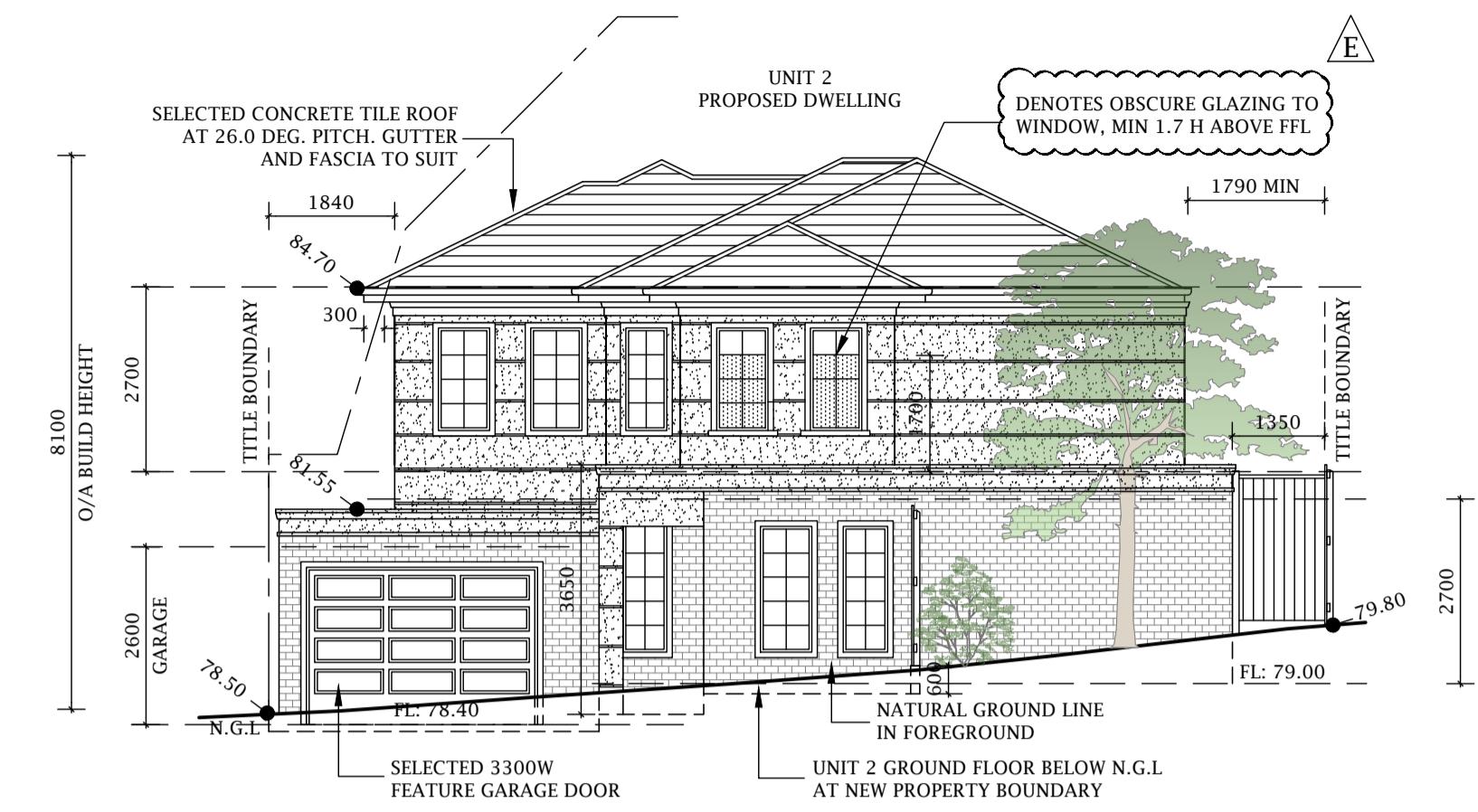
OVERLOOKING SECTION C - C

SCALE: 1:100 @ A



SOUTH ELEVATION

SCALE: 1:100 @ A



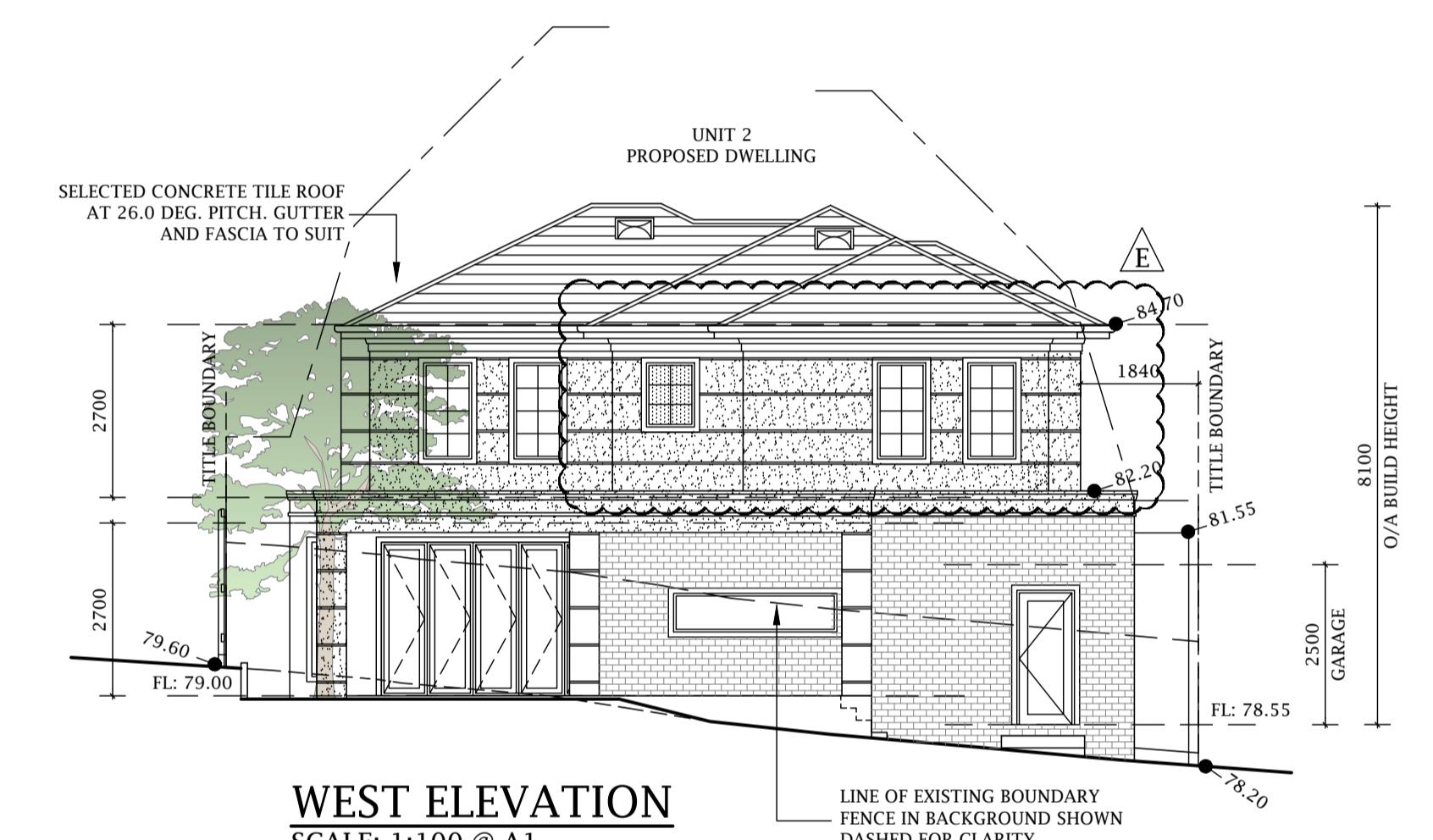
EAST ELEVATION - UNIT 2

SCALE: 1:100 @ A1



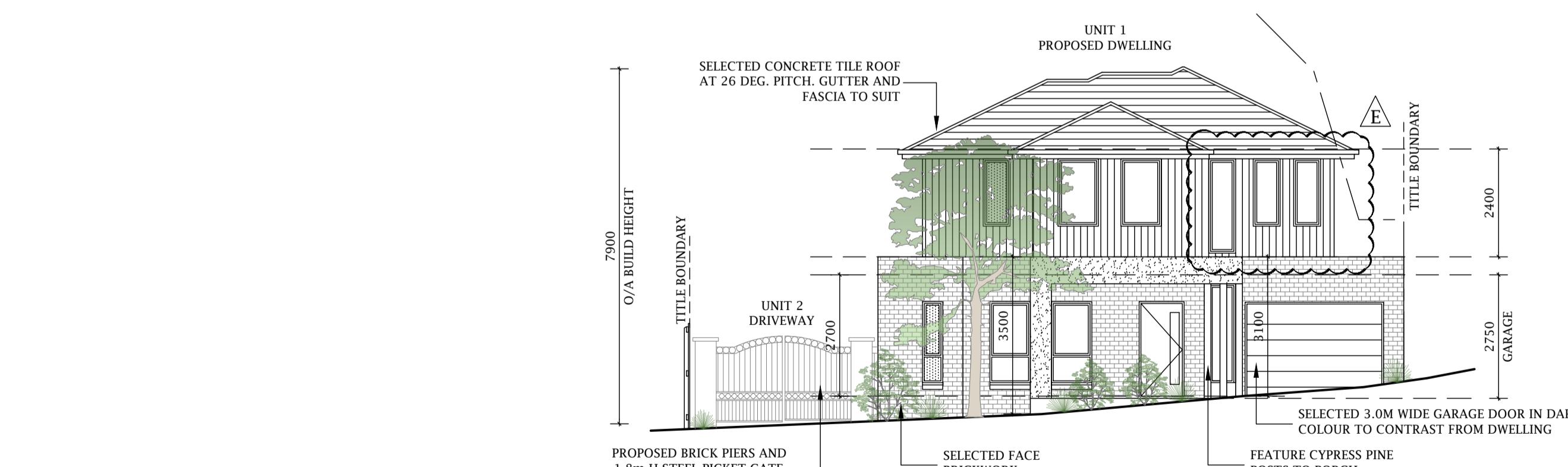
NORTH ELEVATION

SCALE: 1:100 @ A



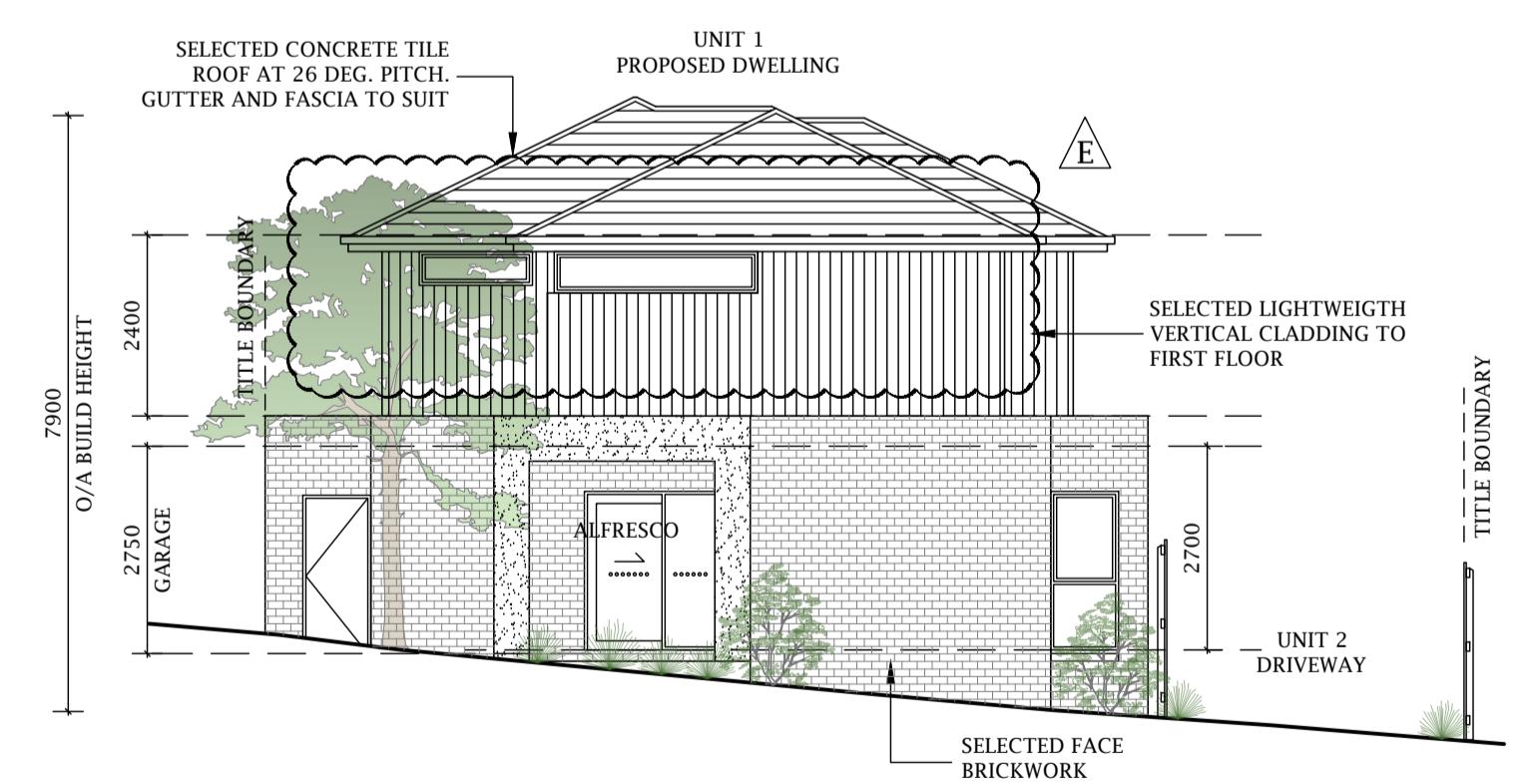
WEST ELEVATION

SCALE: 1:100 @ A1



EAST ELEVATION - UNIT 1

SCALE: 1:100



WEST ELEVATION - UNIT 1

SCALE: 1:100 @ A