

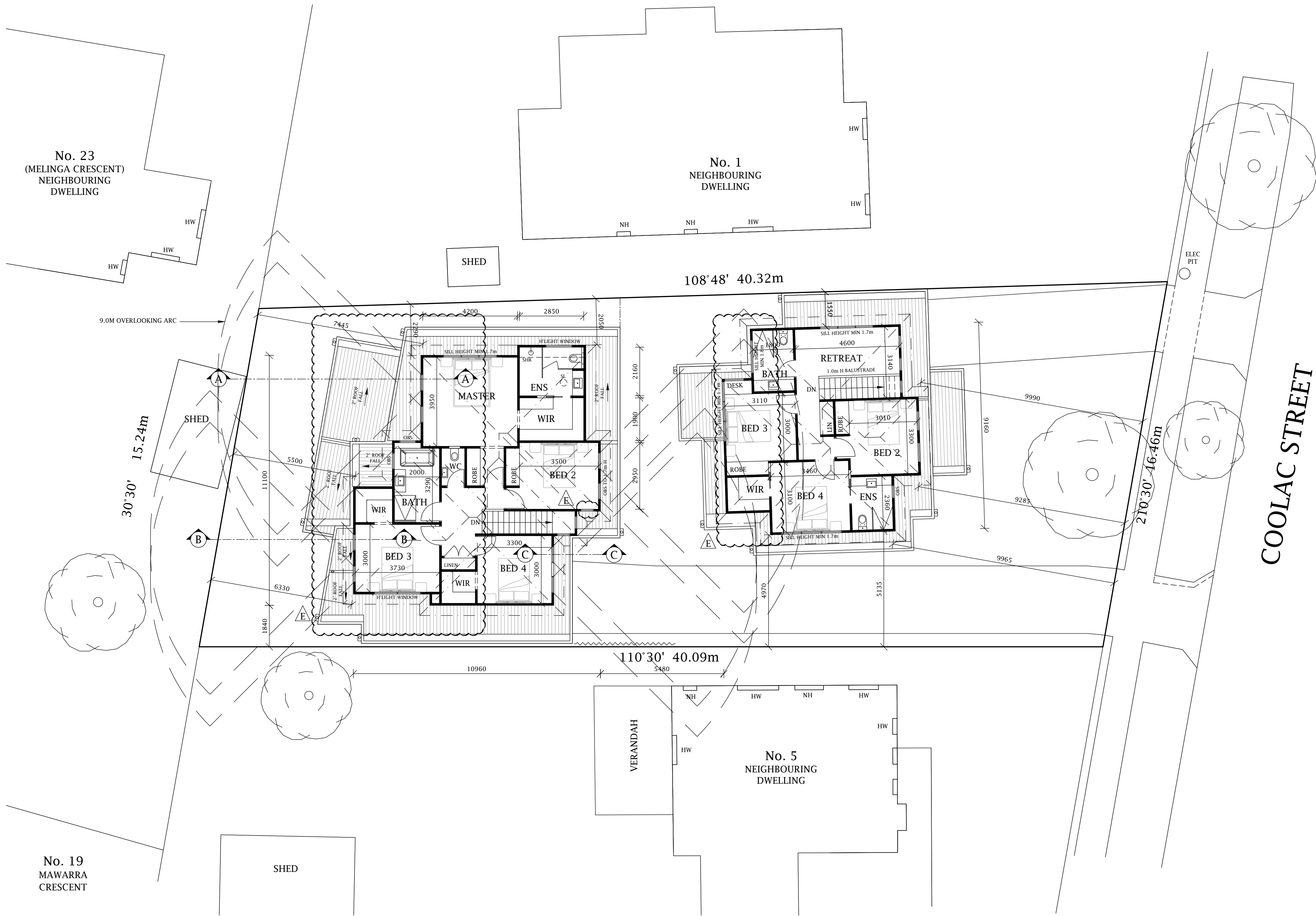
SITE ANALYSIS	
SITE AREA:	626.0 m ²
UNIT 1: (PROPOSED)	
GROUND FLOOR	75.0 m ²
FIRST FLOOR	69.5 m ²
GARAGE	23.5 m ²
PORCH	7.0 m ²
ALFRESCO	10.5 m ²
TOTAL (UNCLUDING ALFRESCO)	185.5 m ² (19.95 SQ)
SPOS:	35.5 m ²
POS: (BACK)	52.5 m ²
POS: (FRONT)	72.5 m ²
UNIT 2: (PROPOSED)	
GROUND FLOOR	122.0 m ²
FIRST FLOOR	96.5 m ²
GARAGE	27.5 m ²
PORCH	2.5 m ²
ALFRESCO	20.0 m ²
TOTAL (UNCLUDING ALFRESCO)	268.5 m ² (28.9 SQ)
SPOS:	87.5 m ²
POS:	101.5 m ²
SITE COVER (MAX 50%)	288.0 m ² (46.0%)
DRIVEWAY	102.5 m ²
TOTAL HARD SURFACE	390.5 m ² (62.4%)
GARDEN AREA (MIN 30%) (EXCLUDES COVERED AREAS AND GARDEN BEDS LESS THAN 1.0m WIDE)	213.0 m ² (34.0%)

LEGEND	
	DENOTES EXISTING WALL
	DENOTES NEW WALL
	DENOTES HABITABLE ROOM WINDOWS
	DENOTES NON-HABITABLE ROOM WINDOWS
	DENOTES SITE LEVELS TO THE AUSTRALIAN HEIGHT DATUM
	DENOTES SIGHT LINE TRIANGLE. MAX ALLOWABLE HEIGHT 900mm FOR ALL LANDSCAPING & STRUCTURES (INCLUDING FENCES, LETTER BOXES & METER BOXES) WITHIN TRIANGLE/SPRAY

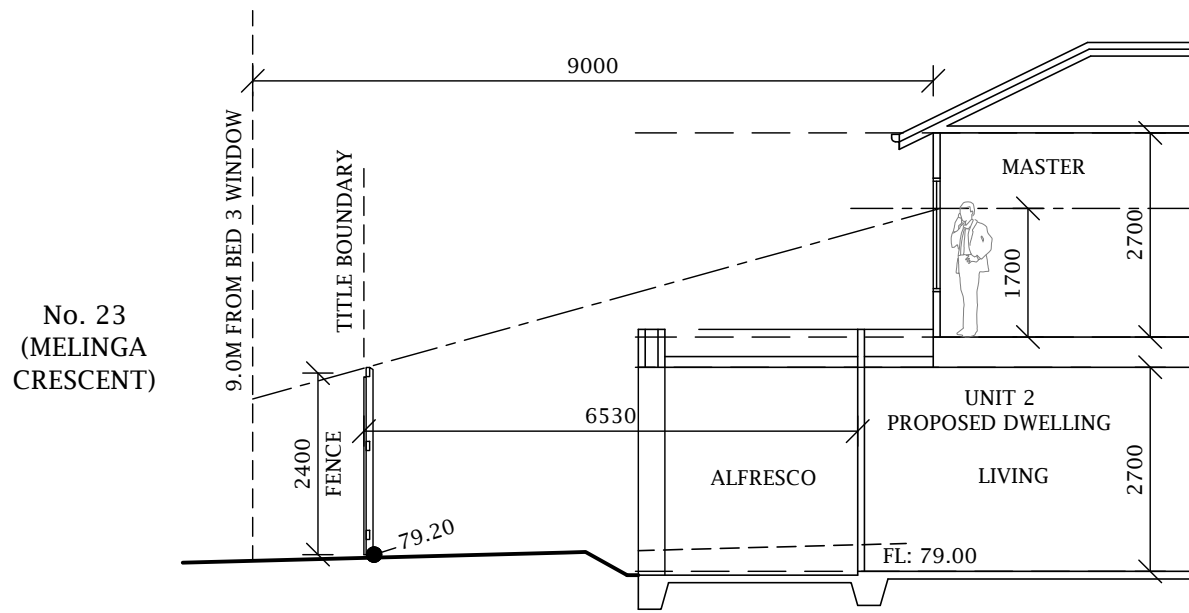
TREE SCHEDULE	
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE RETAINED
	PROPOSED TREE/PROPOSED SHRUB
#T1 DENOTES TREE NUMBER. REFER TO TREE REPORT BY 'MELBOURNE ARBORIST REPORTS' FOR FURTHER INFORMATION	

PROPOSED GROUND FLOOR PLAN
SCALE: 1:100 @ A1

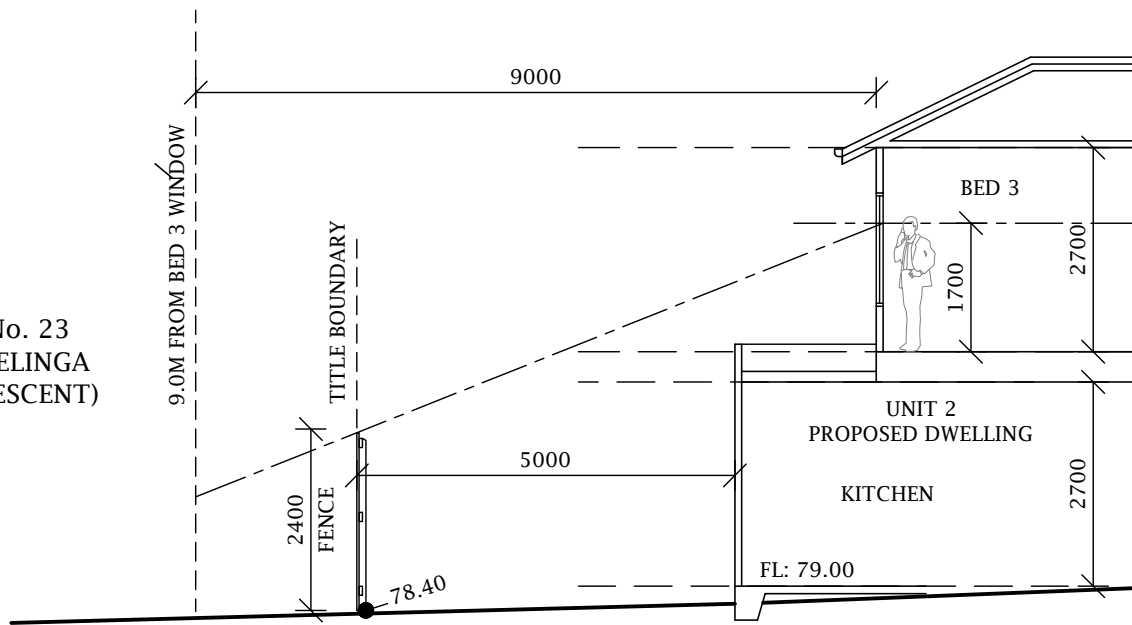
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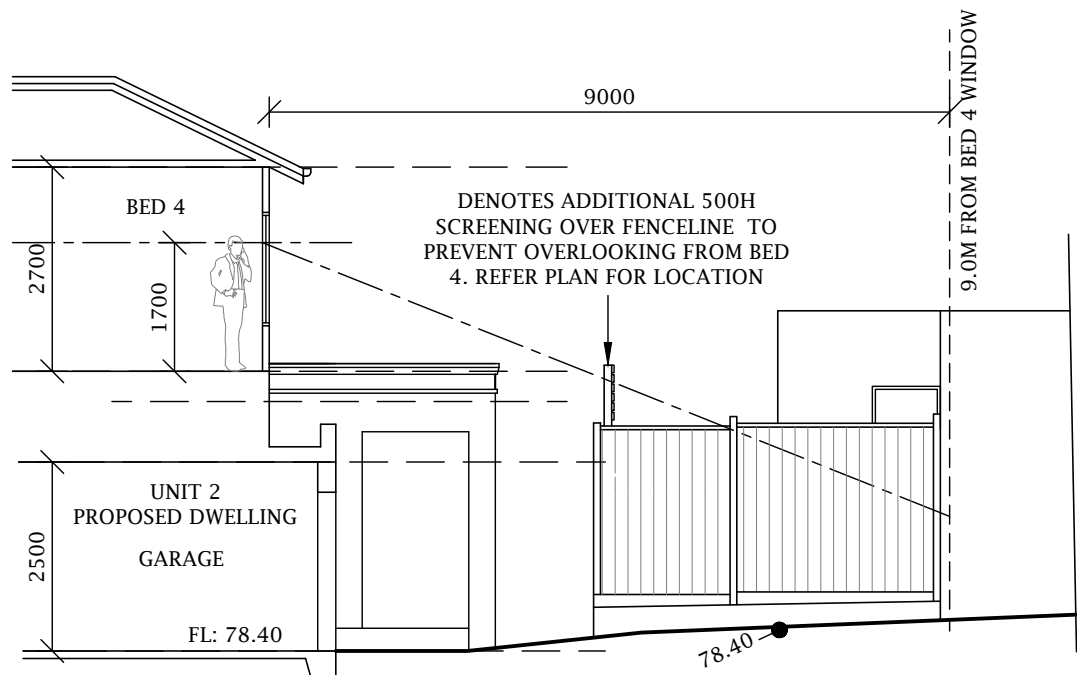
PROPOSED FIRST FLOOR PLAN
SCALE: 1:100 @ A1



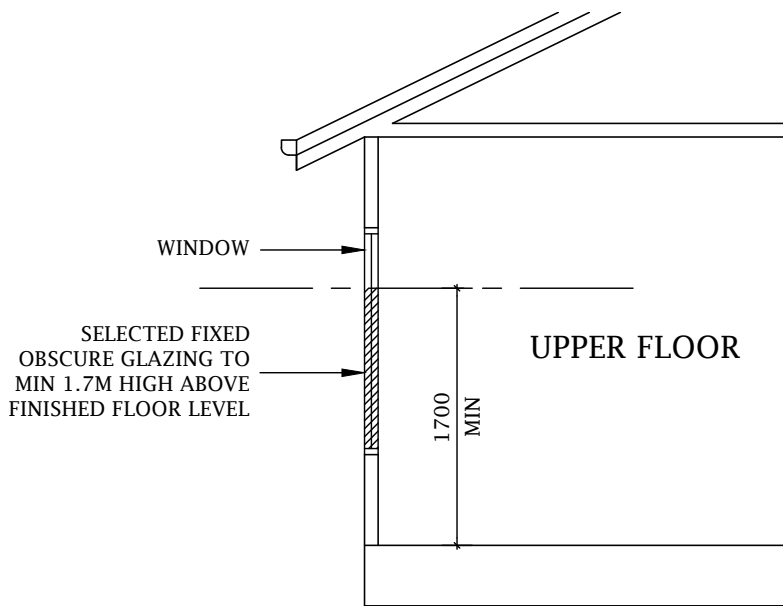
OVERLOOKING SECTION A - A
SCALE: 1:100 @ A1



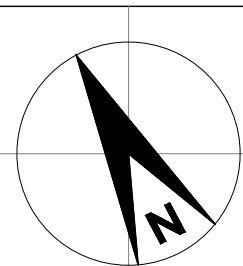
OVERLOOKING SECTION B - B
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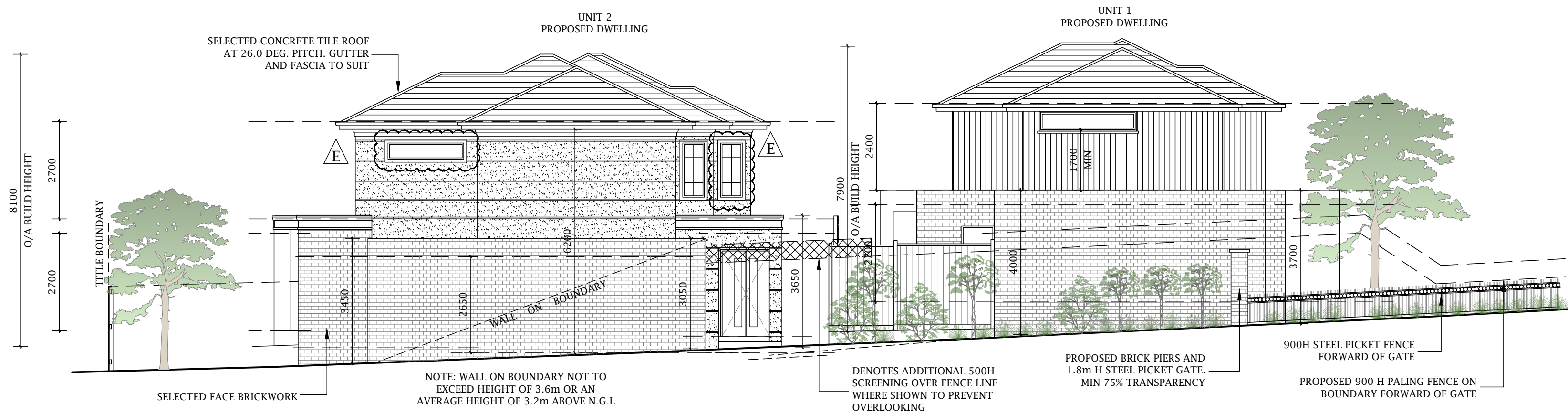


OVERLOOKING SECTION C - C
SCALE: 1:100 @ A1

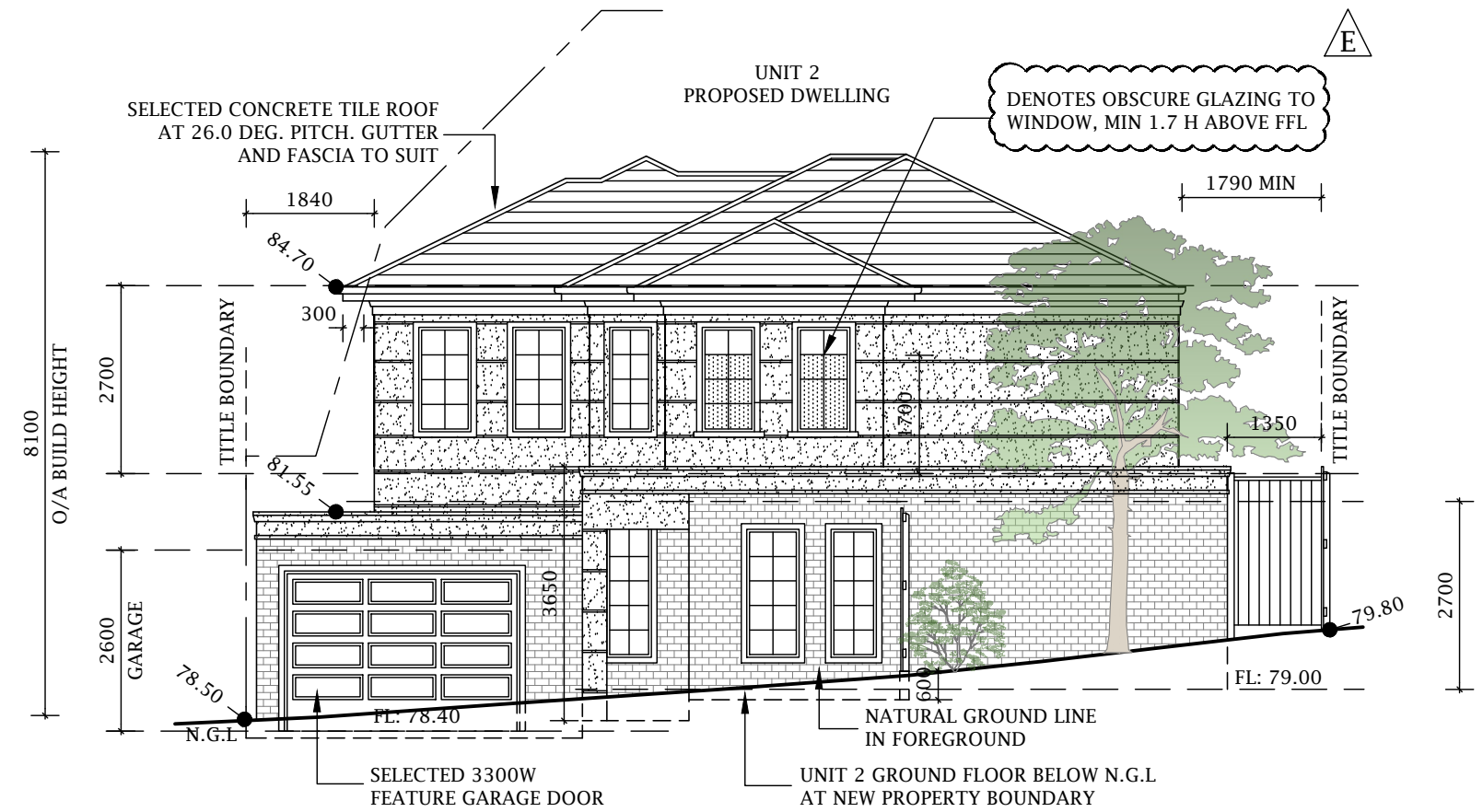


WINDOW SCREENING DETAIL
SCALE: 1:50 @ A1





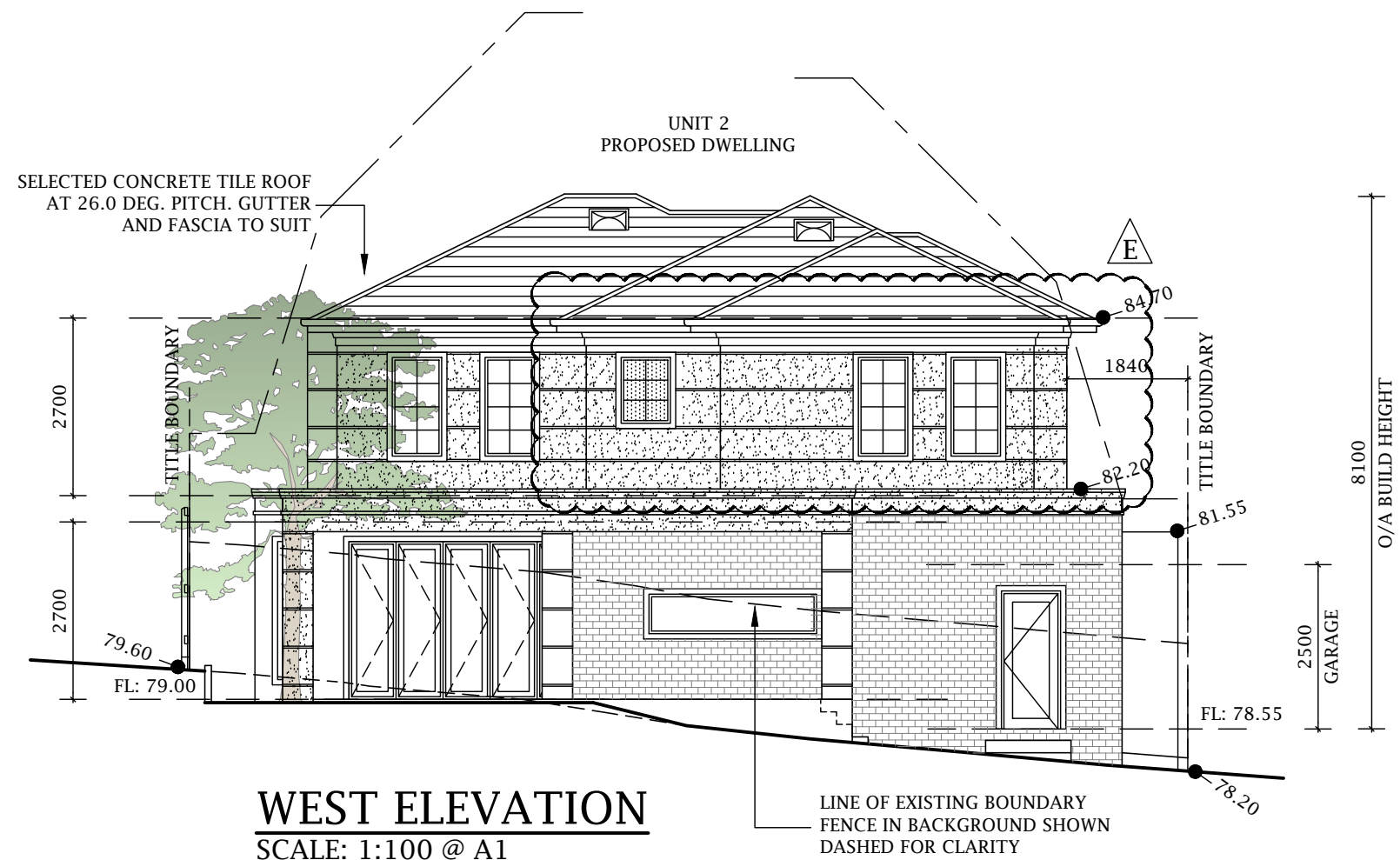
SOUTH ELEVATION
SCALE: 1:100 @ A1



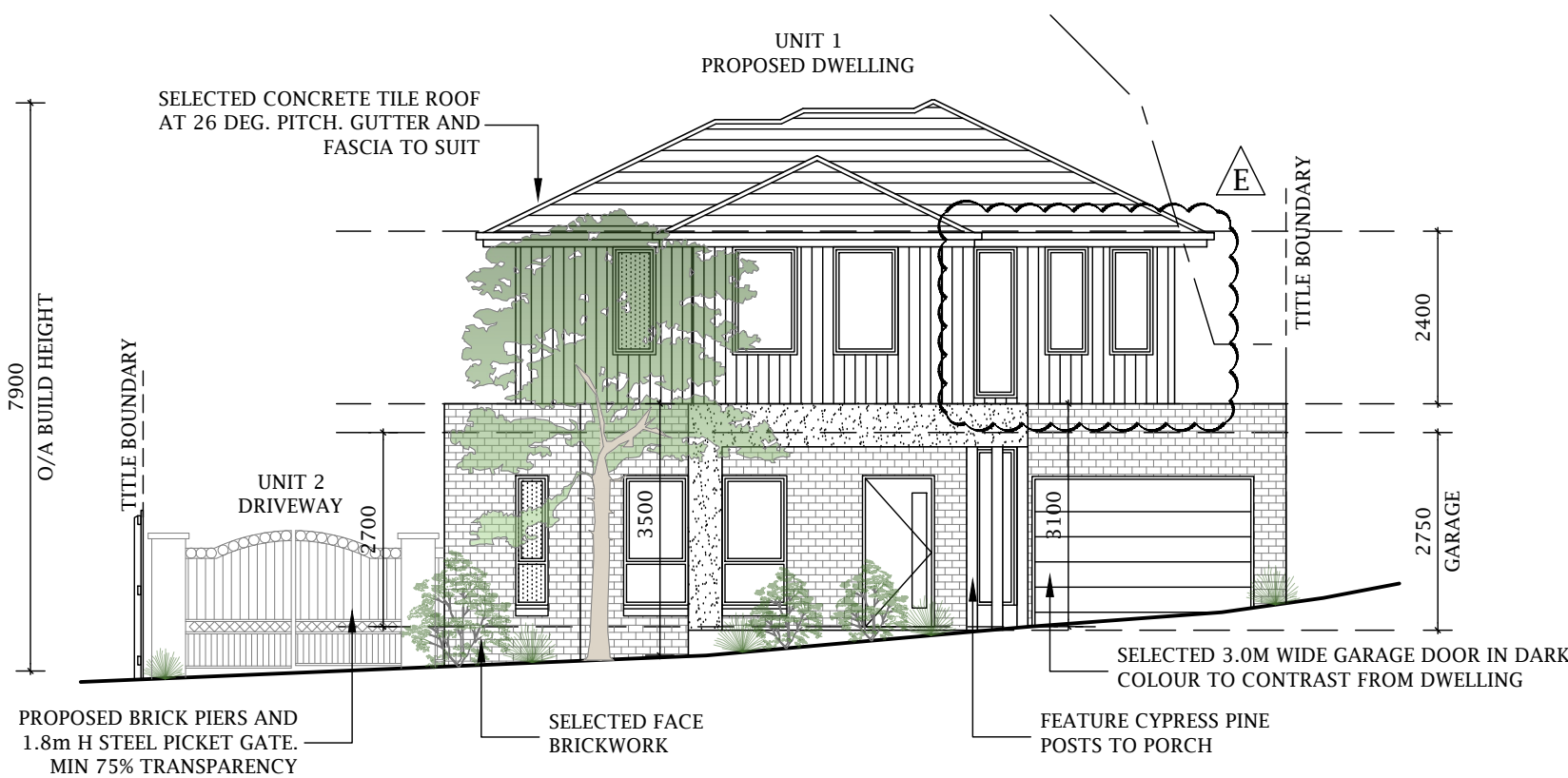
EAST ELEVATION - UNIT 2
SCALE: 1:100 @ A1



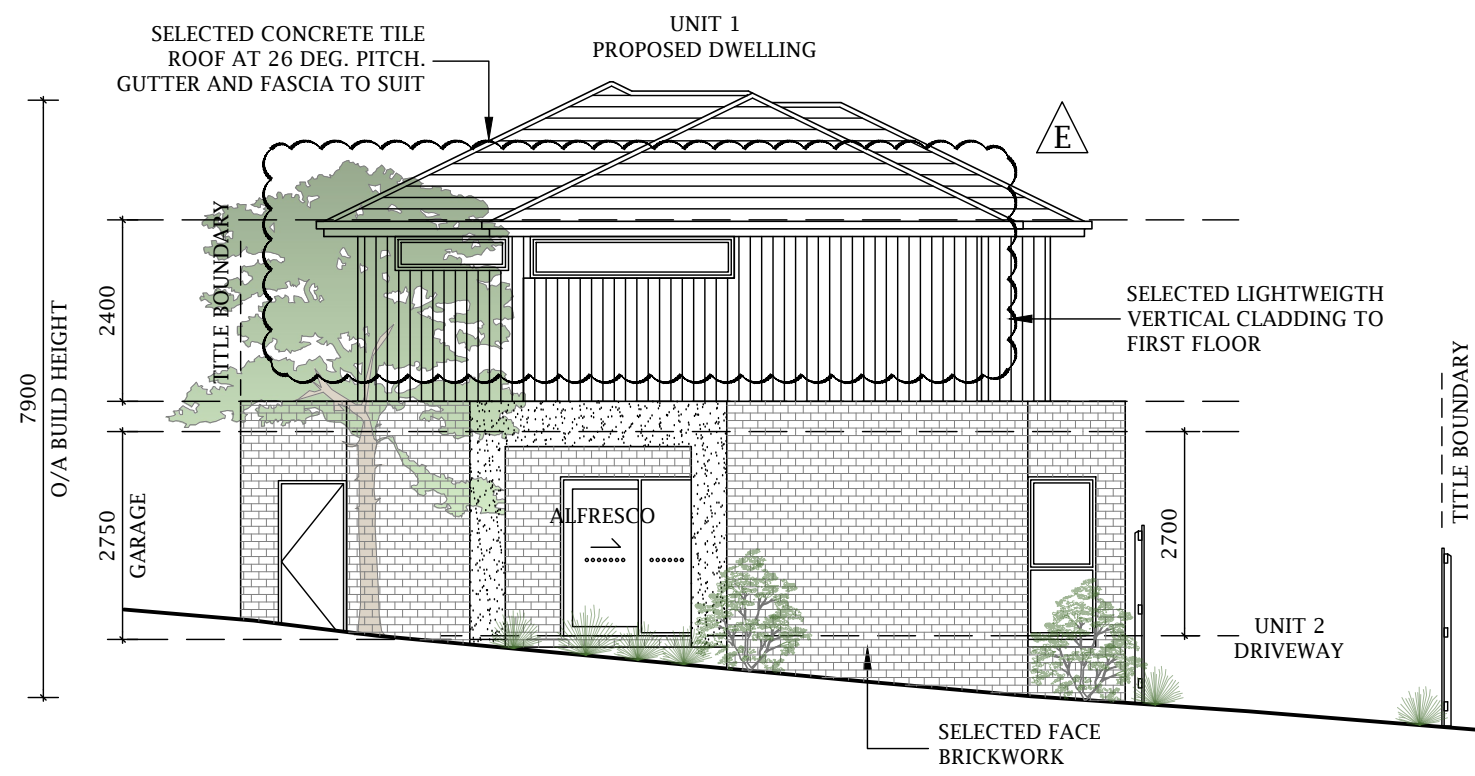
NORTH ELEVATION
SCALE: 1:100 @ A1



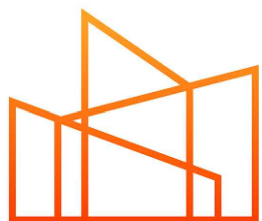
WEST ELEVATION
SCALE: 1:100 @ A1



EAST ELEVATION - UNIT 1
SCALE: 1:100 @ A1



WEST ELEVATION - UNIT 1
SCALE: 1:100 @ A1



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DATE:

05/02/24
28/03/24
16/04/24
23/08/24
05/12/24

REVISION:

A: AMENDED AS PER S54
B: FURTHER AMENDMENTS AS PER COUNCIL REQUEST
C: UNIT 1 REDESIGNED
D: PLANS UPDATED AS PER PLANNING PERMIT CONDITIONS
E: UNIT 1 & 2 FIRST FLOOR DESIGN CHANGES

PROPOSED 2 UNIT DEVELOPMENT AT 3 COOLAC STREET, CHADSTONE

DATE:	06/12/24	CLIENT:	BURHAN	SCALE:	1:100 @ A1
ISSUE:	S72 AMENDMENT	DESIGN:	J.D	PAGE No.	3 OF 3