

# ADVERTISED COPY

Section 63, 64, 64A and 86 Reg 22  
Form 4

## PLANNING PERMIT

Permit No.: **TPA/55739**  
Planning Scheme: **Monash Planning Scheme**  
Responsible Authority: **Monash City Council**

## ADDRESS OF THE LAND

36 Calembeena Avenue HUGHESDALE VIC 3166

## THE PERMIT ALLOWS

Part demolition and construction of buildings and works to an existing dwelling in a Heritage Overlay

Planning Scheme Clause No.	Description of what is allowed
43.01-1	Demolish or remove a building Construct a building or construct or carry out works

## THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT

### Amended Plans

1. Before the development starts, amended plans drawn to scale and correctly dimensioned must be submitted to the satisfaction of and approved by the Responsible Authority. When approved, the plans will be endorsed and then form part of the Permit. The plans must be generally in accordance with the plans submitted to Council prepared by Dawes Design and Drafting Group, dated 18 July 2024 (Issue F), but modified to show:
  - a) The front fence to be constructed of a brick base with brick pillars and flat top timber picket inserts to a maximum height of 1.2m. Timber picket inserts must be at a minimum of 25 per cent transparent.
  - b) The garage façade depicted as to be retained, or to be depicted as retained with the widening of the garage opening. If the garage door opening is to be widened, then a replica custom tilt panel garage door is to be utilised.
  - c) The brickwork on the façade to be accurately depicted.
  - d) Elevation demolition plans.
  - e) A roof plan.

all to the satisfaction of the Responsible Authority.

Page 1 of 4

Date issued:  
24 September 2024

Signature for the  
Responsible Authority:



# PLANNING PERMIT

No. TPA/55739

## Layout not to be Altered

2. The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

## Compliance with documents approved under this permit

3. At all times what the permit allows must be carried out in accordance with the requirements of any document approved under this permit to the satisfaction of the responsible authority.

## Demolition

4. Prior to the commencement of the development, including demolition, a report prepared by a suitably qualified Structural Engineer, or equivalent, must be submitted to the Responsible Authority, demonstrating the means by which the retained portions of the building will be supported during demolition and construction works to ensure their retention, to the satisfaction of the Responsible Authority. The recommendations contained within this report must be implemented at no cost to the City of Monash and be to the satisfaction of the Responsible Authority.

## Completion of Buildings and Works

5. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.

## Permit Expiry

6. In accordance with section 68 of the *Planning and Environment Act 1987*, this permit will expire if one of the following circumstances applies:

a) The development is not started before 2 years from the date of issue.

b) The development is not completed before 4 years from the date of issue.

In accordance with section 69 of the *Planning and Environment Act 1987*, the responsible authority may extend the periods referred to if a request is made in writing before the permit expires, or

(i) within six (6) months afterwards if the development has not commenced; or

(ii) within twelve (12) months afterwards if the development has not been completed.

Council and the Victorian Civil and Administrative Tribunal are unable to approve requests outside of the relevant time frame.

Page 2 of 4

Date issued:  
24 September 2024

Signature for the  
Responsible Authority:



# PLANNING PERMIT

No. TPA/55739

NOTES-

- A. The permit application was not assessed against the provisions of Clause 54 – One Dwelling on a Lot (Rescode) of the Monash Planning Scheme. It is the responsibility of the applicant/owner to appoint a Registered Building Surveyor to determine compliance pursuant to the Building Regulations. Non-compliance with Rescode provisions will require dispensation from Council's Building Services Department.
- B. Building permit approval must be obtained prior to the commencement of the approved works.
- C. Prior to the issue of a building permit, the owner must obtain the consents of all relevant authorities for any buildings or works, including any paving, fences and landscaping, over any easement or underground services under the control of a public authority including sewers, drains, pipes, wires or cables.
- D. No work must be commenced in, on, under or over the road reserve without having first obtaining all necessary approval under the Road Management Act 2004, the Road Safety Act 1986, and any other relevant acts or regulations created under those Acts.
- E. The full cost of reinstatement of any Council assets affected by the demolition, building or construction works, must be met by the permit applicant or any other person responsible for such works, to the satisfaction of the Responsible Authority.
- F. Any request for a variation of this Permit shall be lodged with the relevant fee as determined under the Planning & Environment (Fees) Regulations 2016.
- G. Any request for time extension of this Permit shall be lodged with the relevant administration fee at the time the request is made.

## IMPORTANT INFORMATION ABOUT THIS NOTICE

### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

### CAN THE RESPONSIBLE AUTHORITY AMEND THIS PERMIT?

The Responsible Authority may amend this permit under Division 1A of Part 4 of the Planning and Environment Act 1987.

### WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

### WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if-

- the development or any stage of it does not start within the time specified in the permit, or
- the development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act 1988* and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
- the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the *Subdivision Act 1988*.

2. A permit for the use of land expires if-

- the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
- the use is discontinued for a period of two years.

3. A permit for the development and use of land expires if-

- the development or any stage of it does not start within the time specified in the permit; or
- the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
- the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
- the use is discontinued for a period of two years.

4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the Planning and Environment Act 1987, or to any combination of use, development or any of those circumstances requires the certification of a plan under the *Subdivision Act 1988*, unless the permit contains a different provision -

- the use or development of any stage is to be taken to have started when the plan is certified; and
- the permit expires if the plan is not certified within two years of the issue of the permit.

5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

### WHAT ABOUT REVIEWS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of appeal exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on an application for review form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- A copy of an application for review must also be served on the responsible authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.

## General Notes:

It is the builder's responsibility to read and understand all notes prior to construction.

### INTELLECTUAL PROPERTY AND USE OF THIS DOCUMENT

The document has been prepared for the exclusive use of [client] (the designer), for the purpose expressly noted on the designer. Any other person who uses or relies on these plans without the designer's written consent does so at their own risk and accepts full responsibility for any damage or loss that may result from their use.

The designer's written consent is required for any changes to drawings, details and information provided by the consultant named herein, and with any other written instructions issued in the course of the contract.

### MATERIALS AND TRADE PRACTICES

• Building materials and work practices shall comply with but not be limited to the current issue of Insert name of state/territory building regulations & year, National Construction Code 2022 Building Code Of Australia Vol. 2 (hereafter referred to as BCA), and all relevant current Australian Standards referred to therein.

• Work and site management practices shall comply with all relevant laws and regulations.

• If any building surveyor or a project manager or supervisor has approved or signed off any relevant building surveyor/building certifier as meeting BCA performance requirements prior to implementation or installation.

• Installation of all services shall comply with the respective supply authority's requirements.

### VARIATIONS

• Should any conflict arise between these plans and BCA, Australian Standards or a manufacturer's instructions, this discrepancy shall be reported immediately to the designer, before any other action is taken.

• The client and/or the client's builder shall not modify or amend the plans without the knowledge and consent of the designer, except where the [relevant building surveyor/building certifier] makes minor necessary changes to facilitate the building permit application, and where such changes are reported back to the designer within 48 hours of their making.

• The designer is responsible for the design of any substitute material, work practice or the like is not an endorsement for its use or contract variation. Any variations and/or substitutions to materials or work practices shall be accepted by all parties to the building contract and, where applicable, the relevant building surveyor/building certifier prior to implementation.

### MEASUREMENTS

• Figure dimensions take precedence over scale dimensions.

• Unless otherwise specified, dimensions on floor plans, sections and external elevations represent timber frame and structural members, not finished linings/caddies.

• Window sizes are nominal only. Actual sizes may vary according to manufacturer.

• The client and/or the client's builder shall check and verify all dimensions, setbacks, levels, specifications, and all other relevant documentation prior to the commencement of any works. Report all discrepancies to the designer for clarification.

### SITE PROTECTION DURING THE CONSTRUCTION PERIOD

• The builder shall take all steps necessary to ensure the safety and general water tightness of all new and/or existing structures during all works.

• Where required by council, the builder shall construct temporary fences placed over the site.

• All protective measures shall be taken to prevent any waste products from entering any watercourse, or any other area of environmental sensitivity, or any construction waste recovery service, or sent to a transport/recycling facility.

• A fence shall be provided around the site of the placement and around all soil stockpiles and storm water inlets/pits/umps and 'silt stop' filter bags or equivalent shall be placed over storm water entry pits. Erosion control fabric shall be placed over garden beds to prevent surface erosion.

• Dust suppression shall be provided to prevent dust from being carried by wind.

• Waste materials shall not be placed in any street, road or right of way.

• Earthworks shall be carried out in accordance with BCA 3.2.1.

• Cut and fill barriers shall comply with BCA Table 3.2.1.

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• Subfloor ventilation shall be provided in accordance with BCA 10.8.1.

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• Where a building is located in a termite-prone area, the building shall be provided with a termite management system compliant with AS3660.1 or AS3660.2.

• All plastic membranes shall be installed to comply and be in accordance with BCA 10.8.1.

• Gutters and downpipes shall be supplied and fitted in accordance with BCA 7.3.2.

• Air conditioning equipment shall be installed in accordance with BCA 7.3.2.

• Downpipes with weepholes and cavity flashings shall be installed in accordance with BCA 7.3.2.

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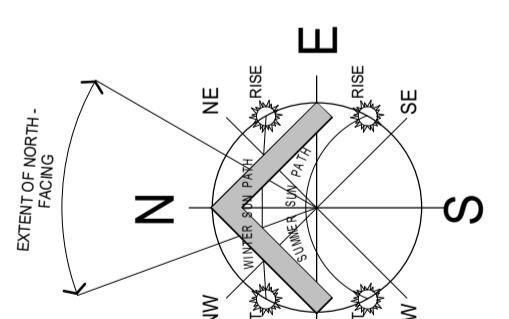
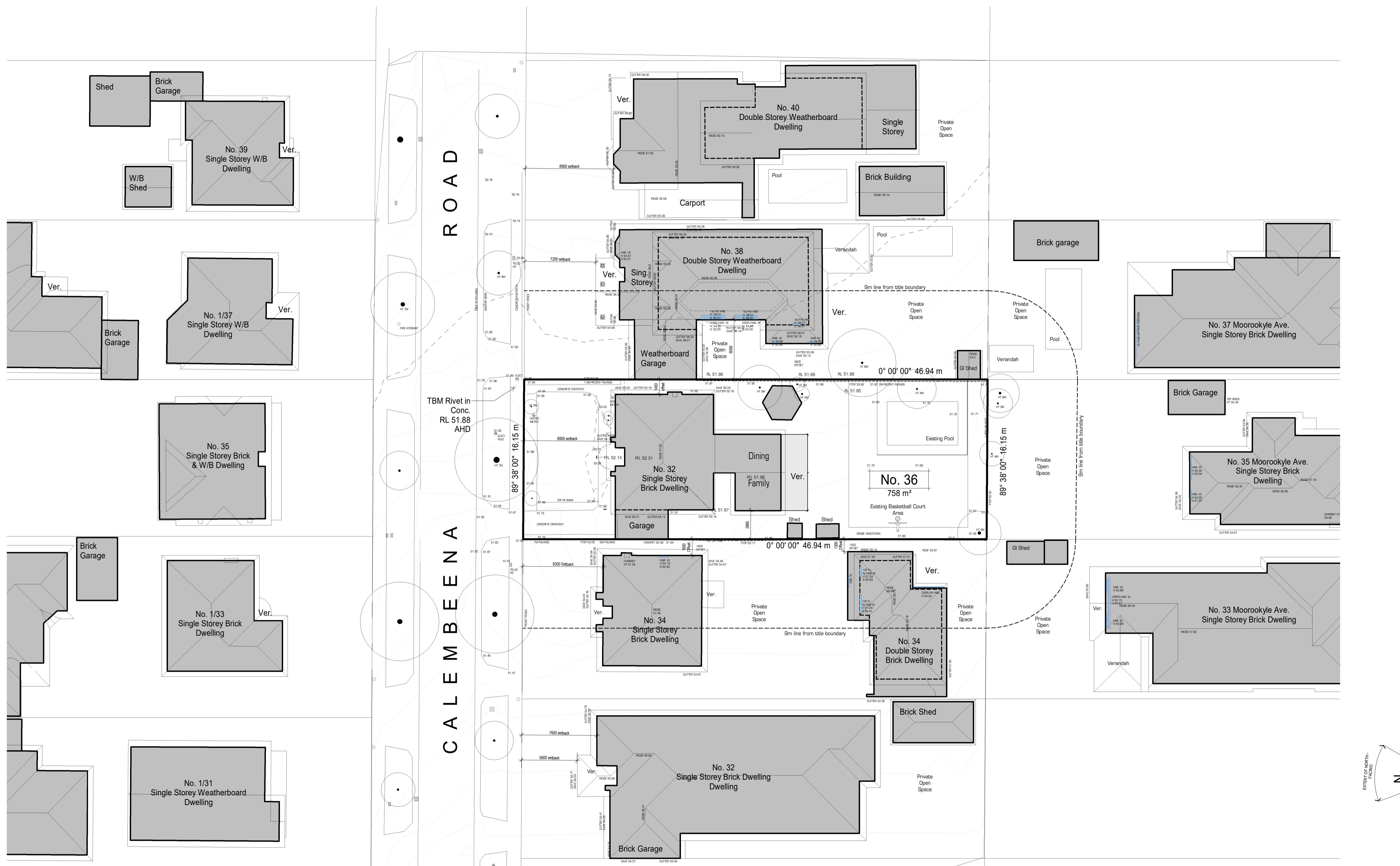
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• Earthworks shall be carried out in accordance with BCA 3.2.1.

• Cut and fill barriers shall comply with BCA Table 3.2.1.

• Subfloor ventilation shall be provided in accordance with



## Site Context Plan

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SCALE 1 : 200

## General Notes:

These drawings shall be read in conjunction with all relevant structural and all other consultants drawings/details and with any other written instructions issued in the course of the contract. Site plan measurements in metres – all other measurements in millimetres u.n.o. Figured dimensions take precedence over scaled dimensions.

The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.

These plans have been prepared for the exclusive use by the Client of **Dawes Design & Drafting Group** ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.

where applicable the Relevant Building Surveyor prior to implementing the said variation.

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CONTRACTORS MUST VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS OR SHOP DRAWINGS. ANY DISCREPANCIES TO BE REPORTED FOR CLARIFICATION. ALL WORKS TO BE IN ACCORDANCE WITH THE BCA AND ALL AUSTRALIAN STANDARDS.



# DAWES

DESIGN & DRAFTING GROUP

**P.O BOX 824 BERWICK, VICTORIA 3806 P.**

**CLIENT / PROJECT:** **SABA ADDITION PROJECT:**

**ADDRESS:** No. 36 Calembeena Road,  
Hughesdale Victoria 3166

**DATE:** 9 January 2023

P.O BOX 824 BERWICK, VICTORIA 3806 P. 03 8738 8135 ADMIN@DAWESDESIGN.COM.AU

CLIENT / PROJECT: **SABA ADDITION PRO**  
ADDRESS: No. 36 Calembeena Road

ADDRESS: No. 36 Calembenea Road,  
Hughesdale Victoria 3166

DRAWING: 01 C-1000-PL

DRAWING: **Site Context Plan**

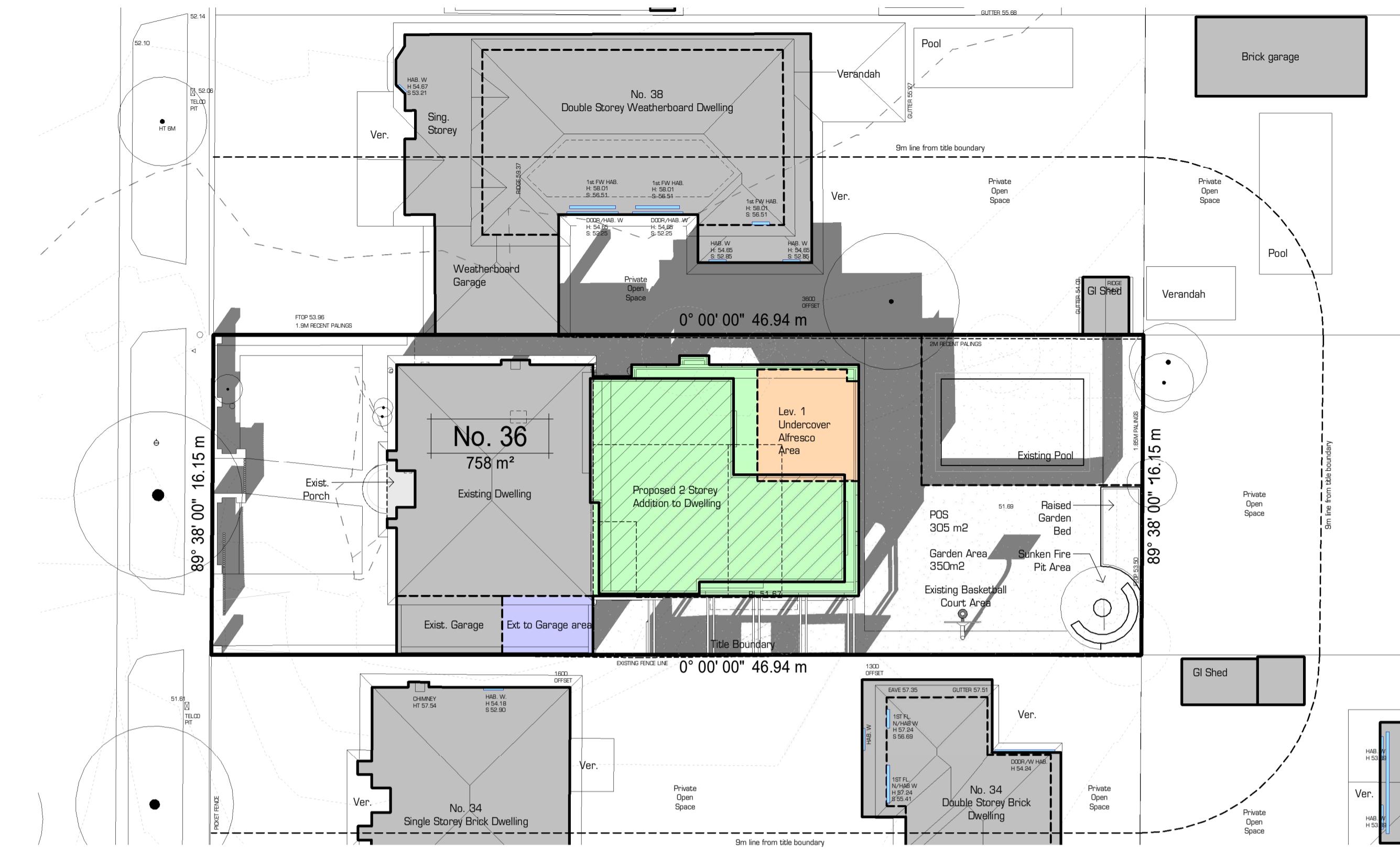
Town Planning Issues 5 - 18/03/2024





**Shadow Plan - 10am**

SCALE 1 : 200



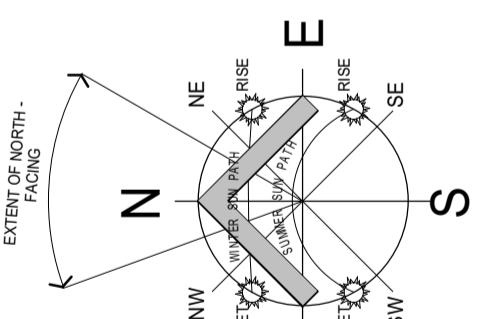
**Shadow Plan - 3pm**

SCALE 1 : 200



**Shadow Plan - 12pm**

SCALE 1 : 200



Lot:  
PS:  
Parish:  
Volume:  
Folio:  
Area:

Lot 105 (No. 36)  
LP 6430  
-  
-  
-  
758 m<sup>2</sup>

**Rescode Legend:**

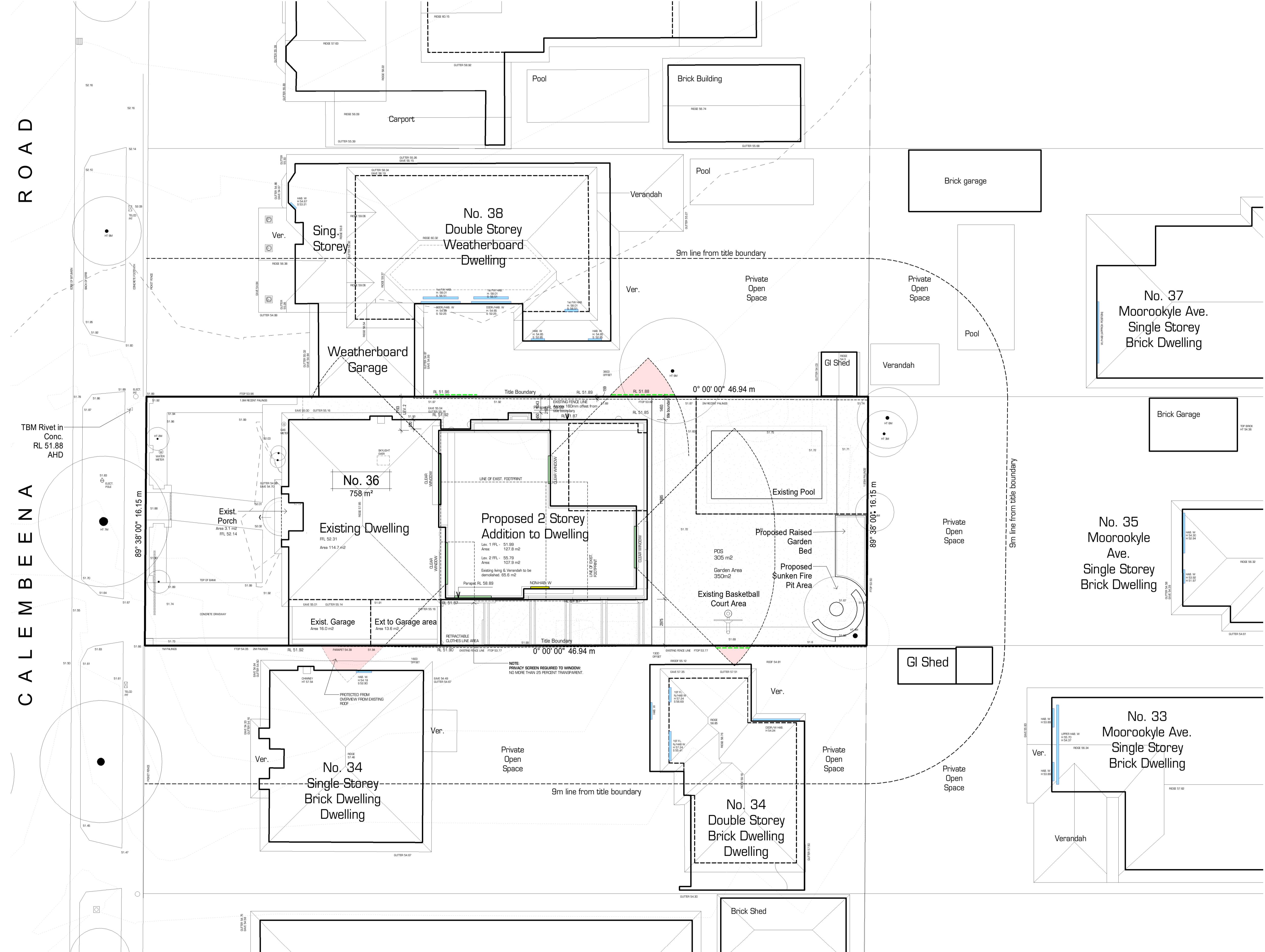
- SPOS** LOCATION OF NEIGHBOURING SHELDED PRIVATE OPEN SPACE
- POS** LOCATION OF RECREATIONAL PRIVATE OPEN SPACE
- PO** LOCATION OF PRIVATE OPEN SPACE 25m<sup>2</sup> MIN
- PS** LOCATION OF PERMEABLE SURFACE
- HAB** LOCATION OF NEIGHBOURING HABITABLE ROOM WINDOW
- NH** LOCATION OF NEIGHBOURING NON HABITABLE ROOM WINDOW

No.	Revision Description	Date:

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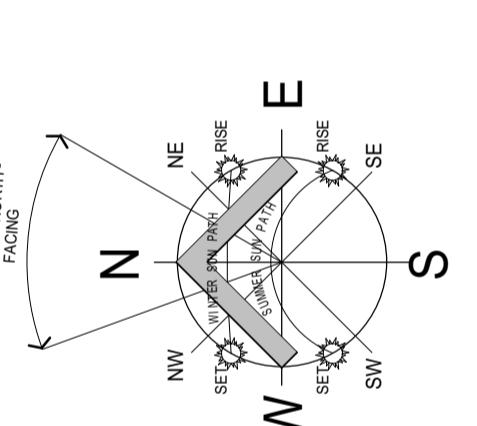
## Overlooking Plan

SCALE 1 : 125

ROAD

CALEMBENA

No.	Revision Description	Date:



## Overlooking Notes:

Site plan measurements in metres - all other measurements in millimetres u.n.o. Figured dimensions take precedence over scaled dimensions. The Building Surveyor shall check and verify dimensions, setbacks, levels, locations and other relevant information prior to the preparation of the plans. Retain all dimensions for clarity.

Every proposed window, balcony, terrace, deck or patio, with a direct view into existing habitable room windows (not over 1.8m high) must be screened prior to the preparation of the plans. Retain all dimensions for clarity.

Any habitable room window, balcony, terrace, deck or patio, with a direct view into existing habitable room windows (not over 1.8m high) must be screened prior to the preparation of the plans. Retain all dimensions for clarity.

Provide screening where FFL exceeds 0.8m at boundary line with either:

Screen Type 1: Permanently fixed external screens to fencing with 25 percent open max to top of 1800mm fence max height of 2500mm as per BCA. (refer screen notes)

Screen Type 2: Where all windows are less than 1.7m above finished floor level.

Screen Type 3: Where fixed, obscure glazing in any part of the window below 1.7m above finished for level. Obscure glazing in any part of the window below 1.7m above finished floor level, provided that there are no direct views as specified in the notes.

Screen Type 4: Where permanently fixed external screens to at least 1.7m above finished floor level and be no more than 25% translucent.

Screen Notes:

(a) To obscure a view should be:

(b) Perforated panels or trellis with a maximum of 25% openings or solid translucent panels.

(c) Selected materials & colours to blend in with the development.

## Overlooking & Shadow Legend:

EXISTING ADJOINING BUILDINGS	
HAB. WINDOW	LOCATION OF HABITABLE ROOM WINDOWS ON PROPOSED DEVELOPMENT THAT OVERLOOK ADJOINING PROPERTY
HAB. WINDOW	LOCATION OF HABITABLE ROOM WINDOWS ON PROPOSED DEVELOPMENT THAT ARE PROTECTED FROM OVERVIEW
NH. WINDOW	LOCATION OF NON-HABITABLE WINDOWS
HABITABLE	LOCATION OF NEIGHBOURING HABITABLE ROOM WINDOW
NH.	LOCATION OF NEIGHBOURING NON-HABITABLE ROOM WINDOW
	INDICATES EXTENT OF OVERLOOKING BY DEVELOPMENT, WHICH IS TO BE PROTECTED FROM OVERVIEW BY SCREENING



## Level 1 - Demolition

SCALE 1 : 100

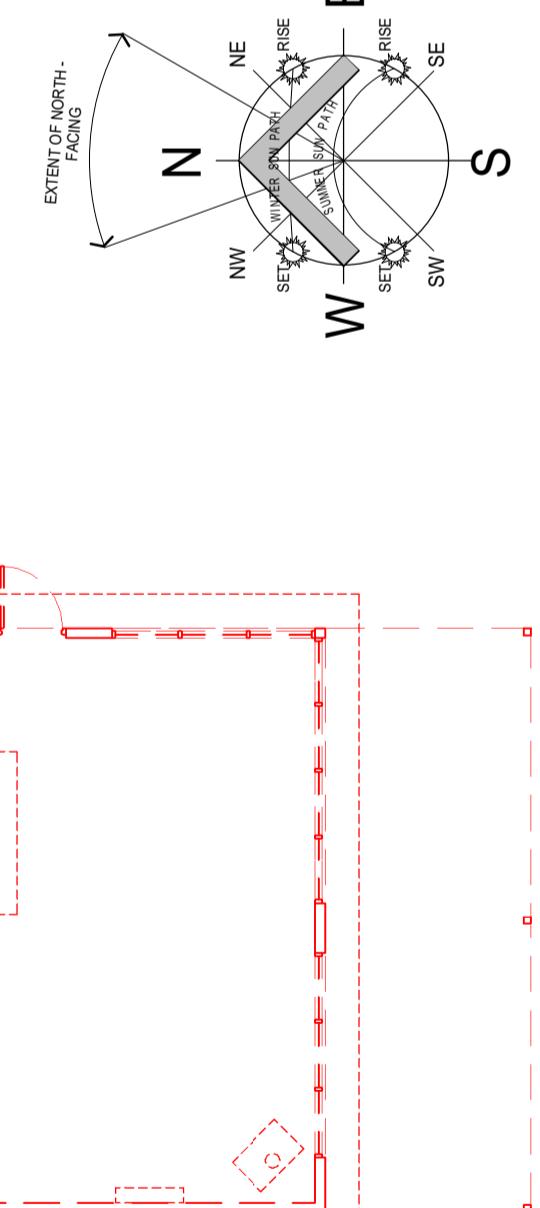
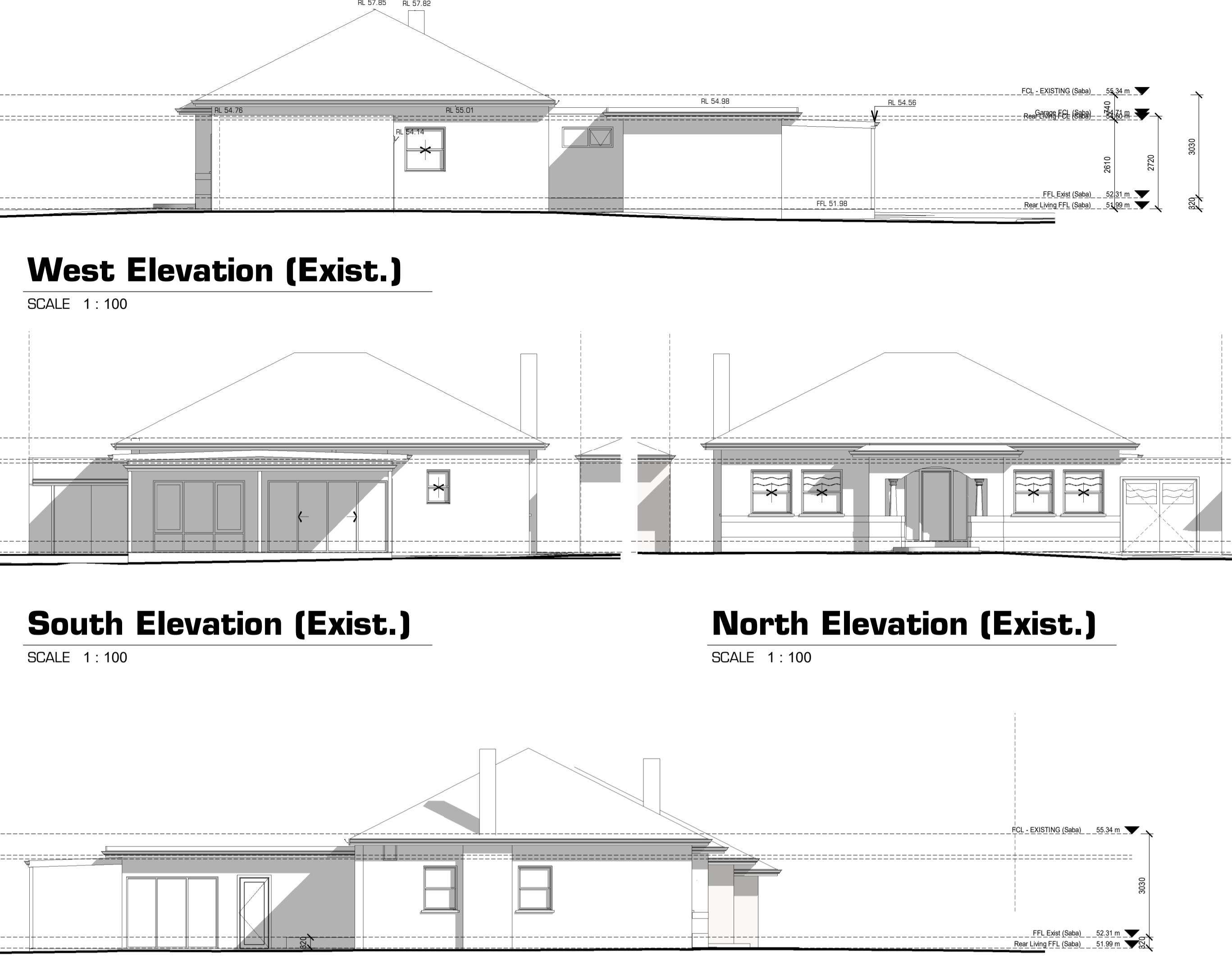


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Sheet No:  
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These drawings shall be read in conjunction with all relevant structural and all other consultants drawing/details and with any other written instructions issued in the course of the contract.  
Figured dimensions take precedence over scaled dimensions. The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documents prior to the commencement of any works. Report all discrepancies to this office for clarification.

### Wall Legend:

EXISTING WALLS TO REMAIN  
WALLS TO BE DEMOLISHED & MADE GOOD. REFER DEMOLITION NOTES

### Demolition Notes:

Revised July 2021  
All materials and practices shall comply with, but not limited to, the Building Regulations 2008, the Building Code of Australia and all relevant current Australian standards (as amended) referred to therein. These specifications specify only the minimum standard of work for demolition works on residential projects, and all work and precautions shall be best trade practice.  
Precautions must be taken before and during demolition in accordance with AS 2801-2001 - Demolition of Structures. During the progress of the demolition the works shall be under the continuous supervision of the Demolisher or an experienced foreman, and demolition shall be executed story by story commencing at the roof and working downwards.  
The demolition must not be commenced until the precautionary measures have been inspected and approved by the Relevant Building Surveyor.  
The Demolisher shall construct a temporary crossing placed over the footpath, as required by the Council.  
Protective ouvers, fences, awnings, hoarding, bermeades and the like must be installed where necessary to guard against danger to life or property or where required by the Relevant Building Surveyor.  
Dust creating material, unless thoroughly dampened down, shall not be thrown or dropped from the building but shall be contained in an appropriate container and removed by a licensed dust removal contractor.  
All asbestos shall be removed and disposed of in accordance with the relevant regulations.  
All practicable precautions shall be taken to avoid danger from collapse of a building when any part of a framed or partly framed building is removed.  
Demolished material shall not be allowed to fall on any other structure or the weight of the material exceeds the capacity of the structure to support it, or any other structure or object on or next to it which may be endangered by workmen or other persons, and shall be removed as soon as practicable from the building.  
No wall, chimney or other structure or part of a structure shall be undermined or unsupported in such a condition that it may collapse due to wind or vibration or otherwise become dangerous.  
Before demolition is commenced, and also during the progress of such works, all electrical cable or apparatus which are liable to be a source of danger - other than cable or apparatus used for the demolition works - shall be disconnected.  
Arrangements shall be made with the Relevant Electrical Supply Authority for the disconnection of electrical mains supply except where partial demolition is proposed, the licensed Electrical Contractor shall satisfy the Relevant Electrical Supply Authority that the portion of the building to be demolished has been isolated.  
The Demolisher shall be responsible for the disconnection of all telecommunications supplies.  
The Demolisher shall be responsible to cut and seal any storm water, sewer pipes, water services, gas services and the like.  
The location of gas pipes and storm water drains, sealed off water supply lines, gas supply lines and the like to be confirmed, where required, shall be kept sealed with water in as to prevent any nuisance from the dust.  
Materials removed or displaced from the building being demolished or materials left standing shall not be burned on the demolition site.  
Removal of buildings by road must be approved by Relevant Council Traffic Engineer.  
A site management plan is to be implemented during demolition to control sediment runoff in accordance with EPA Victoria publication #275, Construction Techniques for Sediment Pollution Control. Provide project specific site management plan to the Relevant Council Traffic Engineer. The site management plan must include sediment trap/stop filter bags over all storm water entry pits during demolition works. Supergrid® or equivalent erosion control fabric to prevent soil erosion during demolition works.  
It is the builder's responsibility to carry out an audit prior to the commencement of any works to determine if asbestos is present in the existing works. Where any asbestos product is found in the proposed works area during initial inspection or during the course of the demolition works the builder shall engage an authorised and registered contractor for safe removal and lawful disposal.

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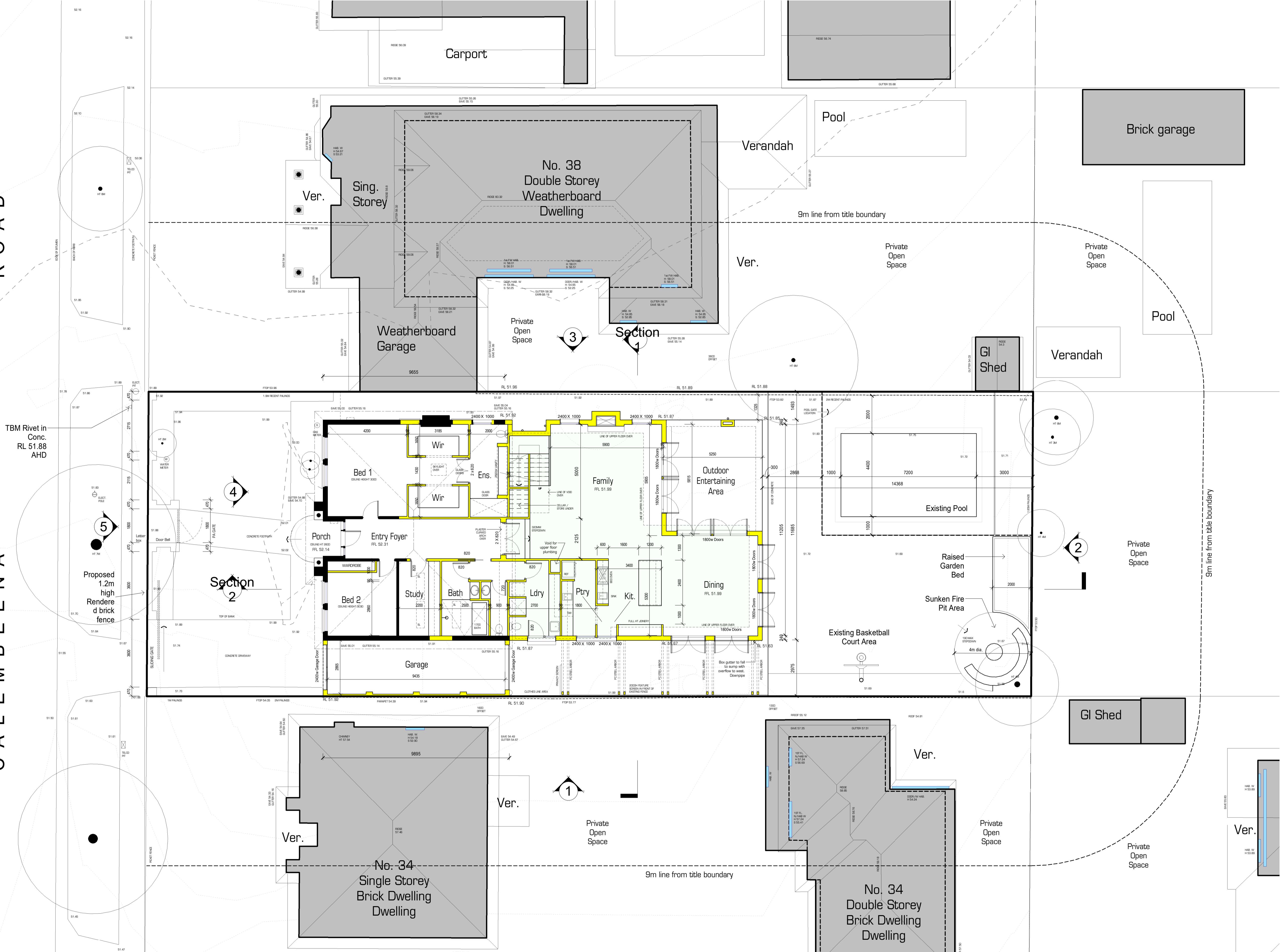
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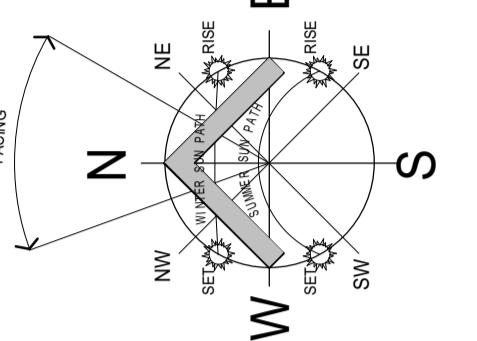
DAWESDESIGN DRAWING No. 1 - Major Plan Ref ID: 19 January 2024 04549 - Town Planning Issue E - 000176

## Level 1 - Proposed

SCALE 1:100



DOORS TO SANITARY COMPARTMENTS TO BE PROVIDED WITH 'LIFT OFF HINGES' OR  
SIMILAR WHERE INDICATED BY THIS \*.  
OFFSET DOOR JAMBES FROM ADJACENT WALLS TO SUIT SELECTED ARCHITRAVES.  
SCRIBE FLUSH TO ADJACENT WALLS ALL ARCHITRAVES SELECTED THAT ARE LARGER  
THAN 40mm WHERE THERE IS INSUFFICIENT SPACE.



## Electrical Legend:

- ① EXHAUST FAN & LIGHT - MINIMUM 25/s EXTRACTION RATE FOR BATHROOMS, 40 L/S FOR KITCHEN OR LAUNDRY.
- ② EXHAUST FAN & LIGHT - MINIMUM 25/s EXTRACTION RATE FOR BATHROOMS, 40 L/S FOR KITCHEN OR LAUNDRY.
- ③ SELF CONTAINED SMOKE ALARMS CONNECTED TO MAIN ELECTRICAL POWER WITH BATTERY BACKUP COMPLYING WITH AS 3798.

## Finishes Legend:

- ④ CARPET
- ⑤ TIMBER DECKING
- ⑥ CONCRETE PAVING SLAB
- ⑦ SELECTED TONGUE & GROOVE TIMBER FLOORING

## Ventilation Notes:

- 3.8.7.3 FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS
  - (a) An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of 25 L/s for a bathroom or sanitary compartment, and 40 L/s for a kitchen or laundry.
  - (b) Exhaust from a bathroom, sanitary compartment or laundry must be discharged to a roof space that is ventilated vertically, or to a roof space that is ventilated in accordance with 3.8.7.4.
- 3.8.7.4 VENTILATION OF ROOF SPACES
  - (a) Where an exhaust system covered by 3.8.7.3 discharges into a roof space, the roof space must be ventilated to outdoor air through every unobstructed opening.
  - (b) Openings required by (a) must have a total unobstructed area of 1/300 of the respective ceiling area if the roof pitch is more than 22° or 1/150 of the respective ceiling area if the roof pitch is 22° or less.
  - (c) 30% of the total unobstructed area required by (b) must be located not more than 900 mm below the ridge or highest point of the roof space, measured vertically, with the remaining required area provided by eave vents.
- VENTILATION
  - (a) An exhaust or other means of mechanical ventilation may be used to ventilate a sanitary compartment, laundry or bathroom provided contaminated air exhausts:
    - (i) directly to the building in the way of ducts; or
    - (ii) into a roof space that:
      - (a) is outside the building in the way of ducts; or
      - (b) is covered by roof tiles without similar materials which would prevent venting through gaps between the tiles.
  - (b) EXHAUST FAN - MINIMUM 25/s EXTRACTION RATE FOR BATHROOMS, 40 L/S FOR KITCHEN OR LAUNDRY.
  - (c) EXHAUST FAN & LIGHT - MINIMUM 25/s EXTRACTION RATE FOR BATHROOMS, 40 L/S FOR KITCHEN OR LAUNDRY.

## General Notes: (2021)

- All materials and work practices shall comply with, but not limited to the Building Regulations 2016, National Construction Code Series 2016 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.
- Unless otherwise specified, the term 'BCA' shall refer to National Construction Code Series 2016 Building Code of Australia Volume 2.
- All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed, the proposed solution shall be assessed and approved by the Relevant Building Surveyor in meeting the Performance Requirements of the BCA.
- Glassing, including safety glazing, shall be installed to a size, type and thickness so as to comply with:
  - (a) BCA Vol 1 Part B1 for Class 2 and B Building;
  - (b) BCA Vol 1 Part B1 & 4 for Class 2 and B Building.
- Waterproofing and water resistance of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Domestic Wet Areas.
- These Drawings shall be read in conjunction with any House Energy Rating (HER) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.
- Step sizes (other than for spiral stairs) to be:
  - (a) 150mm to 180mm high to 250mm to 300mm deep minimum
  - (b) 350mm maximum and 240mm minimum
  - (c) 210 to 270mm maximum and 550mm minimum with 100mm to 150mm deep minimum.
- All screeds, landings and the like to have a slip resistance classification of P4 or P10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
- Provide ramps where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Bimmers (other than screeds) where banded to:

  - (a) 1000mm max above finished surface level of landings or the like, and 850mm min above finished surface level of start of nosing or ramp, and
  - (b) any height above the nosing of the ramp or landing.

- 1000mm to 1200mm above the surface beneath landings, ramps and/or treads.
- Wire barrier construction to comply with NCC 2019 BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2019 BCA Volume 1 Part 02.16 for other Classes of Buildings.
- Top of hand rail to be minimum 850mm vertically above start nosing and floor surface of ramps.
- Window sizes nominated are normal only. Actual size may vary according to manufacturer. Windows to be flashed all around.
- Where the building (excludes a detached Class 10) is located in a remote prone area the building is to be provided with a termite management system.
- Concrete stamps:
  - (a) 140mm to 180mm long to 100mm x 100mm (1 No. H.D. Wire)
  - (b) 140mm to 180mm long to 100mm x 100mm (2 No. H.D. Wire)
  - (c) 180mm to 300mm long to 125mm x 125mm (2 No. H.D. Wire)
- 100mm to 1200mm stamps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.
- Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of AS 4173.1-2015: Masonry in and around Part 1: Design.
- All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.
- These drawings shall be read in conjunction with all relevant structural and other consultants' drawings and details and with any other instructions issued in the course of the contract.
- The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
- The Builder and Subcontractor shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.
- Installation of all services shall comply with the respective supply authority requirements.
- The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings and/or edge of site to prevent general penetration, dampness, weathering and undermining of any building or structure.
- These plans have been prepared for the exclusive use of the Client or DAWES DESIGN & DRAFTING GROUP (The Designer) for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans who the Designer's written consent does not so in their own risk and responsibility is accepted by the Designer for such use and/or reliance.
- A Building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining a Building Permit.
- The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of DAWES DESIGN & DRAFTING GROUP except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and such changes are promptly reported back to DAWES DESIGN & DRAFTING GROUP.
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing the variation.



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**TP06**  
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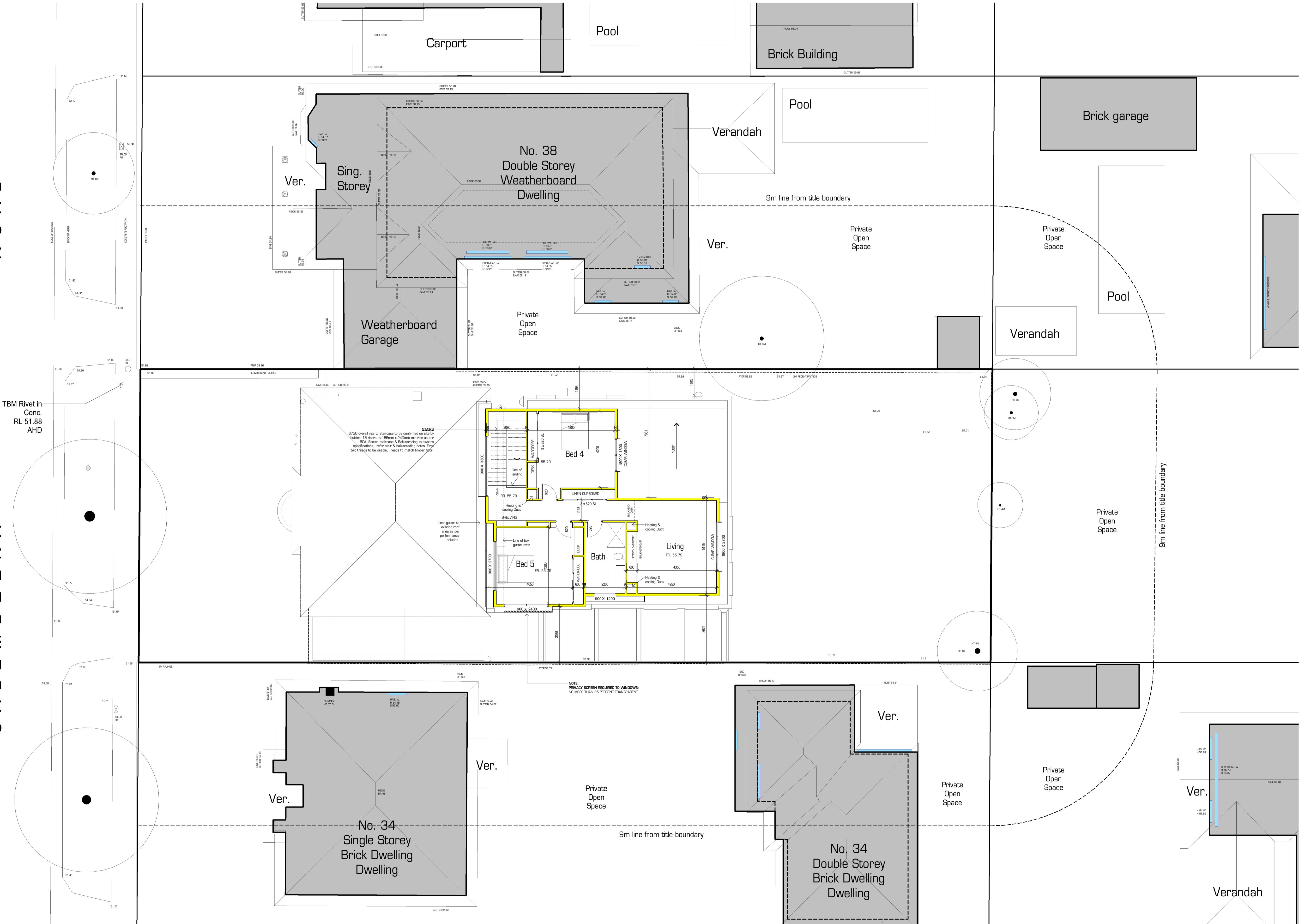
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**Level 1 - Proposed Floor Plan**  
ISSUE: Town Planning Issue F - 18/07/2024

## ROAD

# C A L E M B E E N A



## **Level 2 - Proposed**

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SCALE 1 : 100

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SHEET NO:  
**TP07**  
JOB NO:  
**2649**





# **Streetscape Elevation - Existing**

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SCALE 1 : 100



# Streetscape Elevation - Proposed

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SCALE 1:100

## Finishes Schedule:

**WALL - 01**

**SURFMIST®**  
**BCA CLASSIFICATION\*** Light  
**SOLAR ABSORPTANCE** 0.32

\*BCA Classification is correct at the time of publication but may be subject to change.  
Check your state building regulations at the time of your project.

**LEVEL 2 NEW WALL CLADDING:**  
SELECTED WEATHERBOARDS TO MATCH EXISTING, INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1684.

**COLOUR - SURFMIST**

**WALL - 02**

**SURFMIST®**  
**BCA CLASSIFICATION\*** Light  
**SOLAR ABSORPTANCE** 0.32

\*BCA Classification is correct at the time of publication but may be subject to change.  
Check your state building regulations at the time of your project.

**LEVEL 1 WALL CLADDING TO BOUNDARY:**  
SELECTED FACE BRICKWORK TO BE INSTALLED AS PER AS3700 & BCA. 60 / 60 / 60 FRL WALLS TO BOUNDARY AS PER DETAIL.

**COLOUR -**  
KRAUSE EMPEROR BRICKS IN GHOST GREY FINISHED, WITH A WET-SPONGED MORTAR

**ROOF - 01**

**SHEALE GREY™**  
**BCA CLASSIFICATION\*** Medium  
**SOLAR ABSORPTANCE** 0.43

\*BCA Classification is correct at the time of publication but may be subject to change.  
Check your state building regulations at the time of your project.

**NEW ROOF AREA TO LEVEL 2:**  
KLIP LOK ROOF CLADDING. - COLOUR TO OWNERS SPECIFICATIONS. MAIN ROOF PITCHED AT 1 DEGREE TBC. TO BE CONFIRMED ON SITE BY BUILDER. HIDDEN BEHIND PARAPET,  
RWH & GUTTERS TO MATCH ADJOINING WALL MATERIAL COLOUR -

**COLOUR**  
SHEALE GREY, TO OWNERS SPEC

**WINDOWS**

**SURFMIST®**  
**BCA CLASSIFICATION\*** Light  
**SOLAR ABSORPTANCE** 0.32

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Check your state building regulations at the time of your project.

**NEW WINDOWS:**  
SELECTED ALUMINIUM WINDOWS, FRAMES & GLAZING TYPES REFER ENERGY PLAN & ENERGY REPORT, AS PER BCA REG. 3.12

**COLOUR:**  
ETHEREAL PEARL

**SHROUD**

**SURFMIST®**  
**BCA CLASSIFICATION\*** Light  
**SOLAR ABSORPTANCE** 0.32

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Check your state building regulations at the time of your project.

**WINDOW SHROUD:**  
PC STEEL WINDOW SHROUD.

**COLOUR:**  
ETHEREAL PEARL

**ARBOR**

**SURFMIST®**  
**BCA CLASSIFICATION\*** Light  
**SOLAR ABSORPTANCE** 0.32

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Check your state building regulations at the time of your project.

**WINDOW SHROUD:**  
PC STEEL FEATURE ARBOR TO WEST FACE OF ADDITION

**COLOUR:**  
ETHEREAL PEARL

**SCREEN**

**SURFMIST®**  
**BCA CLASSIFICATION\*** Light  
**SOLAR ABSORPTANCE** 0.32

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Check your state building regulations at the time of your project.

**WINDOW PRIVACY / SOLAR SCREENS**  
POWDERCOATED LOUVRE SCREEN TO BE PROVIDED TO WINDOWS AS NOMINATED WITH OVERHANG DIMENSIONS AS SPECIFIED ON ELEVATIONS.

SCREENS PERMANENTLY FIXED AT AT LEAST 1.7 METRES ABOVE FINISHED FLOOR LEVEL AND BE NO MORE THAN 25 PERCENT TRANSPARENT.

**COLOUR:**  
SURFMIST TO OWNERS SPEC

**GARAGE**

**SURFMIST®**  
**BCA CLASSIFICATION\*** Light  
**SOLAR ABSORPTANCE** 0.32

\*BCA Classification is correct at the time of publication but may be subject to change.  
Check your state building regulations at the time of your project.

**NEW GARAGE DOOR:**  
SELECTED TILT UP GARAGE DOOR SIMILAR TO EXISTING GARAGE DOOR. TO MAINTAIN THE ORIGINAL DESIGN. INSTALLED AS PER MANUFACTURERS SPECIFICATION.

**COLOUR -**  
SURFMIST TO OWNERS SPEC.