

**PLANNING
PERMIT**

Permit No.: **TPA/55739**
Planning Scheme: **Monash Planning Scheme**
Responsible Authority: ***Monash City Council***

ADDRESS OF THE LAND

36 Calembeena Avenue HUGHESDALE VIC 3166

THE PERMIT ALLOWS

Part demolition and construction of buildings and works to an existing dwelling in a Heritage Overlay

Planning Scheme Clause No.	Description of what is allowed
43.01-1	Demolish or remove a building Construct a building or construct or carry out works

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT

Amended Plans

1. Before the development starts, amended plans drawn to scale and correctly dimensioned must be submitted to the satisfaction of and approved by the Responsible Authority. When approved, the plans will be endorsed and then form part of the Permit. The plans must be generally in accordance with the plans submitted to Council prepared by Dawes Design and Drafting Group, dated 18 July 2024 (Issue F), but modified to show:
 - a) The front fence to be constructed of a brick base with brick pillars and flat top timber picket inserts to a maximum height of 1.2m. Timber picket inserts must be at a minimum of 25 per cent transparent.
 - b) The garage façade depicted as to be retained, or to be depicted as retained with the widening of the garage opening. If the garage door opening is to be widened, then a replica custom tilt panel garage door is to be utilised.
 - c) The brickwork on the façade to be accurately depicted.
 - d) Elevation demolition plans.
 - e) A roof plan.all to the satisfaction of the Responsible Authority.

PLANNING PERMIT

No. TPA/55739

Layout not to be Altered

2. The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

Compliance with documents approved under this permit

3. At all times what the permit allows must be carried out in accordance with the requirements of any document approved under this permit to the satisfaction of the responsible authority.

Demolition

4. Prior to the commencement of the development, including demolition, a report prepared by a suitably qualified Structural Engineer, or equivalent, must be submitted to the Responsible Authority, demonstrating the means by which the retained portions of the building will be supported during demolition and construction works to ensure their retention, to the satisfaction of the Responsible Authority. The recommendations contained within this report must be implemented at no cost to the City of Monash and be to the satisfaction of the Responsible Authority.

Completion of Buildings and Works

5. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.

Permit Expiry

6. In accordance with section 68 of the *Planning and Environment Act 1987*, this permit will expire if one of the following circumstances applies:

- a) The development is not started before 2 years from the date of issue.
- b) The development is not completed before 4 years from the date of issue.

In accordance with section 69 of the *Planning and Environment Act 1987*, the responsible authority may extend the periods referred to if a request is made in writing before the permit expires, or

- (i) within six (6) months afterwards if the development has not commenced; or
- (ii) within twelve (12) months afterwards if the development has not been completed.

Council and the Victorian Civil and Administrative Tribunal are unable to approve requests outside of the relevant time frame.

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NOTES-

- A. The permit application was not assessed against the provisions of Clause 54 – One Dwelling on a Lot (Rescode) of the Monash Planning Scheme. It is the responsibility of the of the applicant/owner to appoint a Registered Building Surveyor to determine compliance pursuant to the Building Regulations. Non-compliance with Rescode provisions will require dispensation from Council's Building Services Department.
- B. Building permit approval must be obtained prior to the commencement of the approved works.
- C. Prior to the issue of a building permit, the owner must obtain the consents of all relevant authorities for any buildings or works, including any paving, fences and landscaping, over any easement or underground services under the control of a public authority including sewers, drains, pipes, wires or cables.
- D. No work must be commenced in, on, under or over the road reserve without having first obtaining all necessary approval under the Road Management Act 2004, the Road Safety Act 1986, and any other relevant acts or regulations created under those Acts.
- E. The full cost of reinstatement of any Council assets affected by the demolition, building or construction works, must be met by the permit applicant or any other person responsible for such works, to the satisfaction of the Responsible Authority.
- F. Any request for a variation of this Permit shall be lodged with the relevant fee as determined under the Planning & Environment (Fees) Regulations 2016.
- G. Any request for time extension of this Permit shall be lodged with the relevant administration fee at the time the request is made.



IMPORTANT INFORMATION ABOUT THIS NOTICE

WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

CAN THE RESPONSIBLE AUTHORITY AMEND THIS PERMIT?

The Responsible Authority may amend this permit under Division 1A of Part 4 of the Planning and Environment Act 1987.

WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
 - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
 - (ii) the date on which it was issued, in any other case.

WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if-
 - the development or any stage of it does not start within the time specified in the permit, or
 - the development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act* 1988 and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
 - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the *Subdivision Act* 1988.
2. A permit for the use of land expires if-
 - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
 - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if-
 - the development or any stage of it does not start within the time specified in the permit; or
 - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
 - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
 - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the Planning and Environment Act 1987, or to any combination of use, development or any of those circumstances requires the certification of a plan under the Subdivision Act 1988, unless the permit contains a different provision -
 - the use or development of any stage is to be taken to have started when the plan is certified; and
 - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

WHAT ABOUT REVIEWS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of appeal exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on an application for review form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- A copy of an application for review must also be served on the responsible authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.

It is the builders responsibility to read and understand all notes prior to construction

- ### VARIATION

- ## MEASUREMENTS

- #### SITE PROTECTION DURING THE CONSTRUCTION PERIOD

- ### PROTECTION OF THE BUILDING FABRIC

- ## GLAZING

- ## FOOTINGS

- ## STORMWATER AND SEWERS

- ## SAFETY OF BUILDING USERS

- ## SERVICES

- ELECTRIC

- BUILDING THERMAL PERFORMANCE**
• Works shall be constructed

- Town Planning - planning controls may exist that effect this project. This building has been designed within the Building Regulations (including Rascodes), Building Code of Australia (BCA) and every effort has been made to comply with local planning provisions in respect to the proposed work current at time of completing the drawings. A Town Planning Permit may be required for tree removal.

Occupational Health & Safety - The owner and builder should make themselves aware of their obligations under respective OH & S provisions such as:

- Workcover, Asbestos, Health Act etc

These plans have been prepared for the exclusive use of the customer and for the purposes currently notified by the customer. Any other person who uses or relies on these plans without the authors written consent does so at their own risk.

No responsibility is accepted for their use.

Overlay	Response:
GENERAL RESIDENTIAL ZONE 3 (SR23)	-
-	-
-	-
-	-
-	-



DATE: 9 January 2023

ISSUE: Town Planning Issue F - 18/07/2024

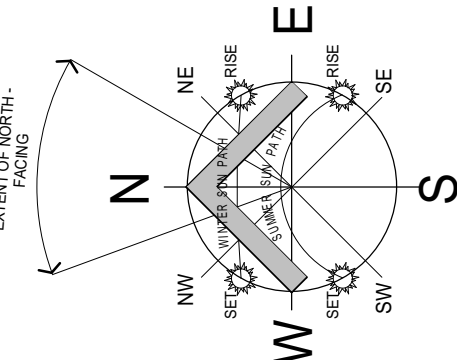
SCALE: As indicated

2649

ORIGINAL SHEET SIZE: A1 T:\DAWES\DESIGN\NASS Draw\1\1 - Nazam Road Final\20_18 January 2024\2649 - Saba Hughes\20180249 - Town Planning Issue F - LOD v4

Site Context Plan

SCALE 1 : 200



General Notes:

These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/ details and with any other written instructions issued in the course of the contract. Site plan measurements in metres - all other measurements in millimetres u.n.s. Figured dimensions take precedence over related dimensions.

The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.

These plans have been prepared for the exclusive use by the Client of Dawes Design & Drafting Group (The Designer) for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.

The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. Any said variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing the said variation.



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CLIENT / PROJECT: SABA ADDITION PROJECT:
ADDRESS: No. 36 Calombeena Road,
Hughsdale Victoria 3166
DATE: 9 January 2023

DRAWING: Site Context Plan

ISSUE: Town Planning Issue F - 18/07/2024

DESIGN: Troy Dawes (PAAD 574)
DWN BY: Author
DATE: 18/07/2024 8:55:16 PM
SCALE: As indicated

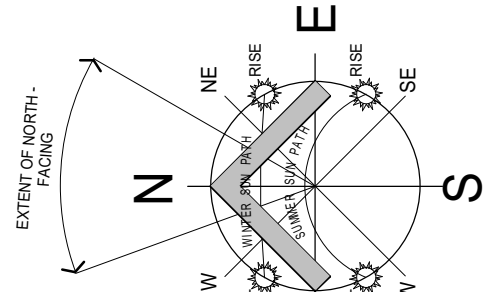
SHEET NO.
JOB NO.
2649

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Lot: Lot 105 (No. 36)
PS: LP 6430
Parish: -
Volume: -
Folio: -
Area: 758 m2

Note:
Owners responsibility to recognise existing or future vegetation (including neighbouring properties) and its potential effect on soil moisture. Where necessary existing trees on or adjacent to proposed building allotment are to be removed or vertical root barriers provided in accordance with soil report recommendations.



Site Design Information:

Authorities / Consultants:
Municipality: MONASH COUNCIL
Sewerage Authority: SOUTH EAST WATER
Relevant Building Surveyor: -
Consulting Structural Engineer: -
Geotechnical Engineer: -
Site Classification:
Site classification as Class: -
Refer to soil report No: -
By: -
Design gust wind speed / wind classification:
Building design to be provided in accordance with AS1684-2010 for an assumed design gust wind speed / wind classification of **M1** subject to confirmation on site by Relevant Building Surveyor at time inspection refer to AS1684 for construction requirements.
Climate Zone:
Climate zone for thermal design / thermal performance assessment: **Zone 8**
Corrosion protection of built-in structural members:
Provide corrosion protection of built-in structural steel members such as steel trunks, shelf angles, connectors, accessories (other than wall ties) in accordance with BCA Volume 2 Table 3.5.3.2 suitable for an Environment Classification of **(Insert environment class)**
Corrosion protection for sheet roofing:
Provide corrosion protection for sheet roofing in accordance with BCA Volume 2 Table 3.5.1.1 suitable for an Environment Classification of **(Insert environment class)**

Area Analysis:

EXISTING RESIDENCE:
Existing Living: 155.8 m2
Existing Front Porch: 3.1 m2
Existing Carport: 18.5 m2
Existing Garage: 18.5 m2
Existing Rear Ver: 21.0 m2

Total Existing Footprint: 215.8 m2
(Living & Ver: area to be deleted) 65.6 m2

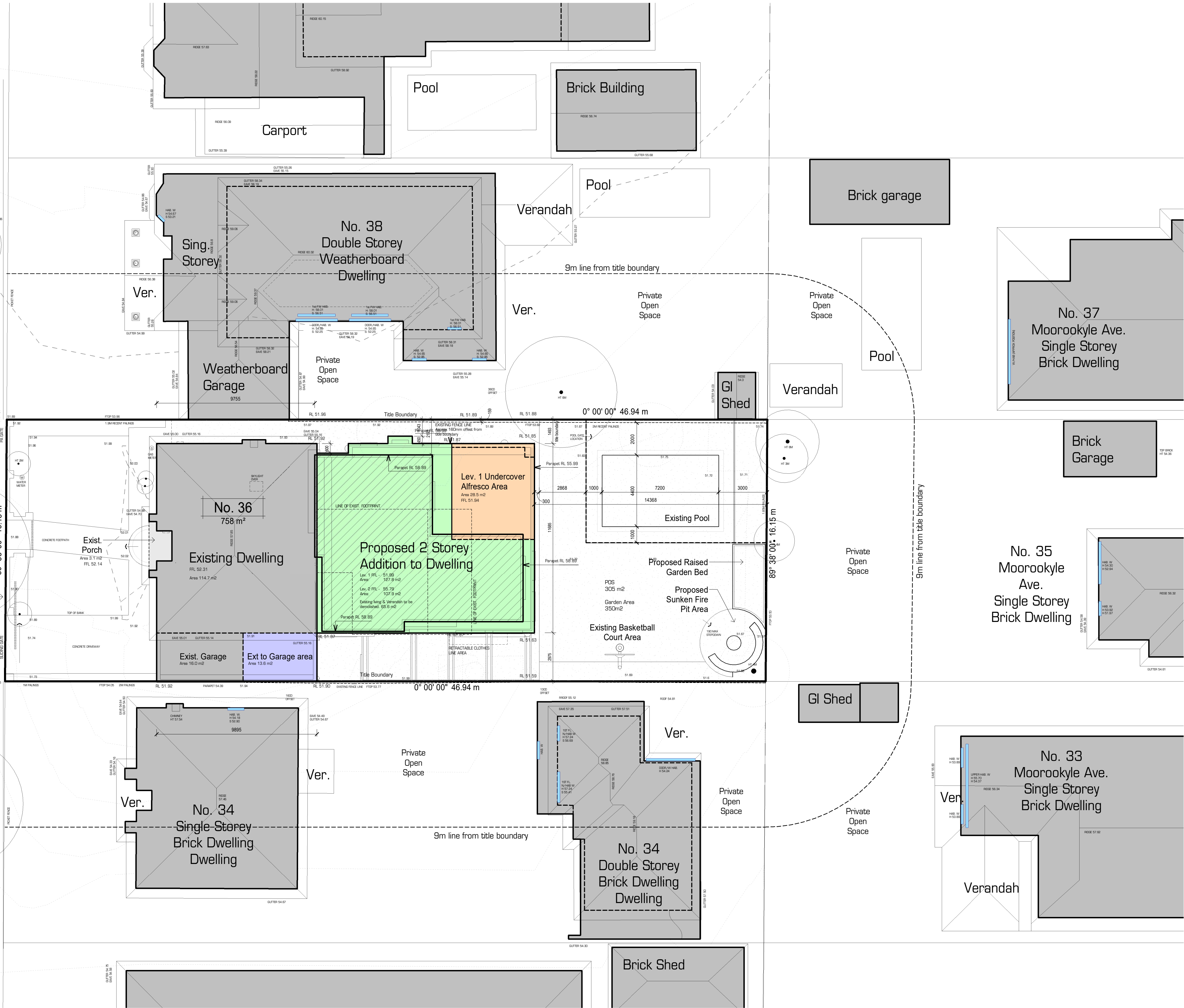
ADDITION:
Proposed Living: 127.8 m2
Proposed Outdoor Ent: 28.5 m2
Proposed Garage: 13.8 m2
LEVEL 1:
Proposed Living: 107.9 m2

TOTAL PROPOSED RESIDENCE:
LEVEL 1:
Living: 287 m2
Front Porch: 3.1 m2
Outdoor Entertaining: 28.5 m2
Garage: 3.2 m2
Carport: 1.8 m2
Total: 354.7 m2

LEVEL 2:
Living: 107.9 m2
Total Building Area (under roof): 472.7 m2
Area of site: 758 m2
Site coverage - Footprint: 48 %
Site Perm - Footprint, drive & paths: 47 %
Private Open Space - 305 m2
Garden Area: 48 %

Site Legend:

- STORMWATER DRAINS
- A.G. DRAINS
- SEWER VENT / I.S.
- SEWER MANHOLE
- ELECTRICITY PIT
- ELECTRICITY POLE
- TELSTRA PIT
- HYDRANT
- VEHICLE CROSSING
- LEGAL POINT OF STORMWATER DISCHARGE
- WATER VALVE
- S/W PIT
- LIGHT STANDARD
- S/W DRAIN INLET/OUTLET
- T.B.M.
- GAS METER
- WATER METER
- STREET SIGN
- 100 X 50 DOWNPipe AT 12.0m MAX CTS
- 100 X 50 DOWNPipe WITH SPREADER



All materials and work practices shall comply with, but not limited to the Building Regulations 2006, the Building Code of Australia and all relevant current Australian Standards (as amended) referred to therein. These drawings shall be read in conjunction with all relevant structural and all other consultants drawings/details and with any other written instructions issued in the course of the contract.
Figured dimensions take precedence over scaled dimensions. The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.

Site Development Plan

SCALE 1 : 125

ORIGINAL SHEET SIZE: A1
TOWN PLANNING ISSUE F - 18/07/2024
SABA ADDITION PROJECT
No. 36 Callembeena Road, Hughesdale Victoria 3166
9 January 2023

No.	Revision Description	Date:

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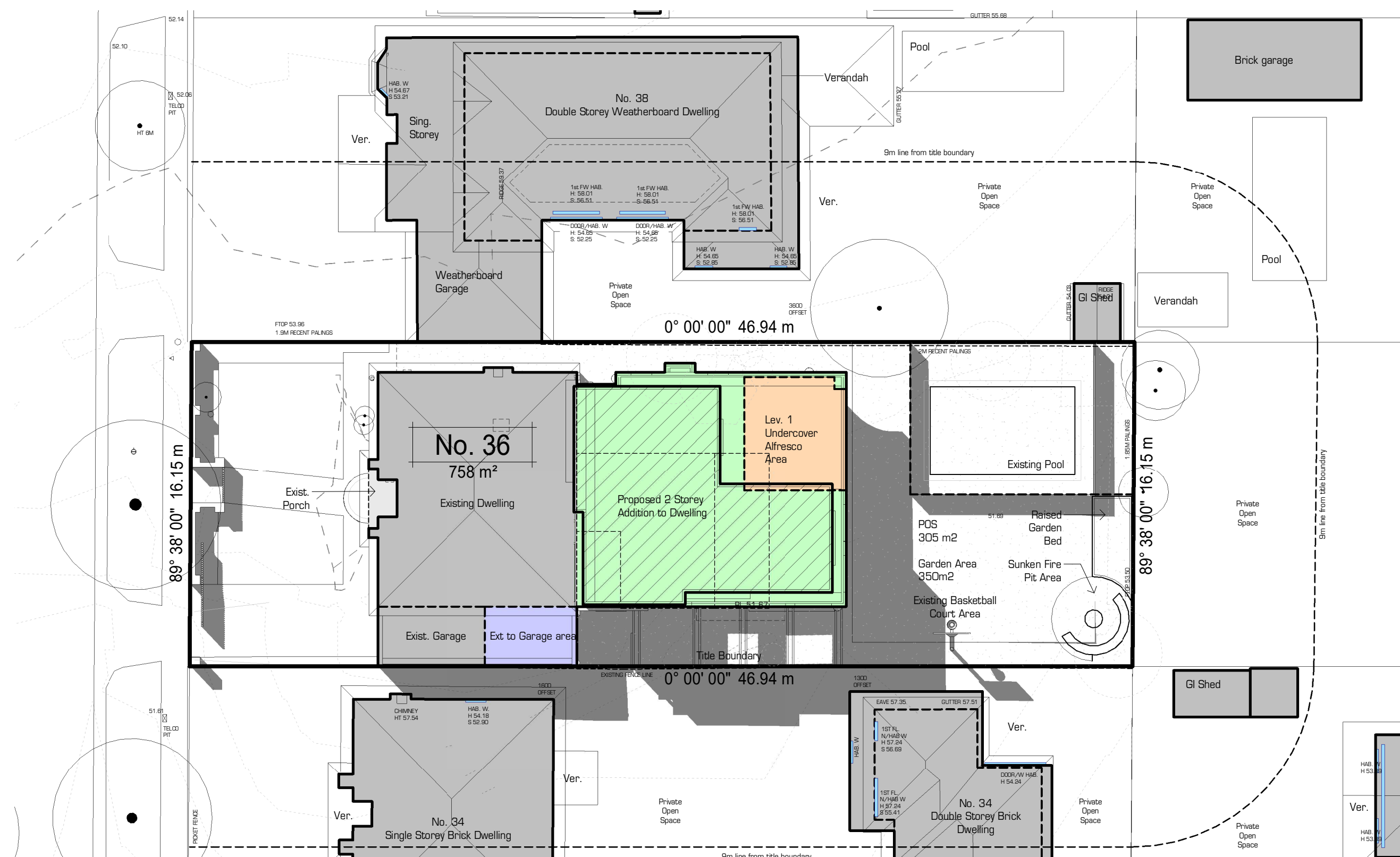
P.O. BOX 824 BERWICK, VICTORIA 3806
P. 03 8738 8135
ADMIN@DAWESDESIGN.COM.AU
CLIENT / PROJECT: SABA ADDITION PROJECT:
ADDRESS: No. 36 Callembeena Road,
Hughesdale Victoria 3166
DATE: 9 January 2023

Site Development Plan

ISSUE: Town Planning Issue F - 18/07/2024
As indicated

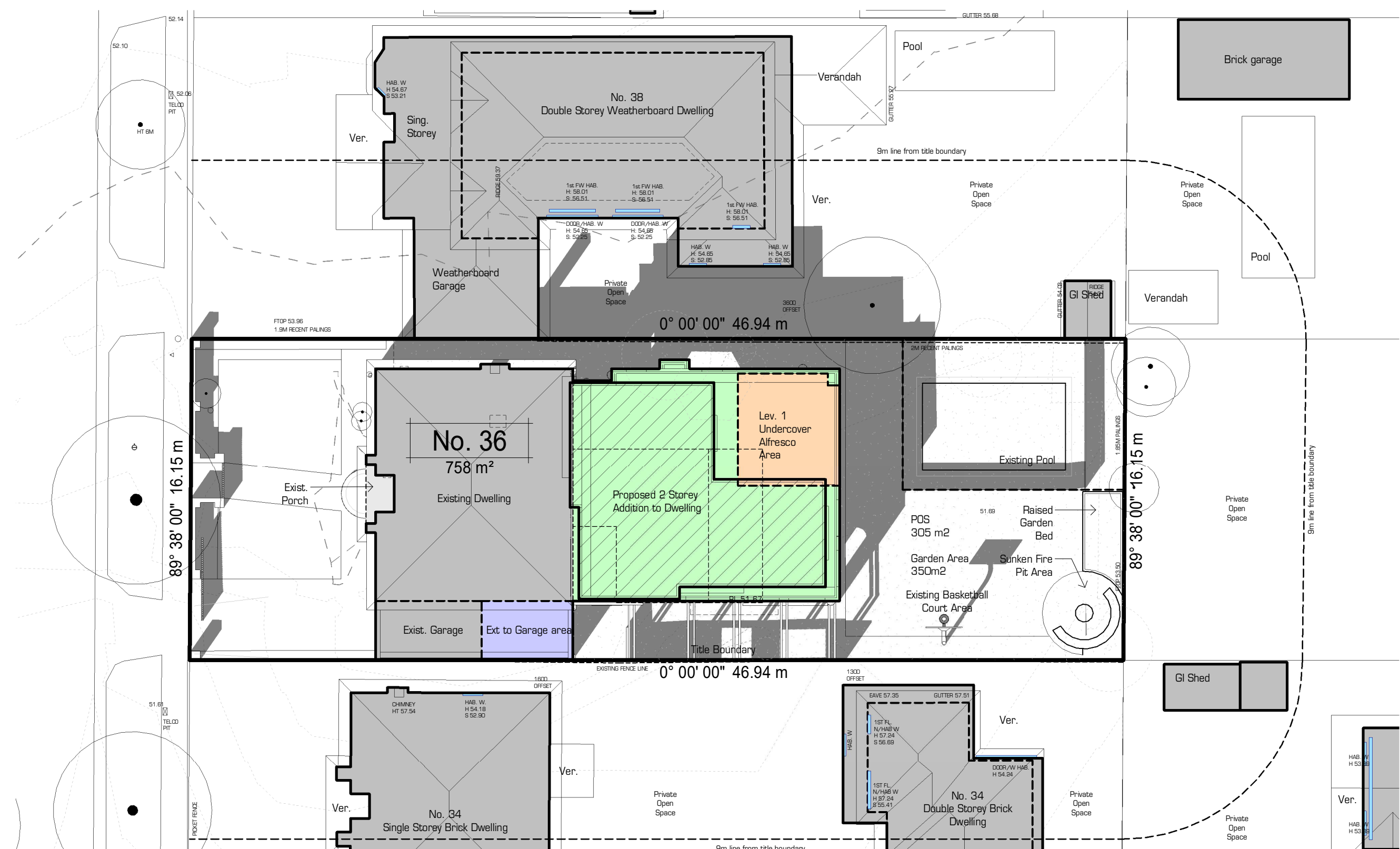
DESIGN: Troy Dawes (DAW) 574
DRAWN BY: Author
DATE: 18/07/2024 8:55:20 PM
SCALE: As indicated

SHEET NO.:
JOB NO.:
TPO2
2649
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Shadow Plan - 10am

SCALE 1 : 200



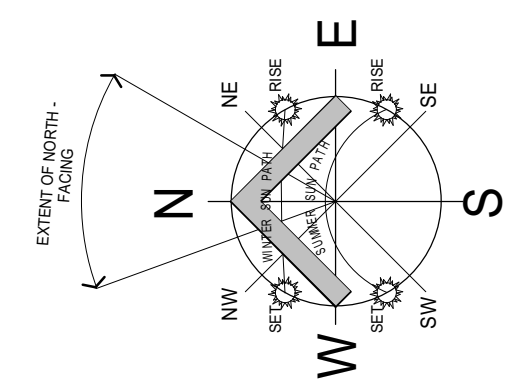
Shadow Plan - 3pm

SCALE 1 : 200



Shadow Plan - 12pm

SCALE 1 : 200



Lot: Lot 105 (No. 36)
PS: LP 6430
Parish: -
Volume: -
Folio: -
Area: 758 m2

Rescode Legend:

- | | |
|-------------|--|
| SPOS | LOCATION OF NEIGHBOURING SECLUDED PRIVATE OPEN SPACE |
| POS | LOCATION OF RECREATIONAL PRIVATE OPEN SPACE |
| | LOCATION OF PRIVATE OPEN SPACE 25m ² MIN |
| | LOCATION OF IMPERMEABLE SURFACE(S) |
| HAB | LOCATION OF NEIGHBOURING HABITABLE ROOM WINDOW |
| NH | LOCATION OF NEIGHBOURING NON HABITABLE ROOM WINDOW |

ORIGINAL SHEET SIZE: A1
TROY DAWES DESIGN GROUP Pty Ltd
18 January 2024
SABA Addition Project
Town Planning Issue F - 18/07/2024

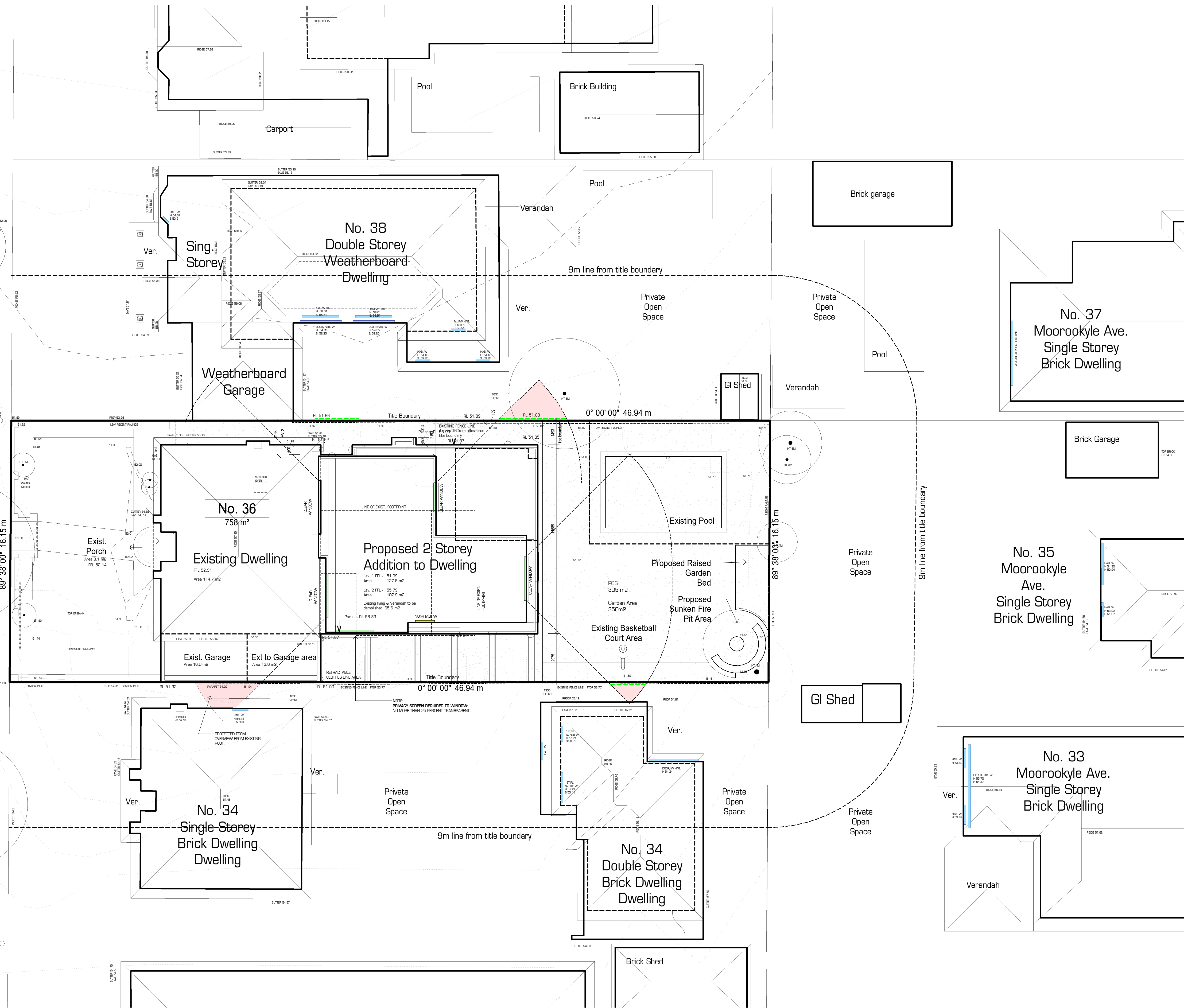
ROAD

CALEMBEENA

TBM Rivet in Conc.
RL 51.88
AHD

Overlooking Plan

SCALE 1 : 125



Overlooking Notes:

Site plan measurements in metres - all other measurements in millimetres unless otherwise stated. Dimensions take precedence over scaled dimensions. The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to the office for clarification.

Every proposed window and deck / landing to be checked against reg 4.15 for direct line of sight overlooking to adjoining private open space or habitable room window. Regulation 4.15 is not applicable where FFL is less than 0.8m and a visual barrier fence 1.8m high min.

Any habitable room window, balcony, terrace, deck or patio, with a direct view into existing dwellings habitable room window (not offset by 1.5m min) or secluded private open space, measured within 8m radius, and 45 degrees from window edge or deck edge perimeter, to be protected with:-

Provide screening where FFL exceeds 0.8m at boundary line with either:

Screen Type 1. permanently fixed external screens to fencing with 25 percent open max to top of 1800mm fence max height of 2000mm as per BCA (refer screen notes)

Screen Type 2. have all heights at least 1.7m above finished floor level

Screen Type 3. have fixed, obscure glazing in any part of the window below 1.7m above finished floor level. Obscure glazing in any part of the window below 1.7m above FFL may be operable provided that there are no direct views as specified in this regulation.

Screen Type 4. have permanently fixed external screens to at least 1.7m above finished floor level and be no more than 25% translucent.

Screen Notes:
Screens used to obscure a view should be:
(a) Perforated panels or trellis with a maximum of 25% openings or solid translucent panels.
(b) Perforated panels and trellis.
(c) Selected materials & colours to blend in with the development.

Overlooking & Shadow Legend:

EXISTING ADJOINING BUILDINGS

HAB WINDOW LOCATION OF HABITABLE ROOM WINDOWS ON PROPOSED DEVELOPMENT THAT OVERLOOK ADJOINING PROPERTY

HAB WINDOW LOCATION OF HABITABLE ROOM WINDOWS ON PROPOSED DEVELOPMENT THAT ARE PROTECTED FROM OVERVIEW

NON WINDOW LOCATION OF NON - HABITABLE WINDOWS

HABITABLE LOCATION OF NEIGHBOURING HABITABLE ROOM WINDOW

NON LOCATION OF NEIGHBOURING NON HABITABLE ROOM WINDOW

INDICATES EXTENT OF OVERLOOKING BY DEVELOPMENT, WHICH IS TO BE PROTECTED FROM OVERVIEW BY SCREENING



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CLIENT / PROJECT: SABA ADDITION PROJECT:

ADDRESS: No. 36 Calembena Road,
Hughesdale Victoria 3166

DATE: 9 January 2023

DRAWING: Overlooking Plan

ISSUE: Town Planning Issue F - 18/07/2024

DESIGN: Troy Dawes (DAAD 574)

DRAWN BY: Author

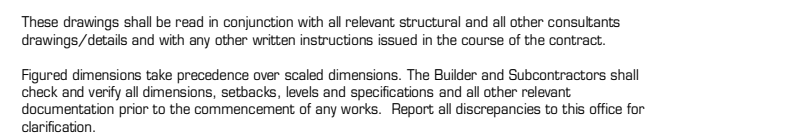
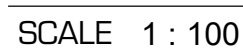
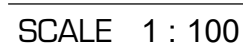
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SCALE: As indicated

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TP04
JOB NO.
2649

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EXISTING WALLS TO REMAIN.

WALLS TO BE DEMOLISHED & MADE GOOD. REFER DEMOLITION NOTES.

All materials and work practices shall comply with, but are not limited to, the Building Regulations 2006, the Building Code of Australia and all applicable Australian standards (as amended) intended to be observed. Those specifications specify only the minimum standard of work for the demolition works on residential projects, and all workmanship and procedures shall exceed these standards.

Presidents must be taken before and during the demolition in accordance with AS2901-2001 Civil Defence.

During the progress of the demolition the works shall be under the continuous supervision of the demolisher or of an experienced foreman, and demolition shall be executed stage by stage commencing at the roof and working downwards.

The demolisher must not be commenced and the prescribed safety measures have been approved and required by the Relevant Building Authority.

The Demolisher shall construct a temporary crossing placed over the footpaths, as required by the Council.

Protective openings, fences, awnings, hoarding, barricades and the like must be installed where necessary to guard against danger to life or property or when required by the Relevant Building Authority.

During existing material, especially when removed down, shall not be thrown or dropped from the building but shall be lowered by means of a crane or other suitable device. All debris shall be completely crushed and a danger sign shall be at the discharge of every chute.

All precastable precasted materials shall be taken down as danger from a building when any part of a corner or party wall has been removed.

Demolished material shall not be allowed to remain on any part of the structure if the weight of the material exceeds the safe carrying capacity of the floor or structure, and such material shall not be so piled or stacked that it will endanger persons or other structures.

No wall, chimney or other structure or part of a structure shall be left unsupported or unsupported in such a condition that it may collapse due to wind vibration or otherwise because of its condition.

Before demolition is commenced, and also during the progress of such works, all electrical works or apparatus which may be liable to be a source of danger, and other classes of apparatus used for the demolition works, shall be disconnected.

Arrangements shall be made with the Relevant Electrical Supply Authority for the disconnection of electrical mains and other services to the building to be demolished, and the necessary arrangements shall be made with the Relevant Electrical Supply Authority that the portion of the building to be demolished be handed over.

The Demolisher shall be responsible for the disconnection of all communication supplies.

The Demolisher shall be responsible to cut and away all storm water, sewer, pipes, water services, gas services and the like as may be needed on the site.

The position of pipework sewer and storm water channels, sealed off water supply lines, gas supply lines and the like are to be clearly marked on the site.

Materials removed or displaced from the building shall not be placed in any street, road or right of way, from demolition, where required, that shall be kept away with such as to so prevent any nuisance from dust.

Materials removed or displaced from the building being demolished or materials left standing shall not be burned on the demolition site.

Removal of buildings by road must be approved by Relevant Councils Traffic Engineer.

A site management plan is to be implemented during demolition works to control sediment runoff in accordance with EPA Victoria publication #2725 Construction Techniques for Sediment Pollution Control. Provide proper or equivalent dust control measures to prevent dust and soil from spreading and storm water take up pumps and install silt traps or filter bags over all storm water carry out pipes during demolition works. Proper or equivalent silt control measures shall be installed on all storm water carry out pipes.

It is a builder's responsibility to enter up and make proper for the commencement of any works to determine if asbestos is present in the existing works. Where any asbestos product is found in the proposed works area during initial demolition or prior to the commencement of the demolition works the builder shall engage an authorised and registered contractor for removal and lawful disposal.

CONTRACTORS MUST VERIFY ALL DIMENSIONS AND LEVELS ON SITE. PRIOR TO COMMENCEMENT OF ANY WORKS OR SHOP DRAWINGS, ANY DISCREPANCIES TO BE REPORTED FOR CLARIFICATION. ALL WORKS TO BE IN ACCORDANCE WITH THE BCA AND ALL AUSTRALIAN STANDARDS.



ORIGINAL SHEET SIZE: A1 DAWESDESIGN\NAS Draw\1\1 - Nazare River Flood\13 January 2024\2649 - Saba Hughes\dwg\2649 - Town Planning Issue F - LOD 1c

ROAD

CALEMBEENA

TBM Rivet in Conc.
RL 51.88
AHD

Proposed
1.2m
high
Rendered
brick
fence

Level 1 - Proposed

SCALE 1 : 100

Carport

Pool

Brick garage

Verandah

Ver.

Sing.
Storey

No. 38
Double Storey
Weatherboard
Dwelling

Ver.

Private
Open
Space

Private
Open
Space

Pool

Verandah

GI
Shed

Section
2

3

Section
1

Existing Pool

Raised
Garden
Bed

Sunken Fire
Pit Area

Existing Basketball
Court Area

GI
Shed

Ver.

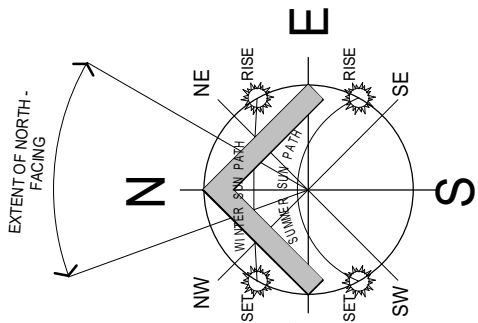
Ver.

No. 34
Single Storey
Brick Dwelling

No. 34
Double Storey
Brick Dwelling

DOORS TO SANITARY COMPARTMENTS TO BE PROVIDED WITH LIFT OFF HINGES OR
SIMILAR WHERE INDICATED BY THIS -

OFFSET DOOR JAMBES FROM ADJACENT WALLS TO SLUIT SELECTED ARCHITRAVES.
BORNE FLUSH TO ADJACENT WALLS ALL ARCHITRAVES SELECTED THAT ARE LARGER
THAN 40mm WHERE THERE IS INSUFFICIENT SPACE.



Electrical Legend:

- (1) EXHAUST FAN - MINIMUM 25/L/s EXTRACTION RATE FOR BATHROOMS, 40 L/S FOR KITCHEN OR LAUNDRY.
- (2) EXHAUST FAN & LIGHT - MINIMUM 25/L/s EXTRACTION RATE FOR BATHROOMS, 40 L/S FOR KITCHEN OR LAUNDRY.
- (3) SELF-CONTAINED SMOKE ALARMS CONNECTED TO MAINS ELECTRICAL POWER WITH BATTERY BACKUP COMPLYING WITH AS 3786.

Finishes Legend:

- (1) CARPET
- (2) TIMBER DECKING
- (3) CONCRETE PAVING SLAB
- (4) SELECTED TONGUE & GROOVE TIMBER FLOORING

Ventilation Notes:

3.8.7.3 FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS

- (a) Exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flowrate of—
 - (i) 25 L/s for a bathroom or sanitary compartment; and
 - (ii) 40 L/s for a kitchen or laundry.
- (b) Exhaust from a bathroom, sanitary compartment, or laundry must be discharged—
 - (i) directly or via a shaft or duct to outdoor air; or
 - (ii) to a roof space that is ventilated in accordance with 3.8.7.4.

3.8.7.4 VENTILATION OF ROOF SPACES

- (a) Where an exhaust system covered by 3.8.7.3 discharges into a roof space, the roof space must be ventilated to outdoor air through evenly distributed openings.
- (b) Openings required by (a) must have a total unobstructed area of 1/300 of the respective ceiling area if the roof pitch is more than 22° or 1/150 of the respective ceiling area if the roof pitch is not more than 22°.
- (c) 30% of the total unobstructed area required by (b) must be located not more than 800 mm below the ridge or highest point of the roof space, measured vertically, with the remaining required area provided by eave vents.

VENTILATION
An exhaust fan or other means of mechanical ventilation may be used to ventilate a sanitary compartment, laundry or bathroom provided contaminated air exhausts—

- (i) directly to outside the building by way of ducts; or
- (ii) into a roof space that—
 - (a) is adequately ventilated by open eaves, and/or roof vents; or
 - (b) is covered by roof tiles without sarking or similar materials which would prevent venting through gaps between the tiles.

- (1) EXHAUST FAN - MINIMUM 25/L/s EXTRACTION RATE FOR BATHROOMS, 40 L/S FOR KITCHEN OR LAUNDRY.
- (2) EXHAUST FAN & LIGHT - MINIMUM 25/L/s EXTRACTION RATE FOR BATHROOMS, 40 L/S FOR KITCHEN OR LAUNDRY.

General Notes: (2021)

All materials and work practices shall comply with, but not be limited to, the Building Regulations 2018, National Construction Code Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.

Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2019 Building Code of Australia Volume 2.

All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.

Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with—

- BCA Part 3.6 for Class 1 and 10 Buildings within a design wind speed of not more than N3; and
- BCA Vol 1 Part 3.1.4 for Class 2 and 3 Buildings.

Waterproofing and water resistance of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Domestic Wet Areas.

These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.

- Step shall (other than for spiral stairs) to be—
 - Rises (R) 180mm maximum and 150mm minimum
 - Going (G) 250mm maximum and 340mm minimum
 - 2R + G > 700mm maximum and 550mm minimum
 - with less than 125mm gap between open treads.

All trends, landings and the like to have a slip-resistance classification of P4 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P5 for dry surface conditions and P4 for wet surface conditions.

Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or trends. Barriers (other than transpired wire barriers) to be—

- 1000mm min. above finished surface level of balconies, landings or the like; and
- 850mm min. above finished surface level of stair nosing or ramps; and
- vertical with less than 125mm gap between, and 150mm and 750mm above the floor must not facilitate climbing where changes in level exceeds 400mm above the surface beneath landings, ramps and/or trends.

Wire barrier construction to comply with NCC 2019 BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2019 BCA Volume 1 Part D2: 16 for other Classes of Buildings.

Top of hand rails to be minimum 850mm vertically above stair nosing and floor surface of ramps.

Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.

Where the building (includes a detached Class 10) is located in a termite prone area the building is to be provided with a termite management system.

Concrete slumps:

- up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire)
- 1400mm to 1800mm long to be 100mm x 100mm (2 No. H.D. Wire)
- 1800mm to 3000mm long to be 125mm x 125mm (2 No. H.D. Wire)

100mm x 100mm slumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.

Buildings in marine or other exposure environments shall have masonry units, mortar and all built-in components and the like complying with the durability requirements of Table 4.1 of AS 4773: 1-2015 Masonry in small buildings Part 1: Design.

All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.

These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/details and with any other written instructions issued in the course of the contract.

Site plan measurements in metres - all other measurements in millimetres unless noted otherwise. Figure dimensions take precedence over stated dimensions.

The Builder shall take all steps necessary to ensure the stability and general watertightness of all new and/or existing structures during all works.

The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.

Installation of all services shall comply with the respective supply authority requirements.

The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any building footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weathering and undermining of any building and its footing system.

These plans have been prepared for the exclusive use of the Client of DAWES DESIGN & DRAFTING GROUP (The Designer) for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.

A Building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Designer obtaining the required Building Permit.

The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of DAWES DESIGN & DRAFTING GROUP except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to DAWES DESIGN & DRAFTING GROUP.

The approved by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.



DAWES
DESIGN & DRAFTING GROUP

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CLIENT / PROJECT: SABA ADDITION PROJECT:

ADDRESS: No. 36 Calambeena Road,
Hughesdale Victoria 3166

DATE: 9 January 2023

DRAWING: Level 1 - Proposed Floor Plan

ISSUE: Town Planning Issue F - 18/07/2024

DESIGN: Troy Dawes DP4D 5/74

DRAWN BY: Author

DATE: 18/07/2024 8:55:56 PM

SCALE: 1 : 100

SHEET NO.:
TP06
JOB NO.:
2649

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No.	Revision Description	Date:

CAL EMBEENA



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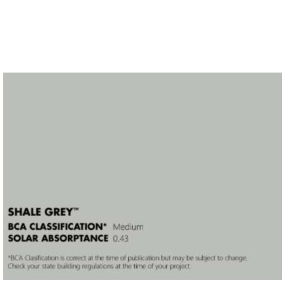


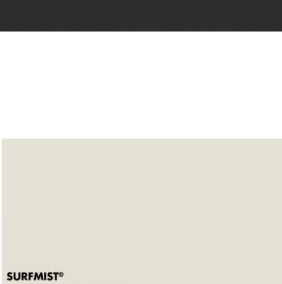
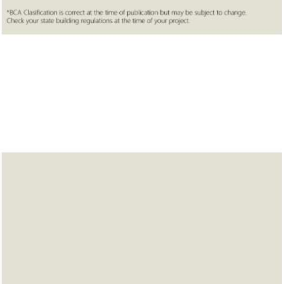





Elevation 2 - (South)

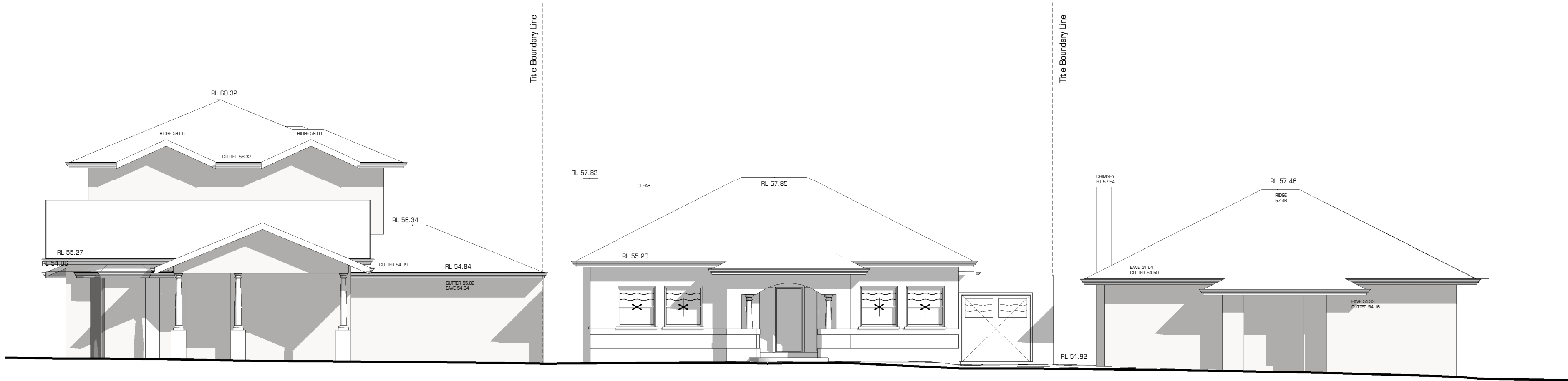
Elevation 4 - (North)

Elevation 3 - (East)

Elevation 5 - (Fence)

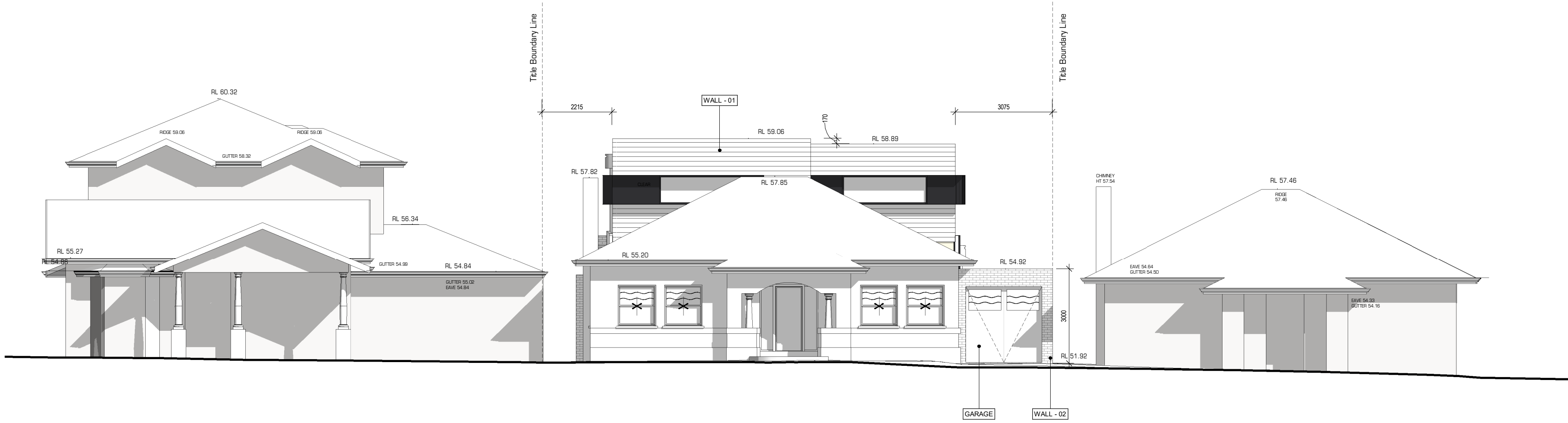
WALL - 01	<p>SURFIMIST® BCA CLASSIFICATION: 1, 2, 3 SOLAR ADAPTANCE: 1, 2, 3</p> <p>For a complete list of products and their properties, please refer to the product data sheet.</p> 	<p>LEVEL 2 NEW WALL CLADDING: SELECTED WEATHERBOARDS TO MATCH EXISTING, INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1684.</p> <p>COLOUR - SURFMIST</p>
WALL - 02		<p>LEVEL 1 WALL CLADDING TO BOUNDARY: SELECTED FACE BRICKWORK TO BE INSTALLED AS PER AS3700 & BCA 60 / 60 / 60 FRL WALLS TO BOUNDARY AS PER DETAIL.</p> <p>COLOUR - KRAUSE EMPEROR BRICKS IN GHOST GREY FINISHED, WITH A WET-SPONGED MORTAR.</p>
ROOF - 01	<p>SHALE GREY® BCA CLASSIFICATION: 1, 2, 3 SOLAR ADAPTANCE: 1, 2, 3</p> <p>For a complete list of products and their properties, please refer to the product data sheet.</p> 	<p>NEW ROOF AREA TO LEVEL 2: KLIP LOK ROOF CLADDING - COLOUR TO OWNERS SPECIFICATIONS. MAIN ROOF PITCHED AT 1 DEGREE TBC. TO BE CONFIRMED ON SITE BY BUILDER. HIDDEN BEHIND PARAPET. RWH & GUTTERS TO MATCH ADJOINING WALL MATERIAL COLOUR -</p> <p>COLOUR SHALE GREY, TO OWNERS SPEC</p>
WINDOWS		<p>NEW WINDOWS: SELECTED ALUMINIUM WINDOWS, FRAMES & GLAZING TYPES REFER ENERGY PLAN & ENERGY REPORT, AS PER BCA REG. 3.12</p> <p>COLOUR: ETHERIAL PEARL</p>
SHROUD		<p>WINDOW SHROUD: PC STEEL WINDOW SHROUD.</p> <p>COLOUR: ETHERIAL PEARL</p>
ARBOR		<p>WINDOW SHROUD: PC STEEL FEATURE ARBOR TO WEST FACE OF ADDITION</p> <p>COLOUR: ETHERIAL PEARL</p>
SCREEN	<p>SURFIMIST® BCA CLASSIFICATION: 1, 2, 3 SOLAR ADAPTANCE: 1, 2, 3</p> <p>For a complete list of products and their properties, please refer to the product data sheet.</p> 	<p>WINDOW PRIVACY / SOLAR SCREENS POWDERCOATED LOUVER SCREEN TO BE PROVIDED TO WINDOWS AS NOMINATED WITH OVERHANG DIMENSIONS AS SPECIFIED ON ELEVATIONS.</p> <p>SCREENS PERMANENTLY FIXED TO AT LEAST 1.7 METRES ABOVE FINISHED FLOOR LEVEL AND BE NO MORE THAN 25 PERCENT TRANSPARENT.</p> <p>COLOUR: SURFMIST TO OWNERS SPEC</p>
GARAGE	<p>SURFIMIST® BCA CLASSIFICATION: 1, 2, 3 SOLAR ADAPTANCE: 1, 2, 3</p> <p>For a complete list of products and their properties, please refer to the product data sheet.</p> 	<p>NEW GARAGE DOOR: SELECTED TILT UP GARAGE DOOR. SIMILAR TO EXISTING GARAGE DOOR. TO MAINTAIN THE ORIGINAL DESIGN. INSTALLED AS PER MANUFACTURERS SPECIFICATION.</p> <p>COLOUR: SURFMIST TO OWNERS SPEC.</p>
GARAGE - 2		<p>NEW GARAGE DOOR: SELECTED PANEL UP GARAGE DOOR. INSTALLED AS PER MANUFACTURERS SPECIFICATION.</p> <p>COLOUR - SURFMIST TO OWNERS SPEC.</p>

ORIGINAL SHEET SIZE: A1 T:\DAWES\DESIGN\NANS Drawings\1 - Nansan Road Final\20 - Saba Hughesdale\2024\20 - Town Planning Issue F - E - LOD v1.dwg 18 January 2024 09:49:49



Streetscape Elevation - Existing



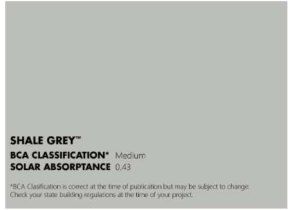
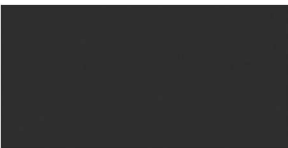





SCALE 1 : 100



Streetscape Elevation - Proposed

SCALE 1 : 100

Finishes Schedule:

WALL - 01		LEVEL 2 NEW WALL CLADDING: SELECTED WEATHERBOARDS TO MATCH EXISTING, INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1684. COLOUR - SURFMIST
WALL - 02		LEVEL 1 WALL CLADDING TO BOUNDARY: SELECTED FACE BRICKWORK TO BE INSTALLED AS PER AS3700 & BCA 60 / 60 / 60 FRL WALLS TO BOUNDARY AS PER DETAIL. COLOUR - KRAUSE EMPEROR BRICKS IN GHOST GREY FINISHED, WITH A WET-SPONGED MORTAR.
ROOF - 01		NEW ROOF AREA TO LEVEL 2: KUP-LUX ROOF CLADDING - COLOUR TO OWNERS SPECIFICATIONS. MAIN ROOF PITCHED AT 1 DEGREE TBC. TO BE CONFIRMED ON SITE BY BUILDER. HIDDEN BEHIND PARAPET. RW & GUTTERS TO MATCH ADJOINING WALL MATERIAL COLOUR - COLOUR - SHALE GREY, TO OWNERS SPEC
WINDOWS		NEW WINDOWS: SELECTED ALUMINIUM WINDOWS, FRAMES & GLAZING TYPES REFER ENERGY PLAN & ENERGY REPORT, AS PER BCA REG. 3.12 COLOUR: ETHEREAL PEARL
SHROUD		WINDOW SHROUD: PC STEEL WINDOW SHROUD. COLOUR: ETHEREAL PEARL
ARBOR		WINDOW SHROUD: PC STEEL FEATURE ARBOR TO WEST FACE OF ADDITION COLOUR: ETHEREAL PEARL
SCREEN		WINDOW PRIVACY / SOLAR SCREENS POWDERCOATED LOUVRE SCREEN TO BE PROVIDED TO WINDOWS AS NOMINATED WITH OVERHANG DIMENSIONS AS SPECIFIED ON ELEVATIONS. SCREENS PERMANENTLY FIXED TO AT LEAST 1.7 METRES ABOVE FINISHED FLOOR LEVEL AND BE NO MORE THAN 25 PERCENT TRANSPARENT. COLOUR: SURFMIST TO OWNERS SPEC
GARAGE		NEW GARAGE DOOR: SELECTED TILT UP GARAGE DOOR. SIMILAR TO EXISTING GARAGE DOOR. TO MAINTAIN THE ORIGINAL DESIGN. INSTALLED AS PER MANUFACTURERS SPECIFICATION. COLOUR - SURFMIST TO OWNERS SPEC.
GARAGE - 2		NEW GARAGE DOOR: SELECTED PANEL LIFT GARAGE DOOR. INSTALLED AS PER MANUFACTURERS SPECIFICATION. COLOUR - SURFMIST TO OWNERS SPEC.

No.	Revision Description	Date:

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CLIENT / PROJECT: **SABA ADDITION PROJECT:**
ADDRESS: No. 36 Calebeena Road,
Hughesdale Victoria 3166
DATE: 9 January 2023

DRAWING: **Streetscape Elevations - Exist & Prop.**
ISSUE: **Town Planning Issue F - 18/07/2024**

DESIGN: Troy Dawes (PA) 574
DRAWN BY: Author
DATE: 18/07/2024 8:50:11 PM
SCALE: 1 : 100

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