

Note - All class rooms and common areas will be provided with appropriate lighting facilities

FHReel / F- Hydrant

All common areas to be shown with smoke detectors in accordance with AS 3786

Note - All plumbing penetrations to be installed with Fire Collars or Fire Dampers or Fire Stop to Australian Standards

Note latchside clearances with AS1428.1-2009

Note - Rooms which do not have any natural air ventilation and provision to be provided each with a A/C split system

Note - Tactile indicators to be installed to AS/NZS 1428.4.1 and located at top & bottom of all stairs and all accessible entries.

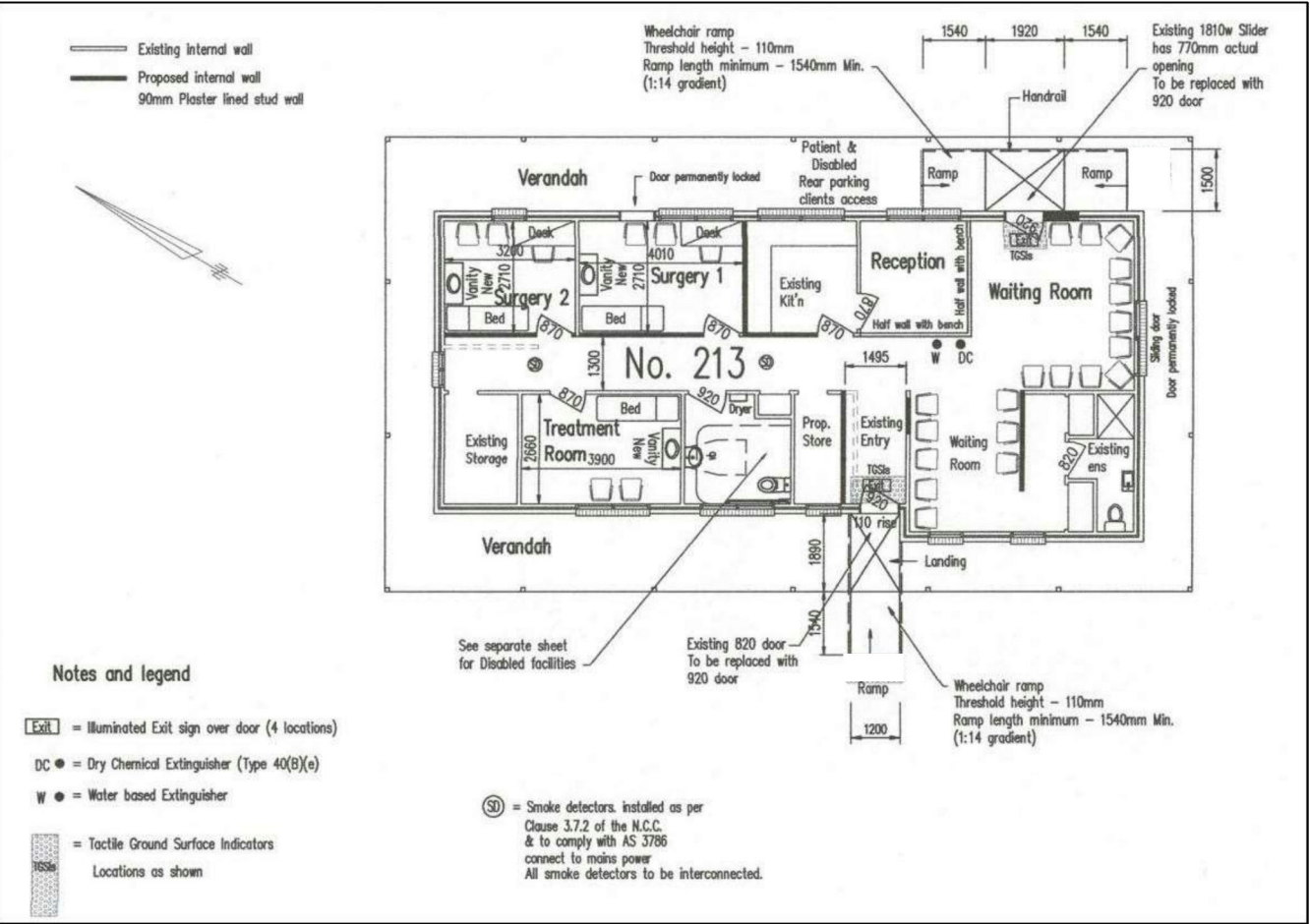
Note - smoke detectors to AS 1668.1 and AS 1670.1, Mechanical Ventilation as existing, EWIS to AS 1670.1

Note - Switchboard will be enclosed in non-combustible construction and smoke sealed as per clause 2.2.7 of the BCA

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2700mm High Ceilings  
Date Plans Provided: 2/09/2024

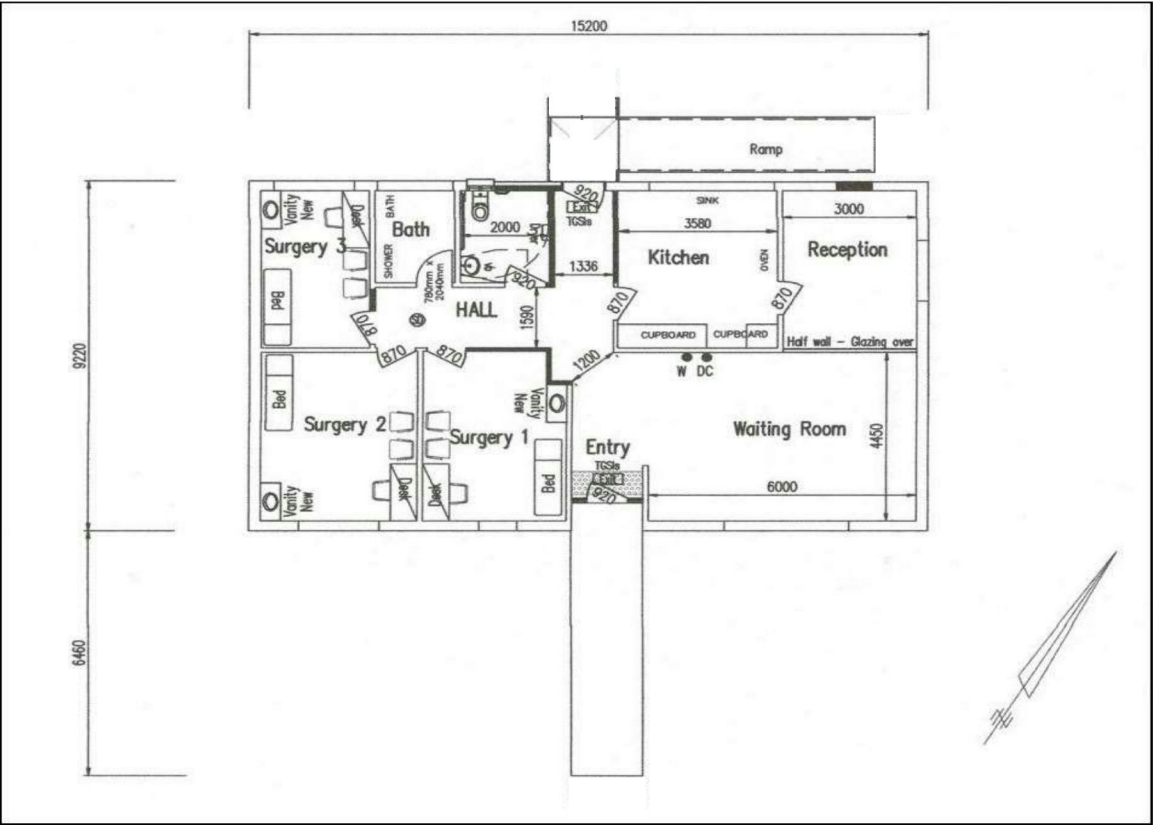
No 213



EXISTING FLOOR PLAN 1:100

DO NOT SCALE DRAWING

No 215



EXISTING FLOOR PLAN 1:100

WYNDHAM CITY COUNCIL  
Town Planning  
Advertised Documents  
Plan: 1 of 9

note that all services affected due to the proposed new wall partitions are to be relocated in order to suit the new layout.

Note - door hardware is required to be openable without a key from the side that faces a person seeking egress

DREAMPLAN DESIGN  
DRAFTING SERVICES

RBP - DP  
AD 515

HIA -  
5534742

INTERNAL FIT OUT EXISTING BUILDING  
CLIENT -  
No 213 - 215 Princes Hwy, Werribee

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Existing Plan Layout

SCALE: 1:100  
SHEET: 1  
DRAWN BY  
DRAWING No:029  
NORTH  
DATE: 01/11/2023



Note - All rooms and common areas will be provided with appropriate lighting facilities

All common areas to be shown with smoke detectors in accordance with AS 3786

Note - All plumbing penetrations to be installed with Fire Collars or Fire Damper or Fire Stop to Australian Standards

Note - smoke detectors to AS 1668.1 and AS 1670.1, Mechanical Ventilation as existing , EWIS to AS 1670.1

Note latchside clearances with AS1428.1-2009

Note - Rooms which do not have any natural air ventilation and provision to be provided each with a A/C split system

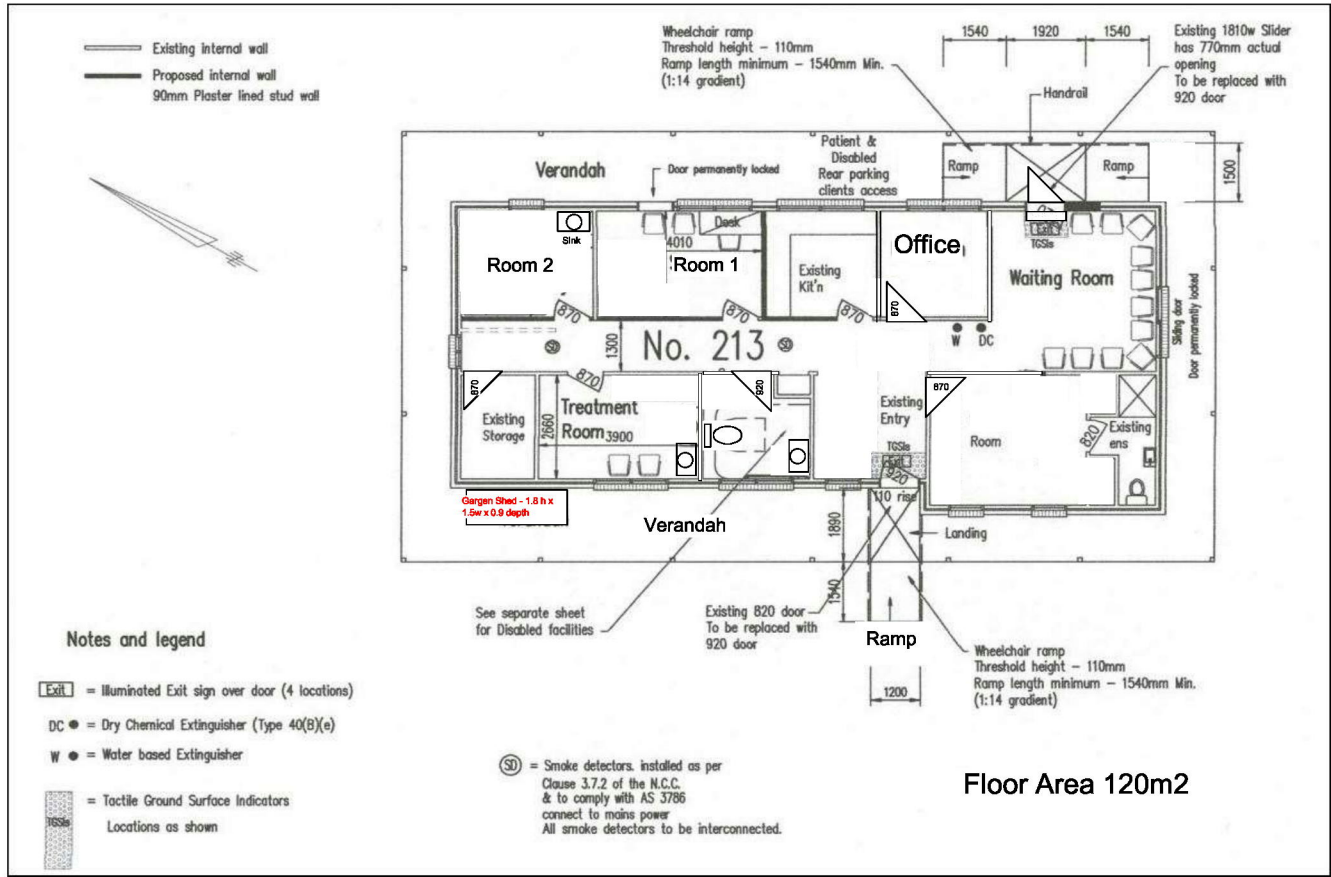
Note - Tactile indicators to be installed to AS/NZS 1428.4.1 and located at top & bottom of all stairs and all accessible entries.

Note - Switchboard will be enclosed in non - combustible construction and smoke sealed as per clause - D2.7 of tghe BCA

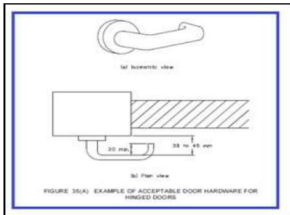
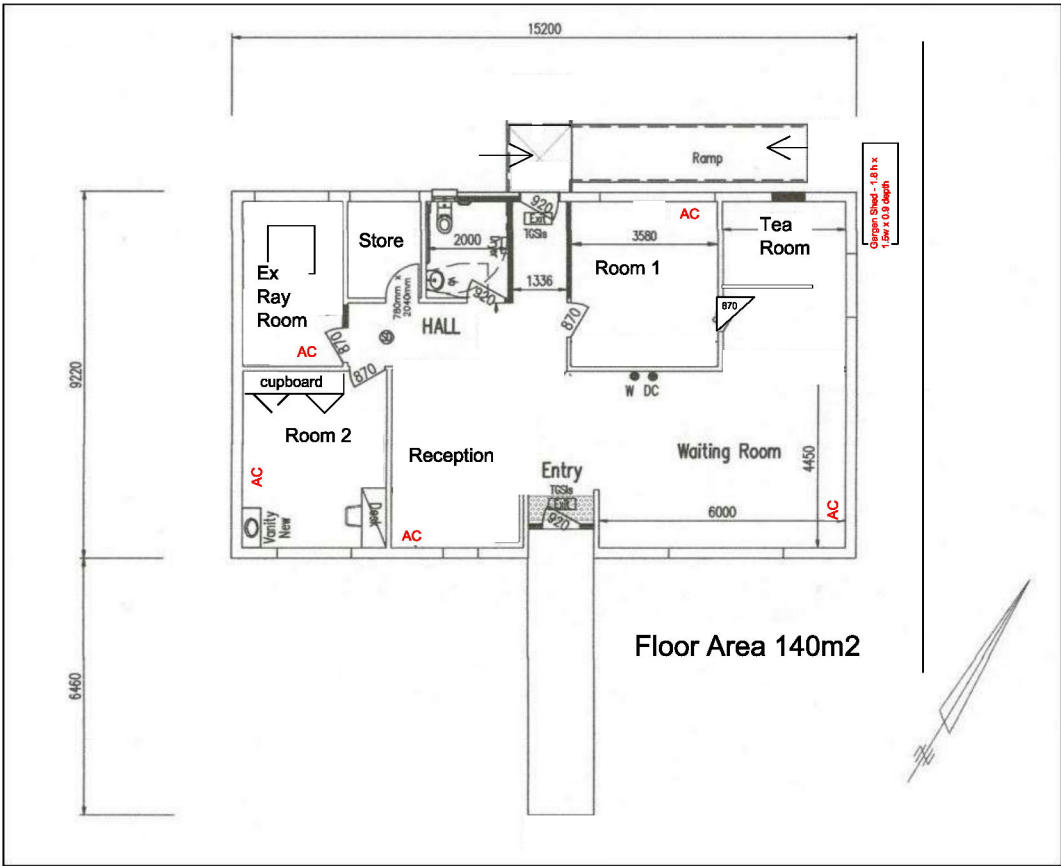
- Doors are to be readily openable without a key from the side that faces a person seeking egress (clarify how this will be achieved for doors fitted with a security system).
- Door hardware is to be located between 900 mm and 1200mm AFFL.
- Any door controls / push buttons / swipe readers are required to be positioned between 900-1100mm AFFL and minimum 500mm away from any corners.

- 1.Door size and active leaf clear width (850 min required)
- 2.Operable force of maximum 20N and luminance contrast of minimum 30%.

No 213 Floor Plan



No 215 Floor Plan



Note - door hardware is required to be openable without a key from the side that faces a person seeking egress

note that all services affected due to the proposed new wall partitions are to be relocated in order to suit the new layout.

WYNDHAM CITY COUNCIL  
Town Planning  
Advertised Documents

Plan: 2 of 9

PROPOSED INTERNAL FITOUT FLOOR PLAN 1:100

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Date Plans Provided: 2/09/2024

DO NOT SCALE DRAWING

EXHAUST FANS TO COMPLY WITH AS 1688.2 - 1991 & AS/NZS 366.1

Note - Timber to Comply with AS 1720.1

DREAMPLAN DESIGN  
DRAFTING SERVICES

RBP - DP  
AD 515

HIA -  
5534742

INTERNAL FIT OUT EXISTING BUILDING  
CLIENT -  
No 213 - 215 Princes Hwy, Werribee

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Proposed Internal Layout

SCALE: 1:100

SHEET: 2

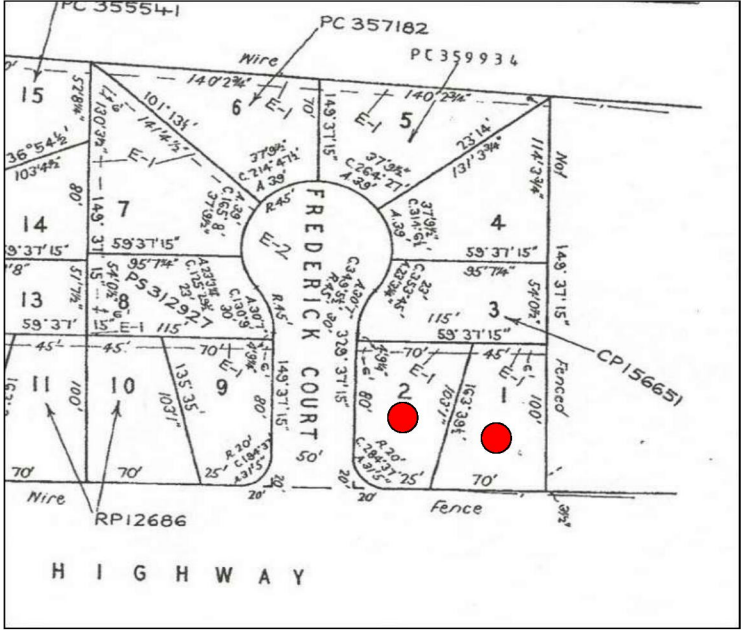
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DRAWING No:029

NORTH

DATE: 01/11/2023





Note - Disable car parking is to be installed compliant with clause D3.5 of the BCA 2011

Note - Bollards to Entry doors to ensure the entry is not obstructed

SMOKE DETECTORS

Install an Approved Smoke Alarm fixed to Ceiling & Wired to Main. Denoted on Plan - Smoke Alarms to Comply with AS 3786 & BCA 96 Part 3.7.2

Note - Lift Off Hinges to Wc to comply with Australian Standards

EXHAUST FANS

Install an Exhaust Fan - Denoted on Plan - Fan to be wired to Light Switch and Ducted to External Air - 35 L/S Min Capacity

EXHAUST FANS TO COMPLY WITH AS 1688.2 - 1991 & AS/NZS 366.1

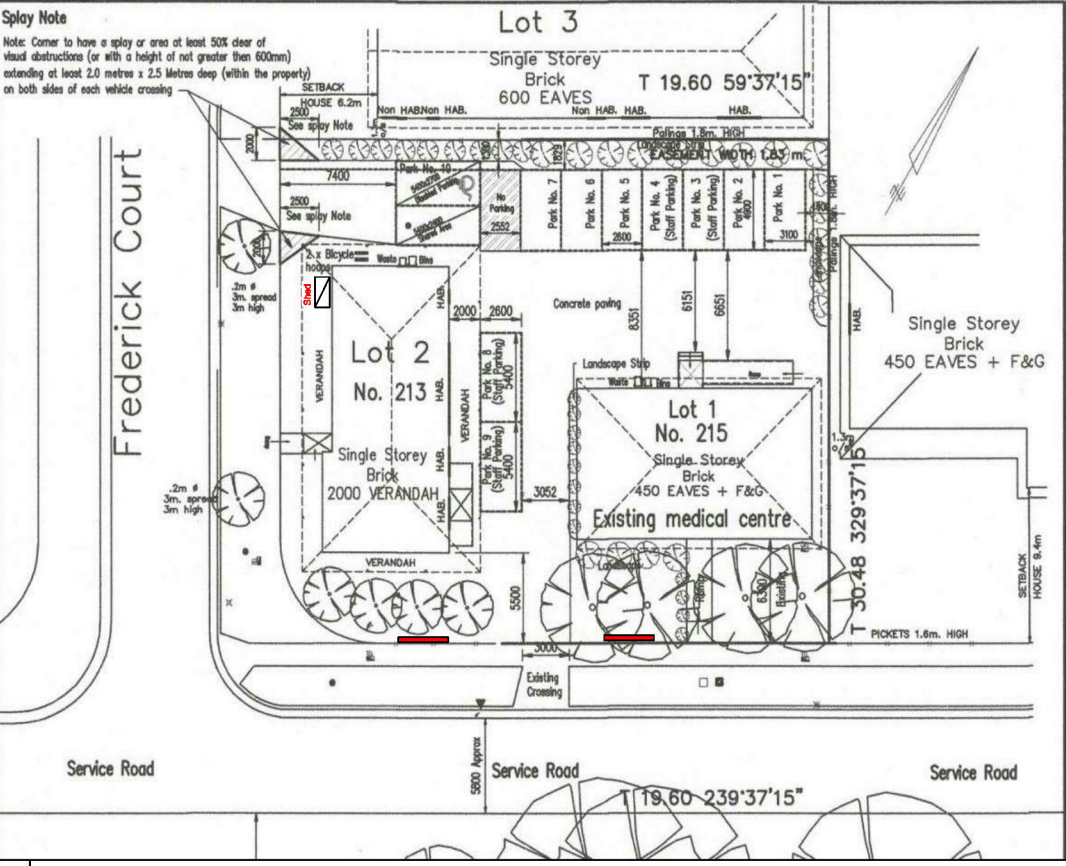
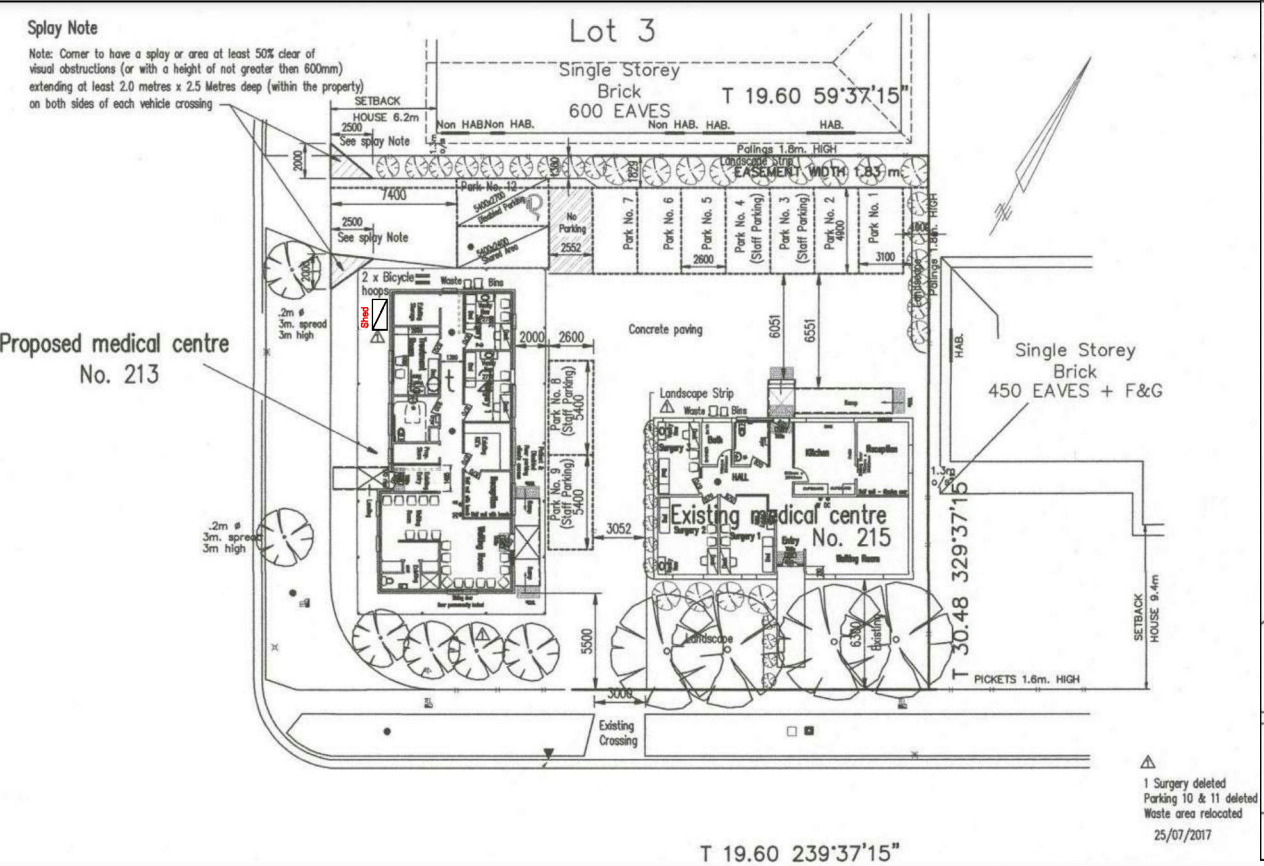
HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expence and responsibility. The contractor shall verify all dimensions and enclosed drawing DREAMPLAN DESIGN DRAFTING SERVICES is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

Note - Connected to 100 x 50 Colorbond Downpipes to 100mm Dia UPVC Stormwater Drain with 1 in 100mm Fall Connected to Existing or to Legal Point of Discharge as directed by City Engineer's Dept

Existing Concrete Slab - Carpet Floors



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Advertised Documents  
Plan: 3 of 9

SITE PLAN  
1 : 200

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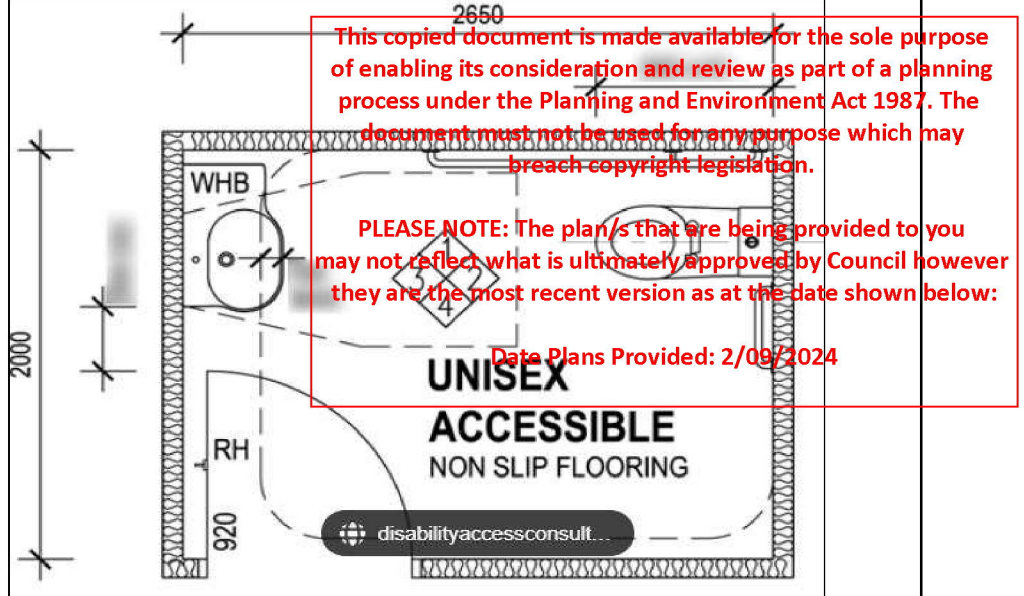
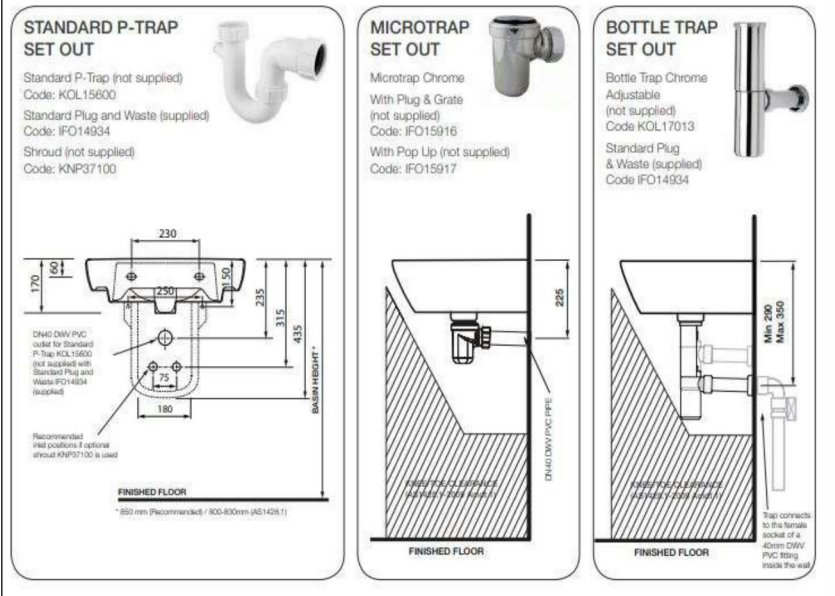
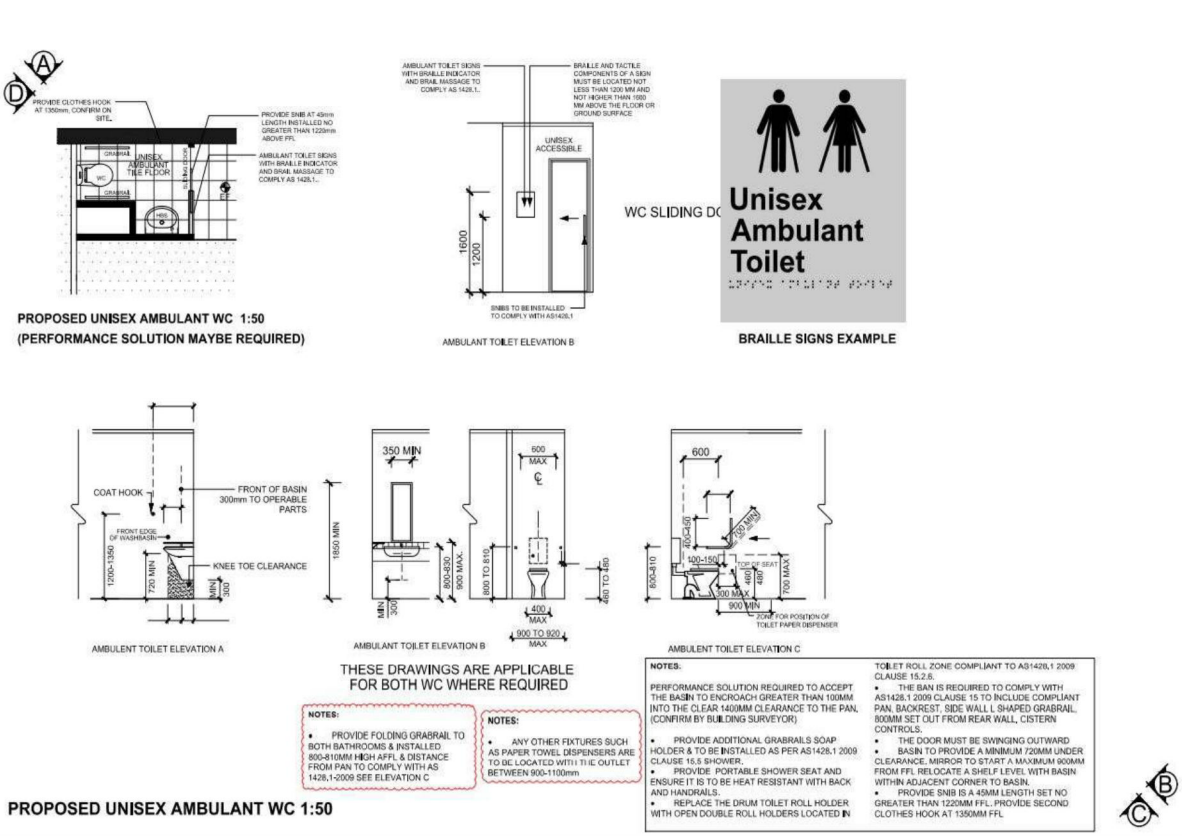
INTERNAL FIT OUT EXISTING BUILDING  
CLIENT -  
No 213 - 215 Princes Hwy, Werribee

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SITE PLAN

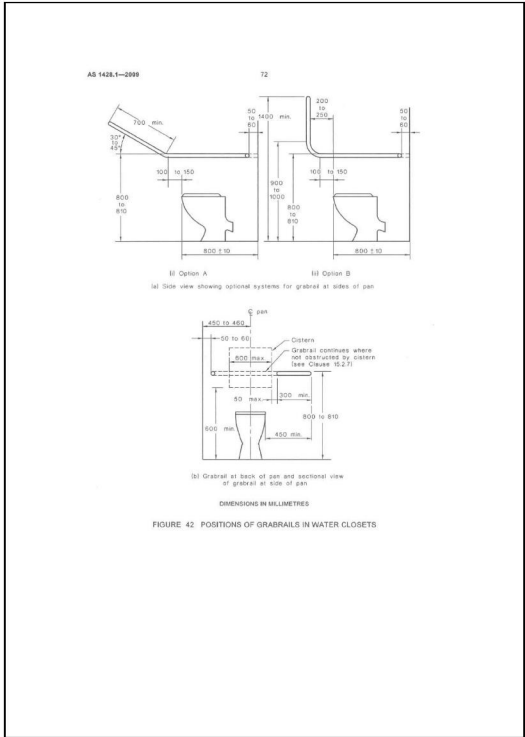
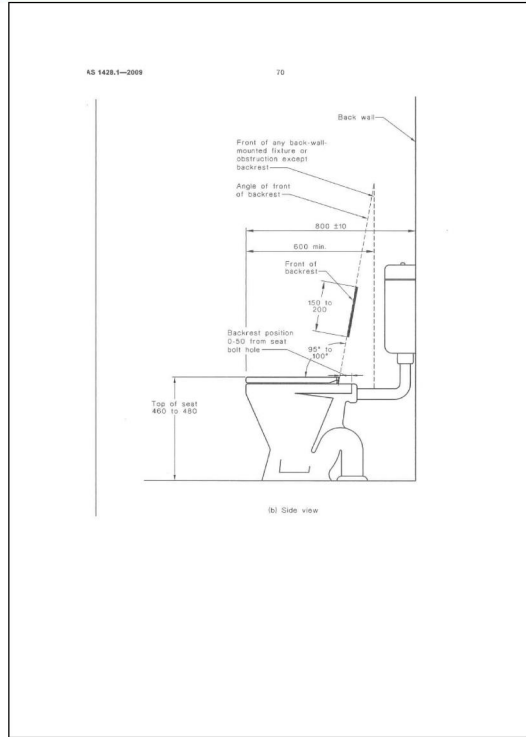
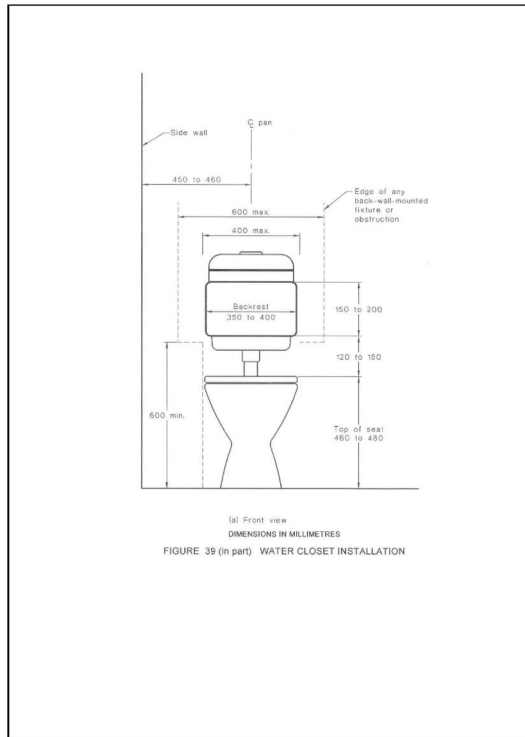
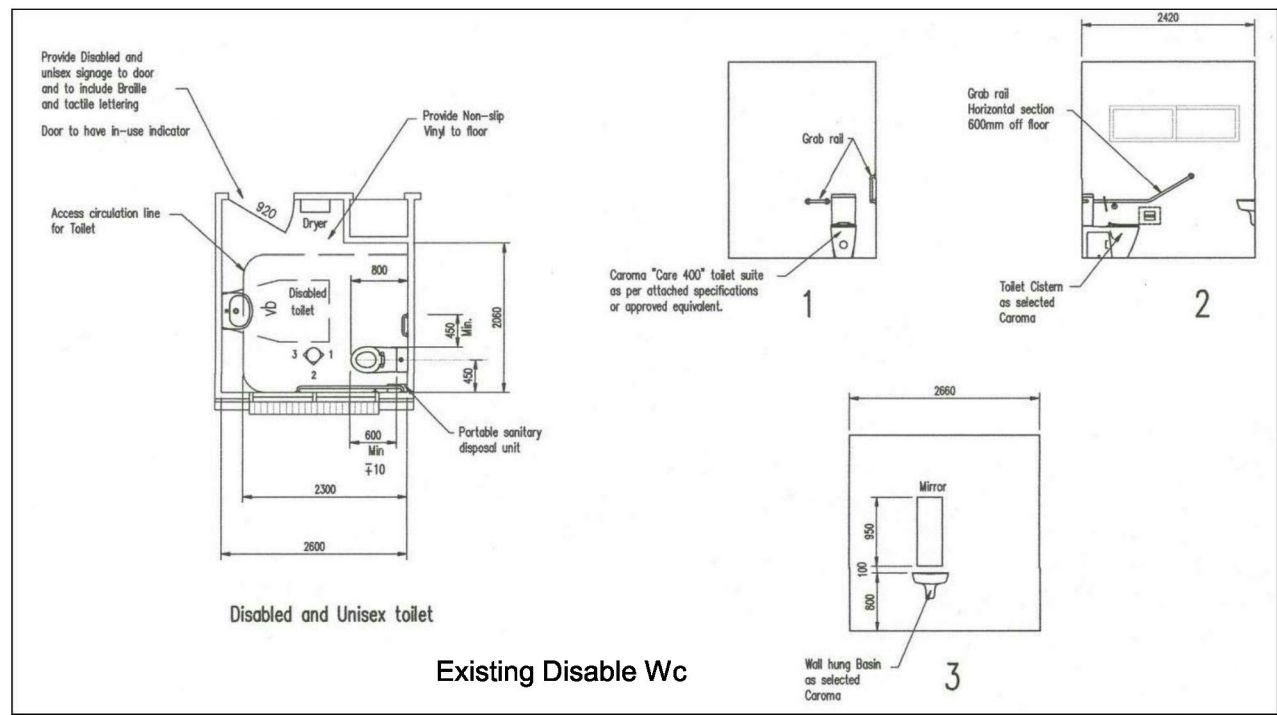
SCALE: 1:100	SHEET: 3	DRAWN BY
DRAWING No:029	NORTH	DATE: 01/11/2023





WYNDHAM CITY COUNCIL  
Town Planning  
Advertised Documents  
Plan: 4 of 9

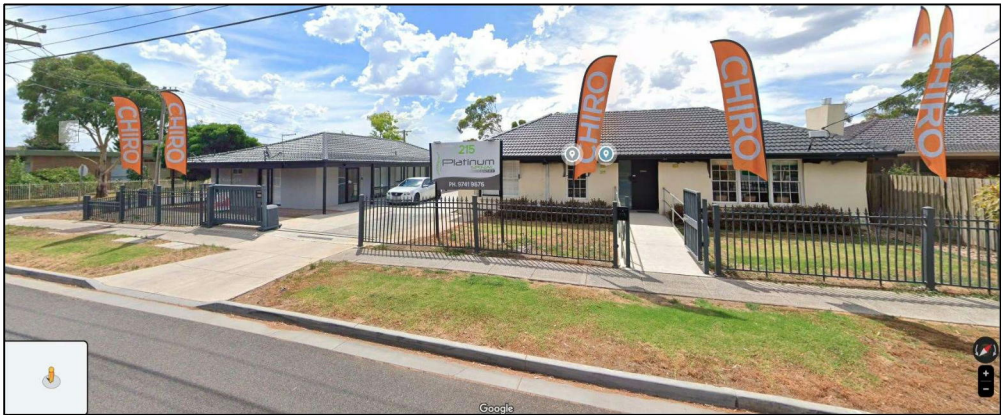
Note - accessible sanitary facilities as outlined under AS1428.1 - Disable WC at ground Floor access



DREAMPLAN DESIGN DRAFTING SERVICES		RBP - DP AD 515	INTERNAL FIT OUT EXISTING BUILDING CLIENT - No 213 - 215 Princes Hwy, Werribee			
		HIA - 5534742		SCALE: 1:100	SHEET:	DRAWN BY
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No 213 - 215 Princes  
Hwy, Werribee 3030



## GENERAL NOTES

- DO NOT USE SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY. BUILDER TO VERIFY ALL LEVELS AND MEASUREMENTS PRIOR TO THE COMMENCEMENT OF ANY WORKS. BUILDER TO CHECK PLANS AGAINST ON SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE DRAFTSPERSON IMMEDIATELY.
- THE BUILDER IS TO ENSURE THAT NO PART OF THE STRUCTURE INCLUDING DRAINAGE AND FOOTINGS IS TO ENCROACH OVER THE TITLED BOUNDARY.
- SITE BOUNDARY TO BE VERIFIED PRIOR TO ANY WORKS COMMENCING. BUILDER/OWNER TO ENGAGE A SUITABLY QUALIFIED LAND SURVEYOR IF REQUIREWD.
- SITE CLASSIFICATION, CLASS (ASSUMED) OR AS PER THE SOIL REPORT IF UNDERTAKEN. THE DRAFTSPERSON/ARCHITECTS IS TO BE IMMEDIATELY NOTIFIED IF THE SITE CLASSIFICATION OR THE FOUNDING DEPTH OF THE SOIL REPORT DIFFERS FROM THE ARCHITECTURAL STRUCTURAL PLANS.
- THE BUILDER AND/OR OWNER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THAT THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL BUILDING WORKS.
- ALL EXISTING CONDITIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OR ORDERING OF ANY MATERIALS.
- ALL FOOTINGS ARE TO COMPLY WITH AS 2870/1996.
- ALL TIMBER FRAMING IS TO COMPLY WITH AS 1684/2010 PARTS 2,3 & 4
- ALL STRUCTURAL TIMBERWORK SHALL CONFORM TO THE REQUIREMENTS OF AS1720 S.A.A., TIMBER ENGINEERING CODE AND AS1684 S.A.A. LIGHT TIMBER FRAMING CODE.
- ALL ROOF FIXINGS AND TIE DOWNS ARE TO COMPLY WITH AS 1684/2010 PARTS 2, 3 & 4.
- ALL WALL AND ROOF BRACING IS TO COMPLY WITH AS 1684/2010 PARTS 2, 3 & 4.
- ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, THE BUILDING REGULATIONS, THE BUILDING ACT AND ANY OTHER RELEVANT BY-LAWS, AUSTRALIAN STANDARDS, ACTS OR LOCAL COUNCIL REQUIREMENTS.
- ALL PLUMBING IS TO BE DONE BY REGISTERD PLUMBERS IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND TO SATISFACTION OF THE LOCAL AUTHORITY. ALL JOINS TO BE WATER TIGHT.
- A LICENCED PLUMBER IS TO SEAL AND MAKE SURE ALL GAS AND WATER SUPPLIES TO THE AREA AFFECTED BY WORKS ON SITE.
- A LICENCED ELECTRITRION IS TO DISCONNECT AND MAKE SAFE ALL POWER SUPPLY TO THE AREA AFFECTED BY WORKS ON SITE.
- PROVIDE THERMAL INSULATION AS PER THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA (PART J OF THE BUILDING CODE OF AUSTRALIA).
- ALL GLAZING IS TO COMPLY WITH AS 1288/2006.
- STEPS - MAXIMUM RISER 190MM, MINIMUM TREAD 250MM AND AS PER THE BUILDING CODE OF AUSTRALIA.
- HANDRAILS TO BE A MINIMUM 865MM ABOVE THE NOSING OF TREADS AND 1000MM ABOVE THE LANDING WITH BALUSTERS A MAXIMUM 125MM APART. MAX 125MM SPHERE BETWEEN STAIRS TREADS.
- BALUSTRADES TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AS1170 DEAD AND LIVE LOAD COMBINATIONS, AND AS/NZS1170.1-PERMANENT, IMPOSED AND OTHER ACTIONS. BALUSTRADES 4000MM AND GREATER ABOVE THE SURFACE BENEATH MUST NOT HAVE ANY PART THAT IS CLIMBABLE.
- CONCRETE STRENGTH TO BE A MINIMUM 20MPA IN 28 DAYS.
- PROVIDE EMERGENCY LIFT UP HINGES TO THE TOILET DOOR WHERE THE DISTANCE FROM THE TOILET PAN TO THE DOOR IS LESS THAN 1200MM AS PER THE BUILDING CODE OF AUSTRALIA.
- LIGHT & VENTILATION IS TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.
- ALL EXTERNAL STEEL WORKS SHALL BE HOT DIP GALVANISED, INTERNAL STEEL WORK SHALL BE PRIMED WITH INORGANIC ZINC SLICATE COAT IN ACCORDANCE WITH AS 3700/2011, AND AS PER THE BUILDING CODE OF AUSTRALIA.
- THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTURAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE ARE PROVIDED ONLY AS GUIDELINES. NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.
- PROVIDE ROOF FLASHING AS REQUIRED AS PER THE BUILDING CODE OF AUSTRALIA.
- AREAS ADJACENT TO FOOTINGS ARE TO BE GRADED AND DRAINED AWAY FROM THE BULDING TO PREVENT PONDING OF WATER.
- THE MINIMUM FALL OF THE BOX GUTTER IS TO BE 1 IN 100.
- THE MINIMUM SIZE AND FALL OF BOX GUTTER, AND RAINWATER HEADS AT ENDS OF BOX GUTTERS TO COMPLY WITH CL. 5.5.6.1 OF AS-3500.
- PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660.1/2000 IF REQUIRED BY

- THE RELEVANT COUNCIL.
- EXIT DOORS WHICH SWING AGAINST THE DIRECTION OF EXIT TRAVEL TO BE CAPABLE OF BEING HELD IN THE OPEN POSITION.
  - POWER OPERATED SLIDING DOORS SERVING AS EXITS ARE TO BE CAPABLE OF BEING OPENED BY HAND UNDER A FORCE OF NOT MORE THAT 110N UPON MALFUNCTION OR FAILURE OF THE POWER SOURCE.
  - NON SLIP FINISHES TO BE PROVIDED TO ALL STEPS, RAMPS AND LANDINGS.
  - SIGNS REQUIRED TO FIRE DOORS INDICATING "FIRE DOOR - DO NOT OBSTRUCT" IN 20MM HIGH LETTER IN A CONTRASTING COLOUR IN ACCORDANCE WITH CLAUSE D2.23 OF THE BCA.
  - ALL PENETRATIONS THROUGH FIRE RATED MEMBERS TO BE SEALED USING FIRE COLLARS OR FIRE SEAL AS APPROPRIATE, IN ACCORDANCE WITH CLAUSE C 3.15, OF THE BCA.
  - DISABLED ACCESS, SANITARY FACILITIES, AND SIGNAGE TO BE PROVIDED IN ACCORDANCE WITH AS1428.1.-2009.
  - TACTILE GROUND SURFACE INDICATORS TO WARN PEOPLE OF HAZARDS SHALL COMPLY WITH AS/NZS 1428.4.1.
  - EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6M TO FRESH AIR INLETS.
  - MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS1668.2-1991 & AS/NZS3666.1-2000.
  - MINIMUM 2400MM CEILING HEIGHT TO ALL NEW PORTIONS OF CEILING.
  - FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10, OF THE BUILDING CODE OF AUSTRALIA.
  - ELECTRICAL SWITCHBOARDS LOCATED IN THE PATH OF TRAVEL TO EXITS TO BE ENCLOSED IN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING WITH DOORWAYS OR OPENING SUITABLY SEALED AGAINST SMOKE SPREADING FROM THE ENCLOSURE.
  - EXIT DOORS WHICH SWING AGAINST THE DIRECTION OF EXIT TRAVEL TO BE CAPABLE OF BEING HELD IN THE OPEN POSITION.
  - GUARDRAILS ARE TO BE PROVIDED TO ROOF PLATFORM IF PLATFORM EXCEEDS 300MM IN HEIGHT FROM EXISTING ROOF LINE. DESIGN, CONSTRUCTION AND INSTALLATION OF ACCESSWAY, LADDER AND FIXED PLATFORM IS TO BE IN ACCORDANCE WITH AS1657-1992.
  - ARTIFICIAL LIGHTING TO COMPLY WITH AS/NZS1680.0-2009.
  - ALL DOORWAYS TO HAVE A MINIMUM UNOBSTRUCTED HEIGHT OF 2M AND MINIMUM WIDTH NOT LESS THAN 750MM OR 800MM TO ALLOW FOR DISABLED ACCESS.
  - EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS 2293.1-2005.
  - ALL FIRE SERVICES TO COMPLY WITH THE RELEVANT AUSTRALIA STANDARDS AND NCC 2014.
  - PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS 2444-2001. PROVIDE 2A 20B (E) DRY CHEMICAL PORTABLE FIRE EXTINGUISHER WITHIN 2M TO 20M OF ALL ELECTRICAL SWITCHBOARDS.
  - FIRE HOSE REEL INSTALLATION TO COMPLY WITH AS1221 & AS2441-2005.
  - ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS (INCLUDING ROLLER SHUTTER GRILLES) ARE TO BE CAPABLE OF BEING OPENED AT ALL TIMES FROM THE SIDE FACING A PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD OR PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900MM AND 1200MM ABOVE FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21, OF THE BCA.
  - ALTERATIONS TO THE SPRINKLER SYSTEM WILL BE CARRIED OUT TO COMPLY WITH AS2118.1-1999.
  - ALTERATIONS TO THE SPRINKLER SYSTEM WILL BE DOCUMENTED, INSPECTED AND APPROVED AS COMPLYING WITH AS 2118 BY THE FIRE PROTECTION INSPECTION SERVICE (OR OTHER APPROVED SPRINKLER INSPECTION AND TESTING SERVICE) AND THEIR WRITTEN APPROVAL PROVIDED TO THE RELEVANT BUILDING SURVEYOR ON COMPLETION OF THE WORKS.
  - SEPARATING WALLS WHICH EXTEND UP TO THE ROOF COVERING MUST BE PACKED WITH A SUITABLE FIRE RESISTING MATERIAL.
  - SMOKE ALARMS ARE TO BE HARD-WIRED AND IN ACCORDANCE WITH AS3786-1993.
  - SMOKE / HEAT DETECTION SYSTEM TO BE IN ACCORDANCE WITH AS1670.1, 2, 3-& 4 2004.
  - THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST COMPLY WITH THE FOLLOWING IF THERE IS NOT A CLEAR SPACE OF AT LEAST 1.2M BETWEEN CLOSET PAN AND NEAREST PART OF DOORWAY:
    - OPEN OUTWARDS OR
    - SLIDE OR
    - BE READILY REMOVABLE FROM THE OUTSIDE OF THE SANITARY COMPARTMENT

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Date Plans Provided: 2/09/2024

Note - Stud Frame Metal Studs 92R  
450ctrs  
INSULATION  
Walls - 3.0 R - Value  
Ceiling- 3.5 R - Value

Emergency lighting, exit signs and warning system to comply with E4.2 and E4.4 of BCA and AS/NZS 2293.1 , 1.2005 containg the running man symbol

Portable fire extinguishers to be in accordance with clause E1.6 & AS 2444 - 2001 they are to be located at not more than 15mtrs apart

**WYNDHAM CITY COUNCIL**  
**Town Planning**  
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**Plan: 5 of 9**

Note - Timber Framing Code  
to Comply with AS 168.4 - 2

Fire Hose Reel to AS  
2441 - 2005

Fire Hydrant to AS  
2419. 1-2005

All common areas to be shown with smoke detectors in accordance with AS 3786

Note - door hardware is required to be openable without a key from the side that faces a person seeking egress

**DREAMPLAN DESIGN**  
**DRAFTING SERVICES**

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AD 515

HIA -  
5534742

**INTERNAL FIT OUT EXISTING BUILDING**  
**CLIENT -**  
**No 213 - 215 Princes Hwy, Werribee**

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DRAWING No:029

SHEET:

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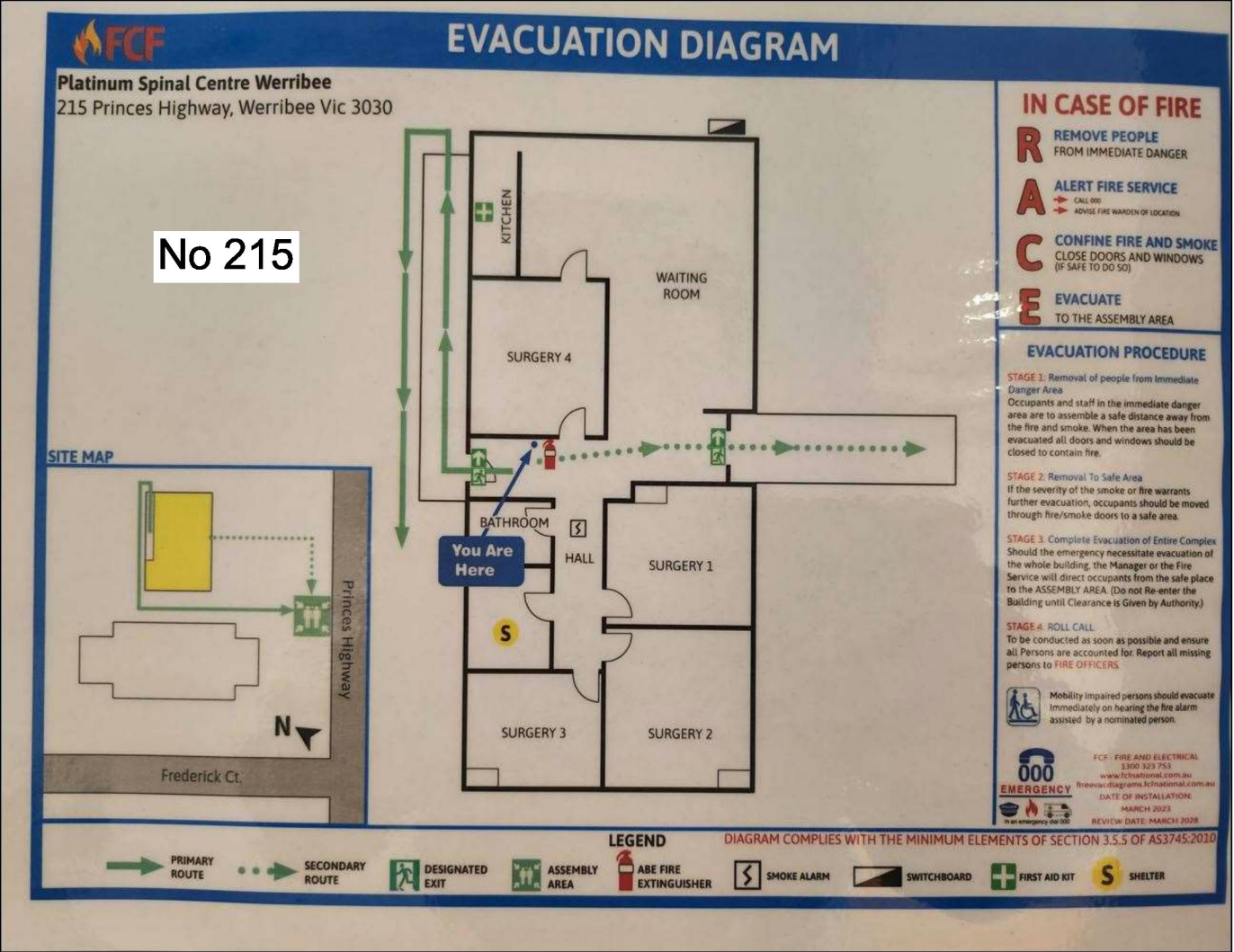
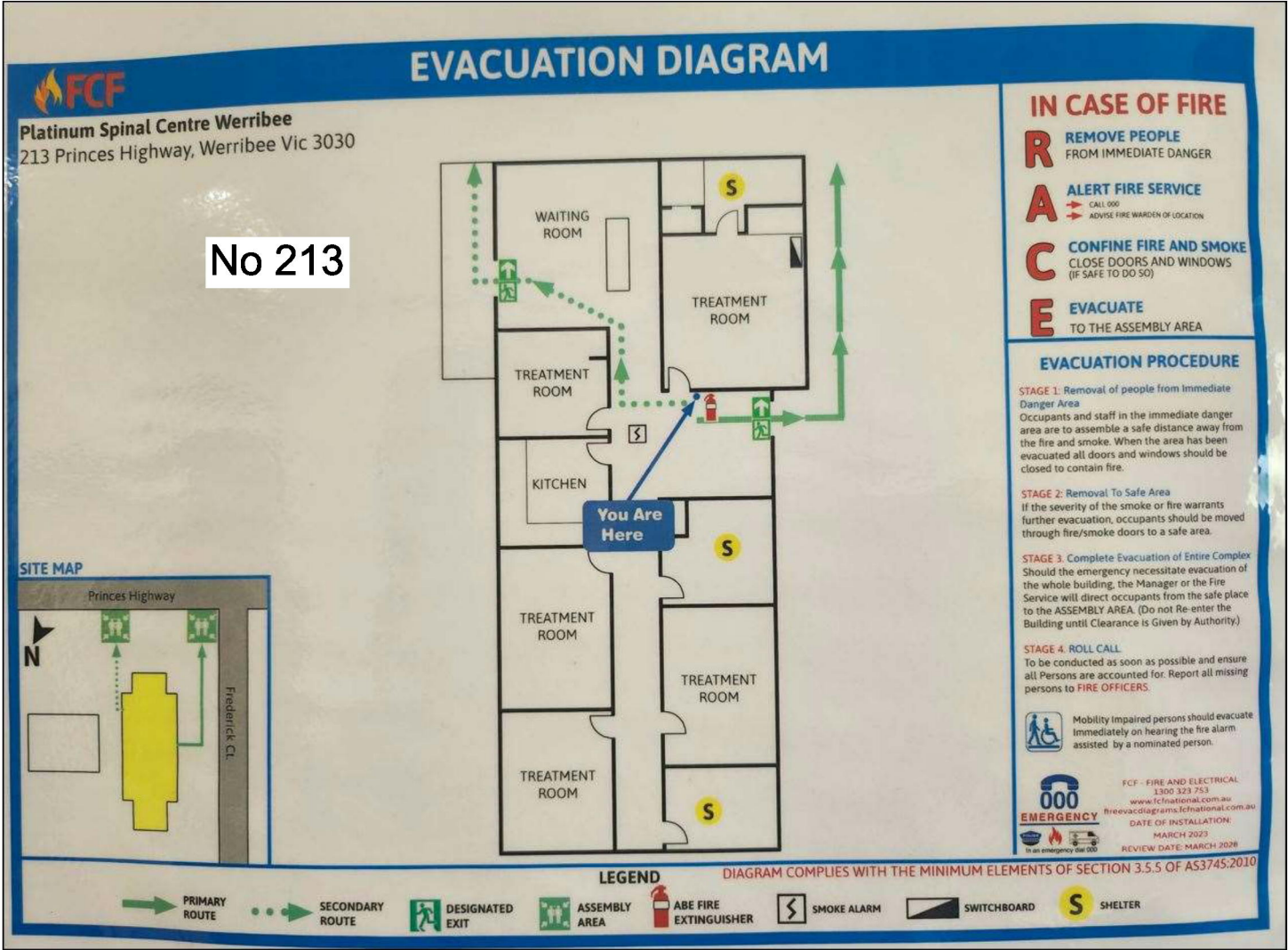
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Plan: 6 of 9





Signage - Board with Lights

No 213 Signage Board with Lights -  
2000mm x 2000mm with 2 x 50KW lights



Signage - Board with Lights

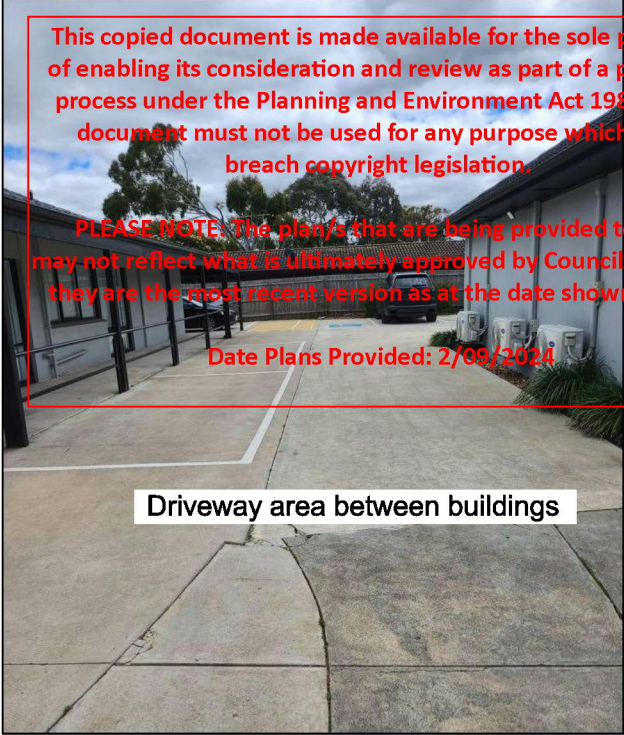
No 215 Signage Board with Lights  
- 2000mm x 2000mm with 2 x 50KW lights



No 213 A Frame - 600mm x 900mm



213 Window decal on entrance door



Driveway area between buildings

**WYNDHAM CITY COUNCIL**

**Town Planning**

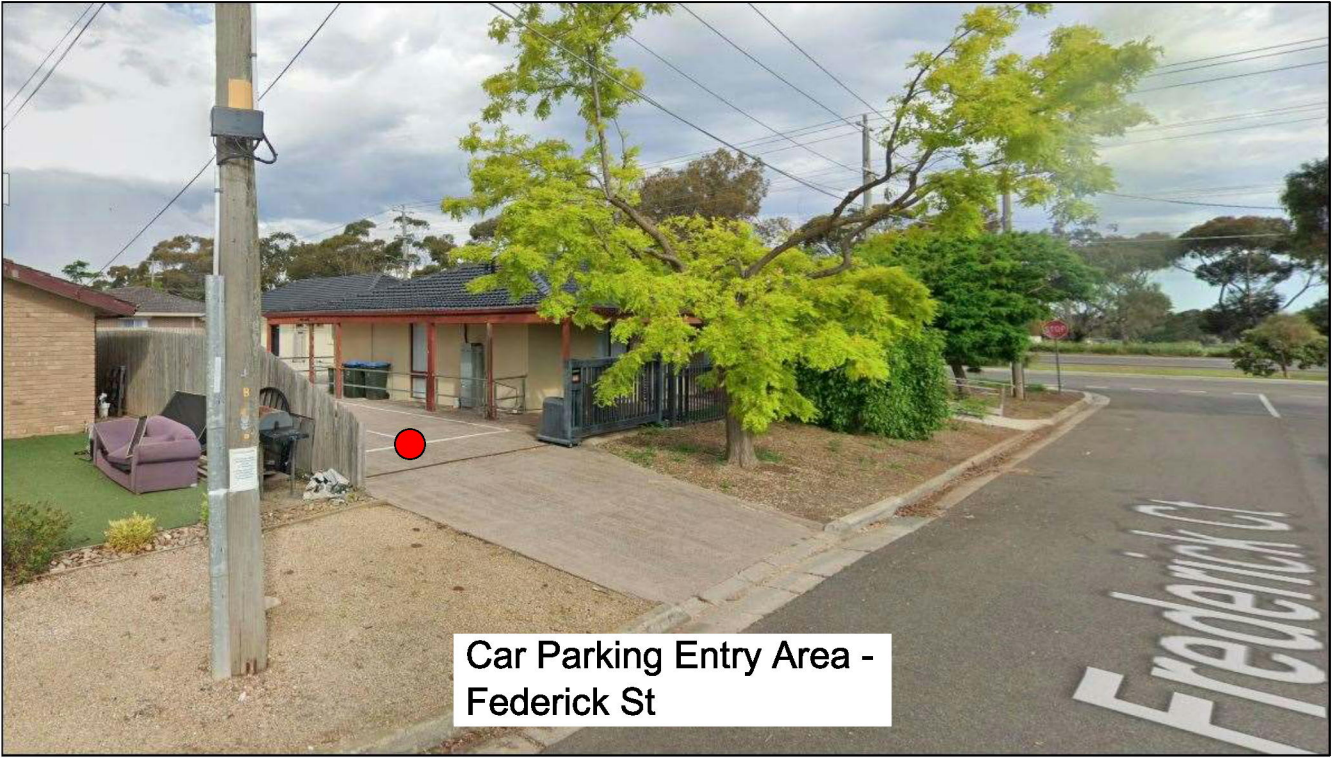
**Advertised Documents**

**Plan: 7 of 9**

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Date Plans Provided: 2/09/2024



Car Parking Entry Area -  
Frederick St



Car Parking Entry Area -

Signage - Flages - 5 off - each flag is 3.6m tall x 350mm Wide

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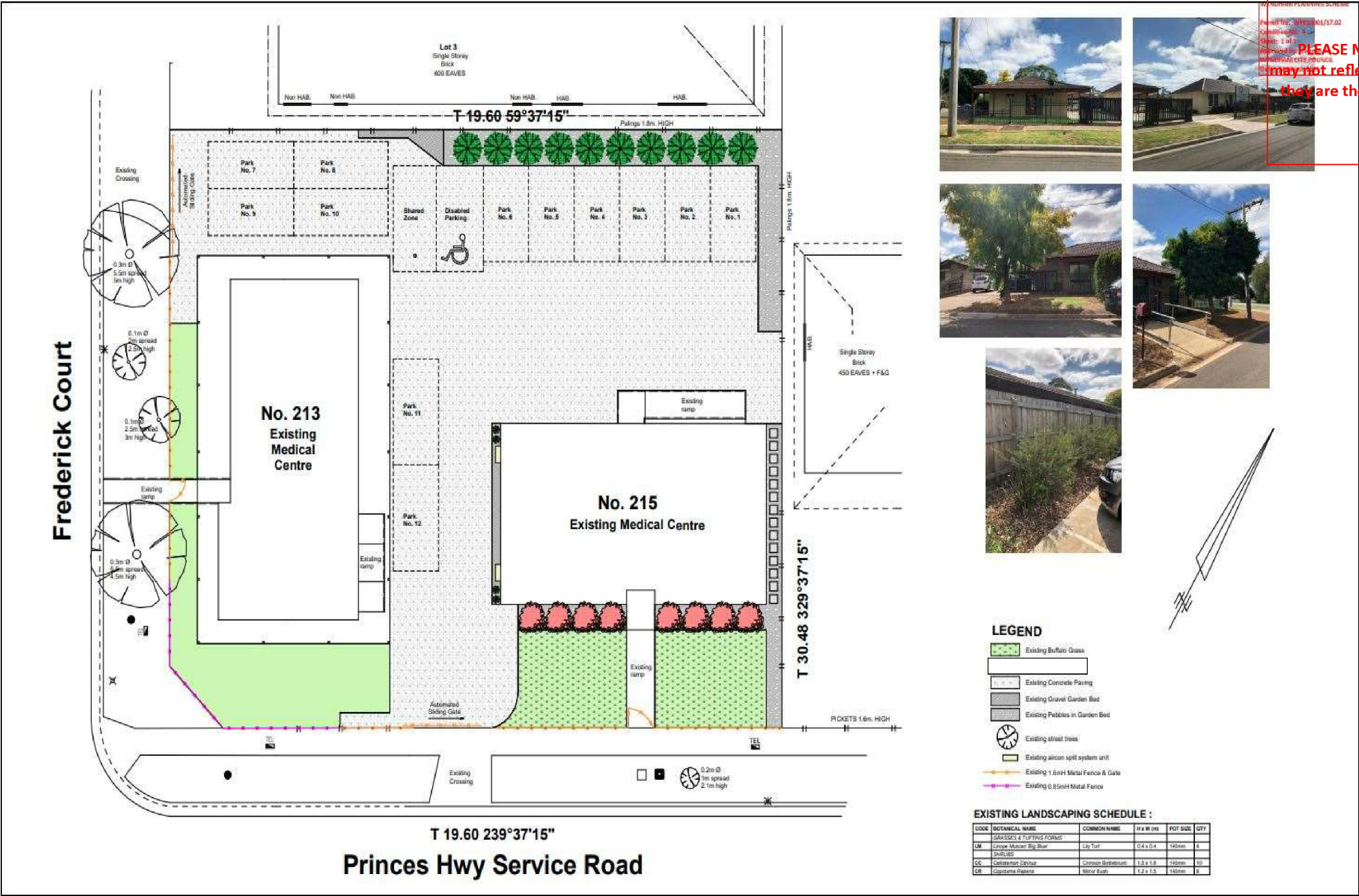
NORTH

DRAWN BY

DATE: 01/11/2023



Landscape Plan



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**Advertised Documents**

**Plan: 8 of 9**

**DREAMPLAN DESIGN**  
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**INTERNAL FIT OUT EXISTING BUILDING**  
**CLIENT -**  
**No 213 - 215 Princes Hwy, Werribee**

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**Landscape Plan**

SCALE: 1:100	SHEET:	DRAWN BY
DRAWING No:029	NORTH	DATE: 01/11/2023



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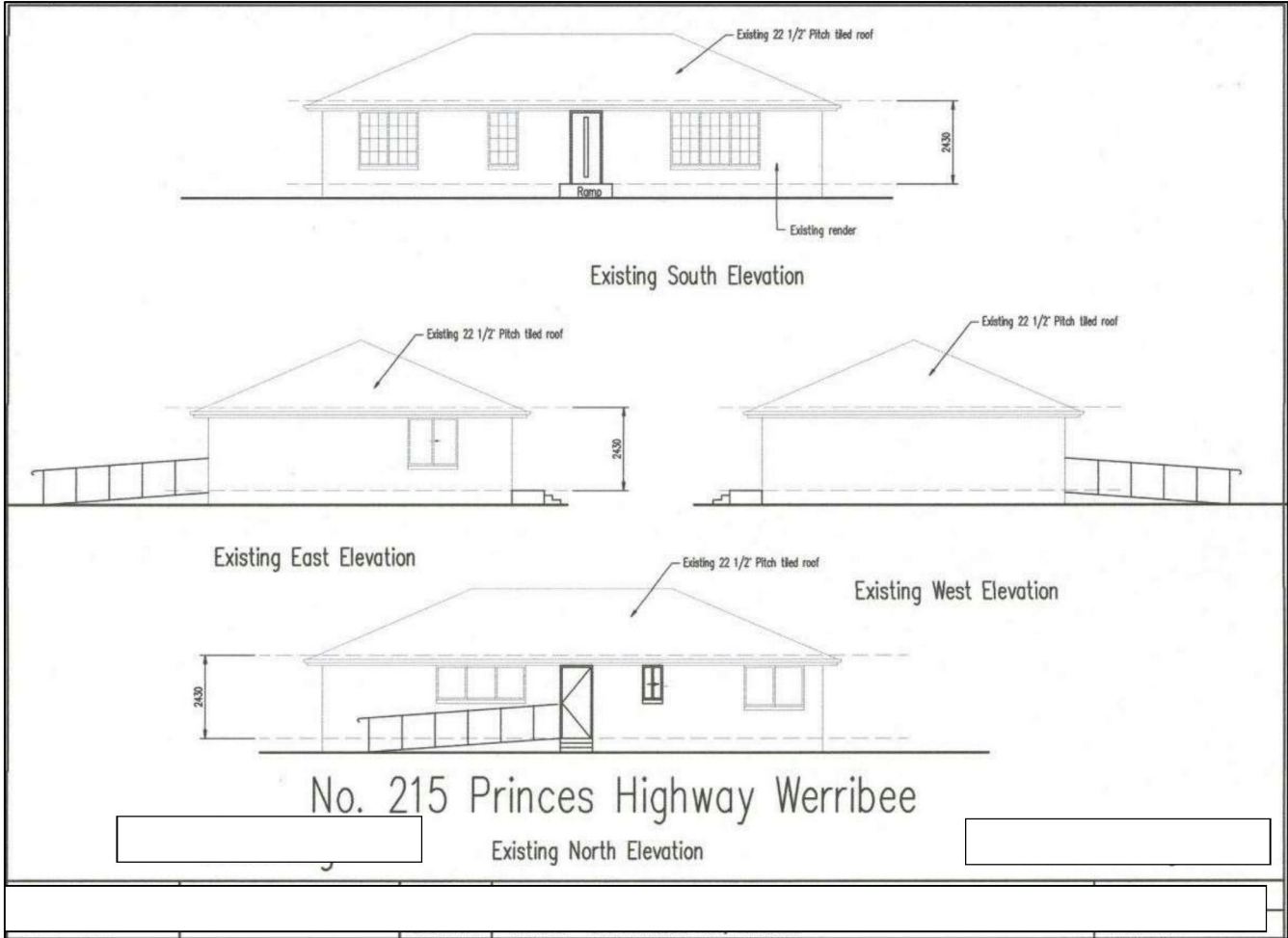
PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

Date Plans Provided: 2/09/2024

Existing Elevations - No Changes



Existing Elevations - No Changes



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