

APPLICATION FOR PLANNING PERMIT

TO:
Urban Planning
Merri-bek City Council

Proposed Alterations and Additions at 14 Nash St, Brunswick

Dear Madam / Sir,

On behalf of the owners, Elizabeth Connolly and Simon Osborne, we lodge this application for planning permit for part demolition and alterations and additions to an existing dwelling on a site under 300m².

Please find enclosed planning permit application drawings and photographs as well as other relevant documents outlined below.

Should you have any queries please contact me on 0402 689 598.

Yours Sustainably,

Logan Shield

Building Designer
Registered Building Practitioner

Advertised Document
Advertised Report - 9 Pages
Application No: MPS/2025/250
Date: 14/07/2025

Please note: This written statement is produced by the permit applicant and may not represent Council's position about whether the Standard is met. Council will complete its own assessment before a decision is made

Attachments

- Planning report
- Drawings TP.01 - TP.12
- Current copy of title
- Land Survey

PLANNING REPORT

Introduction

This report was prepared by *Geometrica* for part demolition and alterations and additions to an existing dwelling. This project will increase the amenity of the dwelling, by providing an additional bedroom, ensuite and study to accommodate the current needs of a growing young family.

We believe the additions will fit neatly within their context while at the same time creating their own uniquely modern identity through sensitive design and complimentary materials. The site is well serviced by public transport and shops. The owners will continue to live in the dwelling upon completion.

32.08 GENERAL RESIDENTIAL ZONE

The proposal responds to the relevant sections of this clause in the following ways:

32.08-4 Construction or extension of a dwelling or residential building

The property is 167m² in area and therefore exempt from minimum garden area requirement.

32.08-5 Construction and extension of one dwelling on a lot

With an area of 167m², the lot is less than the 300m² limit which requires the proposal to obtain a planning permit. The response to the requirements of Clause 54 is set out below.

32.08-10 Maximum building height requirement for a dwelling or residential building

The maximum height of the proposed dwelling is 7.100m and is limited to 2 storey. This is less than the 11m / 3 storey limit, therefore satisfies the maximum building height requirement.

54.01 NEIGHBOURHOOD & SITE DESCRIPTION & DESIGN RESPONSE

54.01-1 Neighbourhood and Site description

Neighbourhood Description

Refer to drawing TP.01

Site Description

Refer to drawings TP.02 - TP.05

54.01-2 Design response

Demolition

- Refer to drawings TP.03 - TP.05

Alterations & Additions

- Refer to drawings TP.06 - TP.12

54.02 NEIGHBOURHOOD CHARACTER

54.02-1 Neighbourhood character objective

Standard A1

The proposal is appropriate to the neighbourhood and the site as follows:

- The proposed additions are setback well behind the façade limiting any impact on the streetscape
- The proposed additions are not unreasonably large or bulky
- Ceiling and wall heights as well as roof shape have been very carefully considered to minimise bulk and therefore limiting impact on neighbouring dwellings

The proposal respects the existing neighbourhood character as follows:

- The proposal respects the prevailing built form of its adjoining neighbours by retaining the single story, single fronted facade, with all additions to the rear
- Material choices respond to the surrounding neighbourhood by using materials complimentary to the original surrounding Victorian era cottages

The design responds to the features of the site as follows:

- The siting of the additions maximises use of the small site by increasing the volume of the dwelling by adding an additional storey to the rear.
- The amenity of adjoining neighbours is respected as much as possible by retaining all existing boundary walls and setbacks in their current form, by avoiding unreasonable overshadowing, given then site constraints, and with no overlooking.

⇒ Standard: ACHIEVED
⇒ Objective: ACHIEVED

54.02-2 Integration with the street objective

Standard A2

- N/A

54.03 SITE LAYOUT AND BUILDING MASSING

54.03-1 Street setback objective

Standard A3

- N/A

54.03-2 Building height objective

Standard A4

- The maximum building height will be 7.100m, less than the 9m allowed
 - ⇒ Standard: ACHIEVED
 - ⇒ Objective: ACHIEVED

54.03-3 Site coverage objective

Standard A5

- The proposed site coverage will be 56%, less than the maximum 60% allowed
 - ⇒ Standard: ACHIEVED
 - ⇒ Objective: ACHIEVED

54.03-4 Permeability objectives

Standard A6

- The proposed permeability will be 10%, less than the minimum 20% required

Alternative design solution justification

- There will be almost no change to the footprint of the dwelling
- The existing permeability is 10% and there will be no change

- ⇒ Standard: NOT ACHIEVED
- ⇒ Objective: ACHIEVED

54.03-5 Energy efficiency protection objectives

Standard A7

- Energy efficiency will be achieved through:
 - High levels of insulation will be provided, along with double glazed windows and zoned living spaces to minimise energy use
 - The gas connection will be terminated and efficient all-electric appliances used
 - Rooftop solar panels will be located on the north facing roof

⇒ Standard: ACHIEVED
⇒ Objective: ACHIEVED

54.03-6 Significant trees objective

Standard A8

- A large tree in the North East corner of the site will be retained

⇒ Standard: ACHIEVED
⇒ Objective: ACHIEVED

54.03-7 Building setback

Standard A9

- N/A

54.03-8 Safety and accessibility

Standard A9.1

- N/A

54.04 AMENITY IMPACTS

54.04-1 Side and rear setbacks objective

Standard A10

- The proposed ground floor south wall is set back a minimum distance of 0.900m, less than the required 1m
- The proposed first floor south wall is set back a minimum distance of 1.065m, less than the 1.607m required for a max. wall height of 5.625m
- The proposed first floor south wall is set back a minimum distance of 1.000m, less than the 1.692m required for a max. wall height of 5.905m

Alternative design solution justification

- *The proposed ground floor south wall is a less than 2m extension of an existing wall and is setback as per existing setback*

- The proposed first floor south wall has been setback as far as reasonably practicable given the extremely tight site constraints. The wall height has also been kept to an absolute minimum with the ceiling / roof springing off at 2.1m - the lowest possible
- The proposed first floor north wall has been setback from the title boundary by 1m since the existing ground floor wall is already on boundary, and therefore the proposed first floor wall will have a limited additional impact. The wall height has been minimised with the ceiling / roof springing off at 2.4m

⇒ Standard: NOT ACHIEVED
 ⇒ Objective: ACHIEVED

54.04-2 Walls on boundaries objective

Standard A11

- The existing north boundary wall has a length of 19.495m, greater than the maximum 14.355m allowed
- The existing north boundary wall has a height of 3.345m ave. / max, greater than the 3.2m ave. allowed, but less than the 3.6m maximum

Alternative design solution justification

- The existing north boundary wall is to be retained, with its length and height unchanged
- A long boundary wall is a feature of similar sized dwellings in the neighbourhood in response to the constraints imposed by the small boundary size.

⇒ Standard: NOT ACHIEVED
 ⇒ Objective: ACHIEVED

54.04-3 Daylight to existing windows objective

Standard A12

- N/A

55.04-4 North-facing windows objective

Standard A13

- N/A

54.04-5 Overshadowing open space objective

Standard A14

Refer to TP.11 & TP.12

- There will be some additional overshadowing to the neighbouring property at. 12 Nash St as shown in the shadowing diagrams

Alternative design solution justification

- Additional overshadowing is common feature of the precinct due to the small property sizes and high levels of site coverage.

- *The first floor south wall has been setback as far as reasonably practicable and its height has also been kept to an absolute minimum with the ceiling / roof springing off at 2.1m - the lowest possible in order to limit overshadowing*
- *Sunlight to the rear S.P.O.S of 12 Nash St has already been greatly reduced by the large studio building constructed within the last 10-20 years.*

⇒ Standard: NOT ACHIEVED
⇒ Objective: ACHIEVED

54.04-6 Overlooking objective

Standard A15

- All first floor habitable room windows have been provided with a privacy 'shelf' (max. 25% open) under the windows to block overlooking - refer to TP.10 for diagram

⇒ Standard: NOT ACHIEVED
⇒ Objective: ACHIEVED

54.05 ON-SITE AMENITY AND FACILITIES

54.05-1 Daylight to new windows objective

Standard A16

- The south facing Bed 3 window has 0.970m clear to sky, less than the 1m required.

Alternative design solution justification

- *The clear to sky dimension is just 30mm short of the required distance*
- *The window is at first floor level with no structures adjacent (at that level) and will therefore receives a good amount of light*

⇒ Standard: NOT ACHIEVED
⇒ Objective: ACHIEVED

54.05-2 Private open space objective

Standard A17

- The proposed area of P.O.S will be 78.1m², greater than the 40m² required
- The proposed area of S.P.O.S will be 30.7m², greater than the 25m² required

⇒ Standard: ACHIEVED
⇒ Objective: ACHIEVED

54.05-3 Solar access to open space objective

Standard A18

- N/A

54.06 DETAILED DESIGN

54.06-1 Design detail objective

Standard A19

The design detail respects the existing neighbourhood character as follows:

Additions

- The scale and form of the works respect the neighbourhood character by providing consistency with similar properties in the area
- The pitched roof form is consistent with neighbouring properties in shape and proportion

⇒ Standard: ACHIEVED
⇒ Objective: ACHIEVED

54.06-2 Front fences objective

Standard A20

- N/A

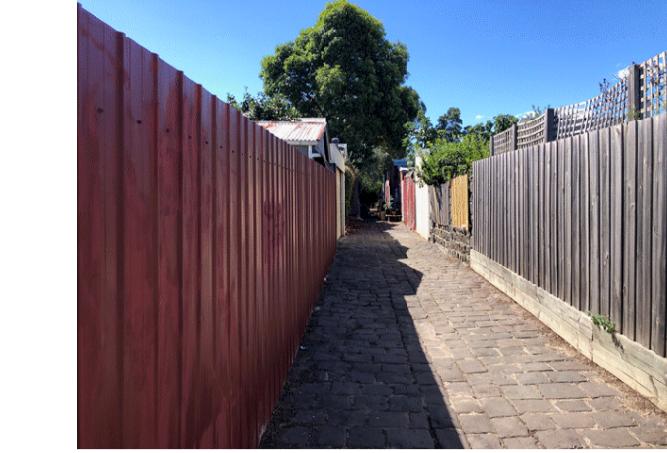
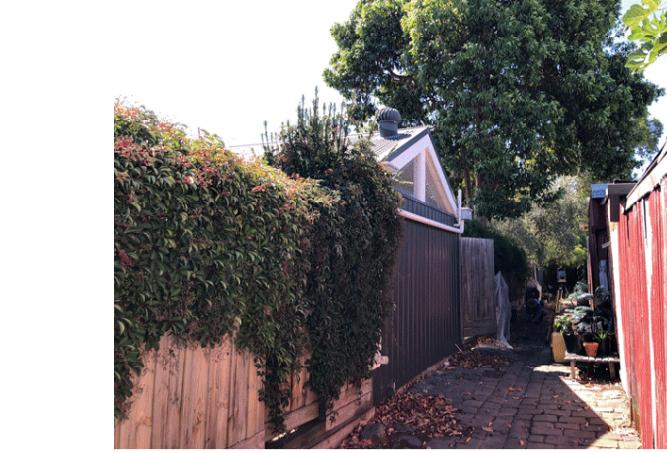
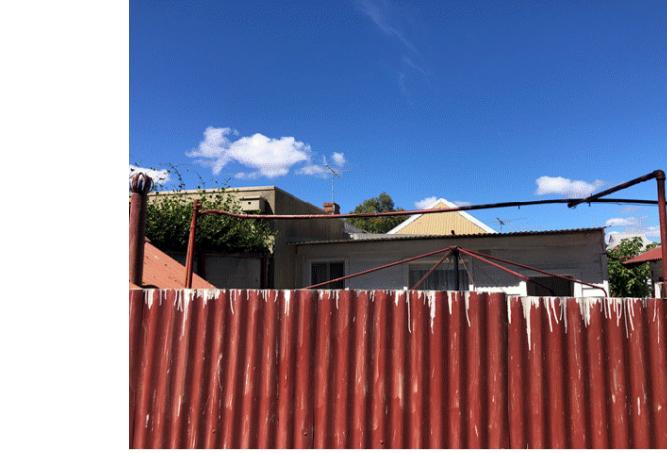
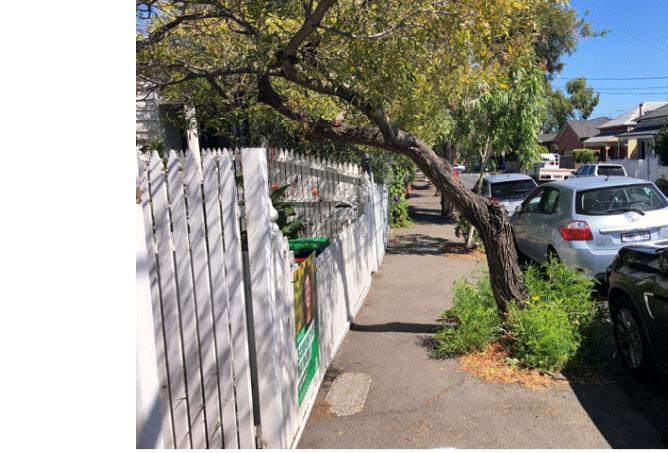
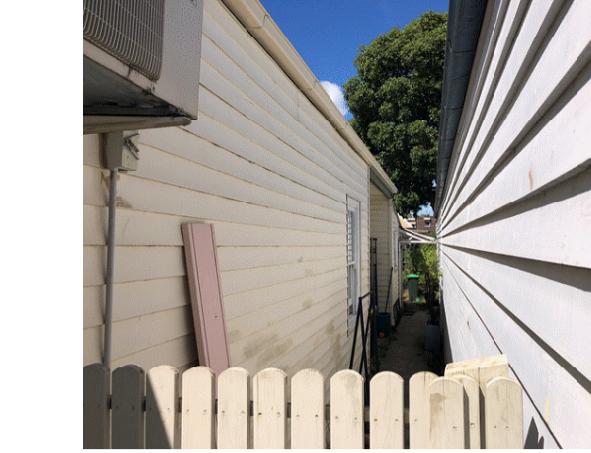


PHOTO 1

PHOTO 2

PHOTO 3

PHOTO 4

PHOTO 5

PHOTO 6

PHOTO 7

PHOTO 8

No.15

SINGLE STOREY
BRICK DWELLING

No.13

SINGLE STOREY
BRICK DWELLING

No.11

SINGLE STOREY
BRICK DWELLING

No.9

SINGLE STOREY
BRICK DWELLING

No.7

SINGLE STOREY
BRICK DWELLING

No.5

SINGLE STOREY
BRICK DWELLING

No.3

SINGLE STOREY
BRICK DWELLING

NASH STREET

