

487 Albert Street Brunswick West

town planning drawings

SCHEDULE OF DOCUMENTATION:

(A) drawings:

drawing n° & drawing title

TP01	neighbourhood character aerial photo	1:200	
TP02	existing: neighbourhood character & site description	1:200	
TP03	proposed: design response	1:200	Amend A, B
TP04	streetscape elevations	1:200	Amend A
TP05	streetscape sightline & 3D views	1:200	Amend A
TP06	proposed: garden area plan	1:100	
TP07	existing /demolition floor plan partial - A	1:100	
TP08	existing /demolition floor plan partial - B	1:100	
TP09	existing / demolition roof plan	1:100	
TP10	existing /demolition elevations (front & rear)	1:100	
TP11	existing /demolition elevations (sides)	1:100	
TP12	proposed ground floor plan partial - A	1:100	Amend A
TP13	proposed ground floor plan partial - B	1:100	Amend A, B
TP14	proposed roof plan	1:100	Amend A, B
TP15	proposed elevations (front & rear)	1:100	Amend A, B
TP16	proposed elevations (sides)	1:100	Amend A, B
TP17	schedule of colours & materials		
TP18	exterior perspectives		Amend A

(B) appendix:

- copy of title
- title re-establishment & feature survey

CONSULTANTS:

Land Surveyor: Mackie Surveying e: luke@mackiesurveying.com contact: Luke Mackie
Planning consultant: Ratio Planning e: bethany.roggero@ratio.com.au p: 03 9429 3111 contact: Beth Roggero

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MERRI-BEK PLANNING SCHEME

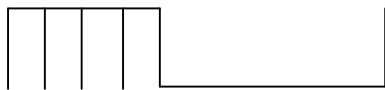
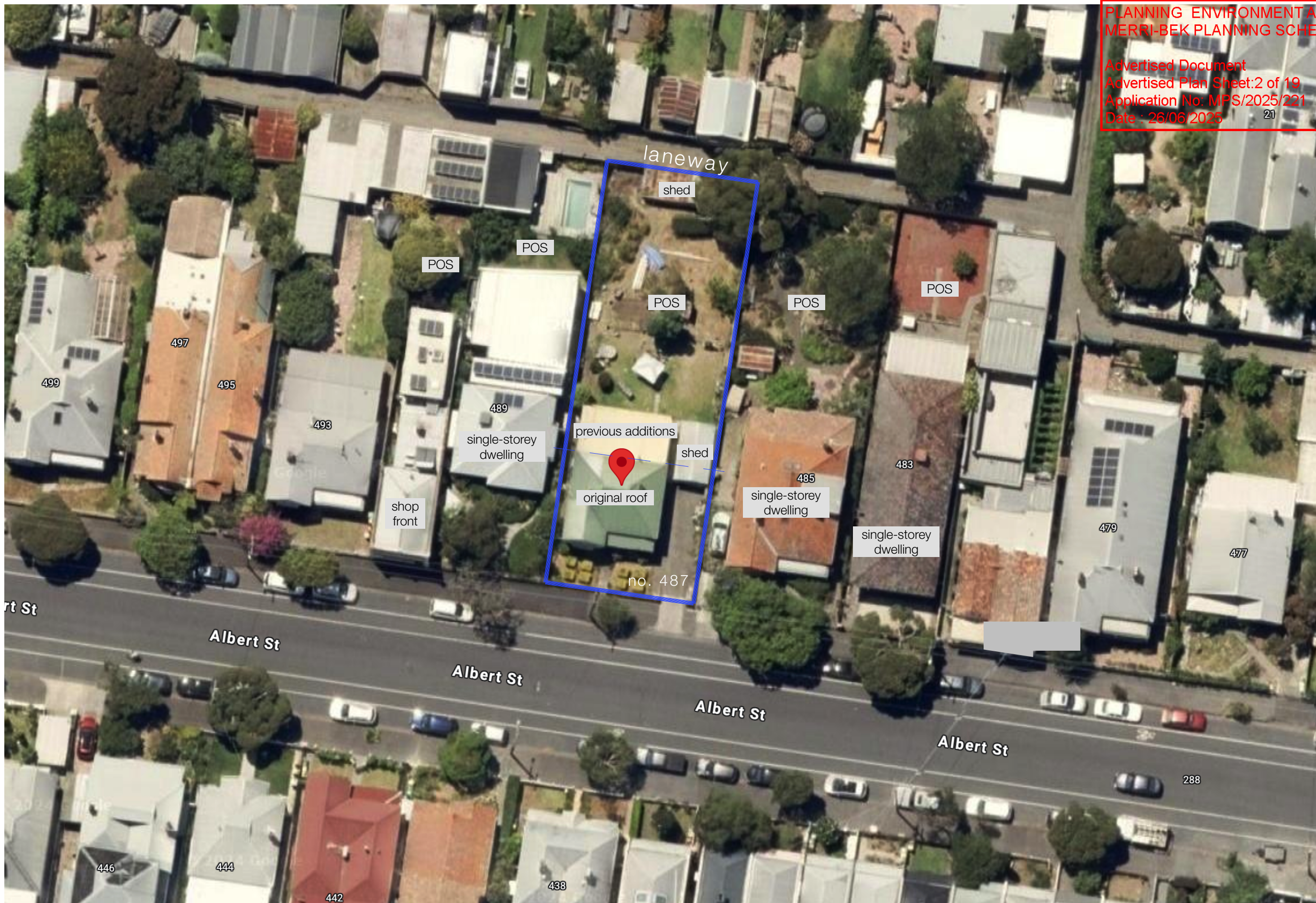
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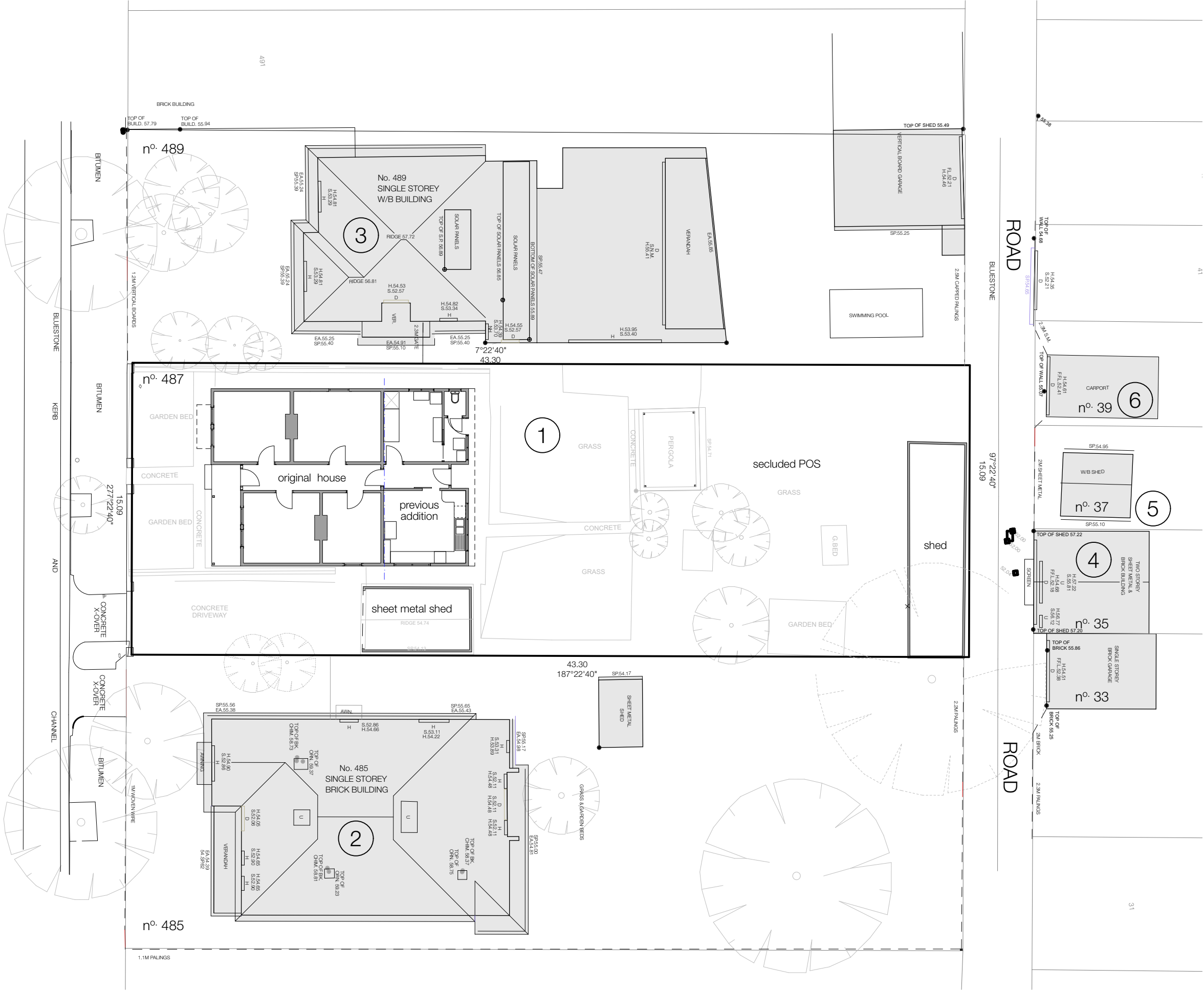
DATE OF ISSUE:

PLANNING DRAWINGS:

FEB 5th 2025: preliminary Planning drawings
APR 8th 2025: updated Planning drawings emailed to Planning consultant
APR 9th 2025: updated Planning drawings emailed to client & Planning consultant
MAY 30th 2025: Amendment A drawings emailed to Planning consultant.
Amendment includes minor changes to proposed new garage, with front wall height reduced by 200mm, wall on boundary height reduced by 100mm and downpipe removed away from the front elevation. Plans & elevations have also had a note added to highlight that the Small Second Dwelling does not require a Planning permit and does not form part of the application.
JUN 23rd 2025: Amendment B drawings emailed to Planning consultant.
References to the 'Small Second Dwelling' removed from plans & elevations so studio is assessed as part of the Planning permit.







site description notes:

- 1

subject site: 487 albert street brunswick west:
existing single-storey Victorian weatherboard house with original 4 front rooms, metal roof, previous additions at the rear, front crossover & driveway and rear lane access.

site area: 653m²
existing site coverage: 188m² or 29%
existing site permeability: 371m² or 57%
existing POS: 414m² or 63% (including 354m² SPOS)
- 2

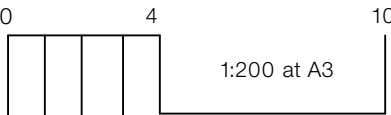
adjacent neighbour: 485 albert street brunswick west:
single-storey Victorian brick house with tiled roof, front crossover and rear lane access.
note: approx. 355 m² secluded private open space.
- 3

adjacent neighbour: 489 albert street brunswick west:
single-storey weatherboard house with metal roof, modern addition to the rear, rear lane access and garage.
note: approx. 143m² ecluded private open space.
- 4

rear neighbour across laneway: 35 hunter street brunswick west:
single-storey brick house with metal roof and two storey garage studio with rear lane access.
- 5

rear neighbour across laneway: 37 hunter street brunswick west:
single-storey brick house with metal roof and metal shed at the rear.
- 6

rear neighbour across laneway: 39 hunter street brunswick west:
single-storey brick house with metal roof and carport with rear lane access.



design response notes:

- 1 **subject site: 487 albert street brunswick west:**
existing single-storey Victorian weatherboard house with original 4 front rooms, metal roof, previous additions at the rear, front crossover & driveway and rear lane access.
note: previous single-storey additions at the rear to be demolished.

site area: 653m²
existing site coverage: 188m² or 29%
proposed site coverage: 334m² or 51%
existing site permeability: 371m² or 57%
proposed site permeability: 188m² or 29%
existing POS: 414m² or 63%
(incl. 354m² secluded POS)
proposed POS (using 4m width): 290m² or 44%
(incl. 203m² secluded POS)
proposed total garden area: 281m² or 43%

proposed works include:

- retaining the original front 4 rooms including verandah, facade & roof.
- demolishing previous additions after the original front 4 rooms.

- the new rear addition will have a modern aesthetic, distinct from the original heritage house in both form and materials. the existing weatherboard house will be preserved and enhanced at the front of the property. the proposed addition will feature a combination of painted vertical cladding and painted brick to visually differentiate it from the original dwelling. the majority of the new addition will have a flat roof behind parapet walls, lower than the original house. a raised pitched roof over the living and dining areas will introduce natural light into the middle of the house. this raised roof is setback more than 21 meters from the front boundary and will not contribute to any additional visual bulk on the street.

- proposed garage to the east boundary.
- proposed 43m studio with flat and pitched roof at the rear.

- 2 **adjacent neighbour: 485 albert street brunswick west:**
single-storey Victorian brick house with tiled roof, front crossover and rear lane access.
note: approx. 355 m² secluded private open space.
- 3 **adjacent neighbour: 489 albert street brunswick west:**
single-storey weatherboard house with metal roof, modern addition to the rear, rear lane access and garage.
note: approx. 143m² secluded private open space.
- 4 **rear neighbour across laneway: 35 hunter street brunswick west:**
single-storey brick house with metal roof and two storey garage studio with rear lane access.
- 5 **rear neighbour across laneway: 37 hunter street brunswick west:**
single-storey brick house with metal roof and metal shed at the rear.
- 6 **rear neighbour across laneway: 39 hunter street brunswick west:**
single-storey brick house with metal roof and carport with rear lane access.
- 7 proposed wall on side boundary (3.2m av. max. height)

JUN 23 2025: TP AMENDMENT B
MAY 30 2025: TP AMENDMENT A

PRELIMINARY PLANNING DRAWINGS

487 Albert St Brunswick West

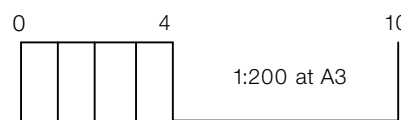
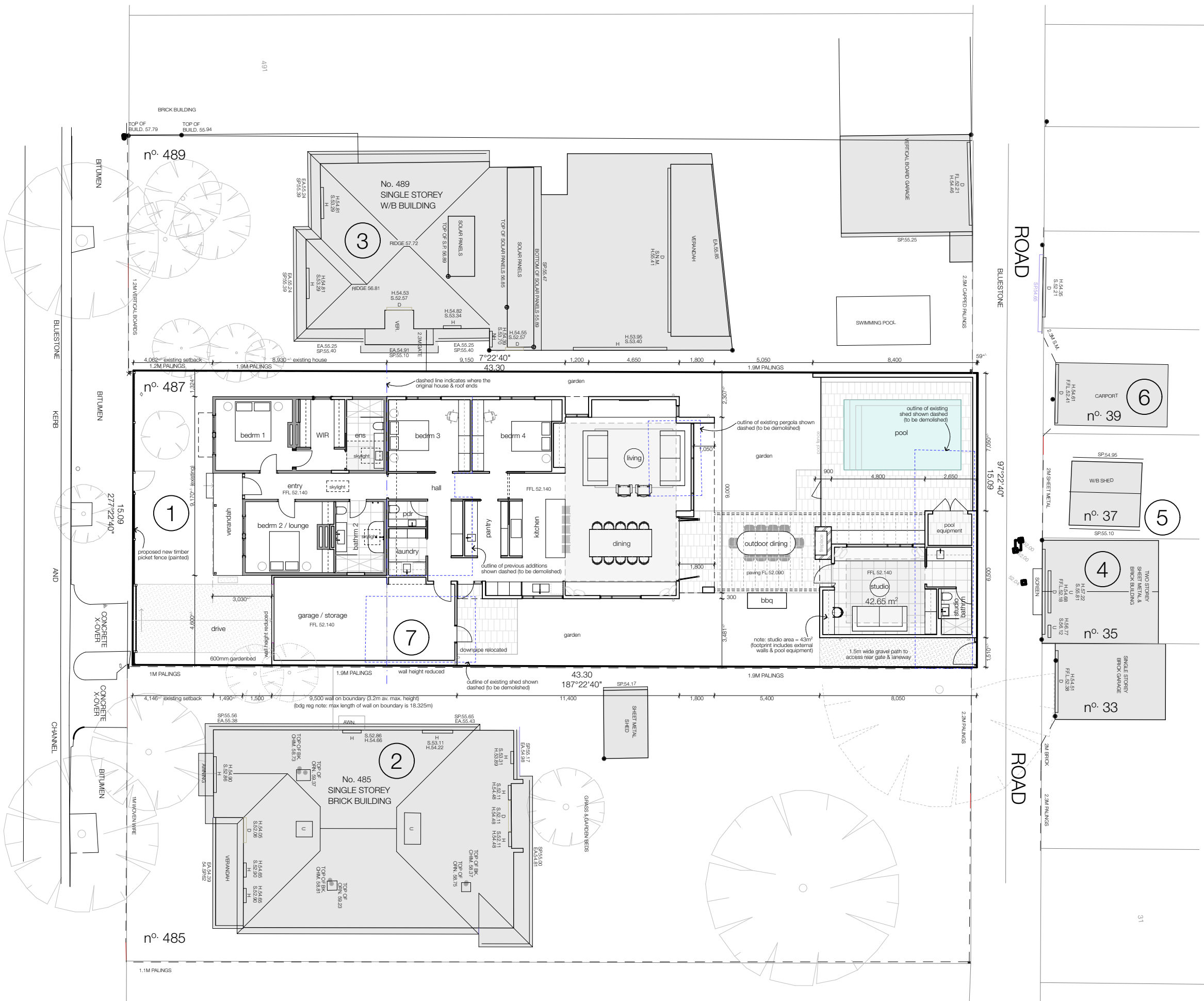
proposed: design response

TP03

AMEND B

09 APR 2025

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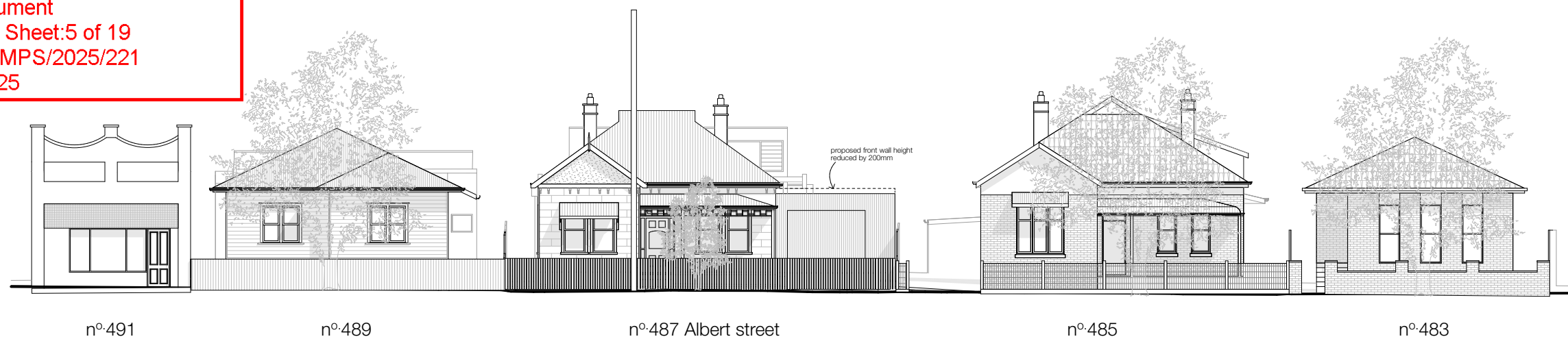




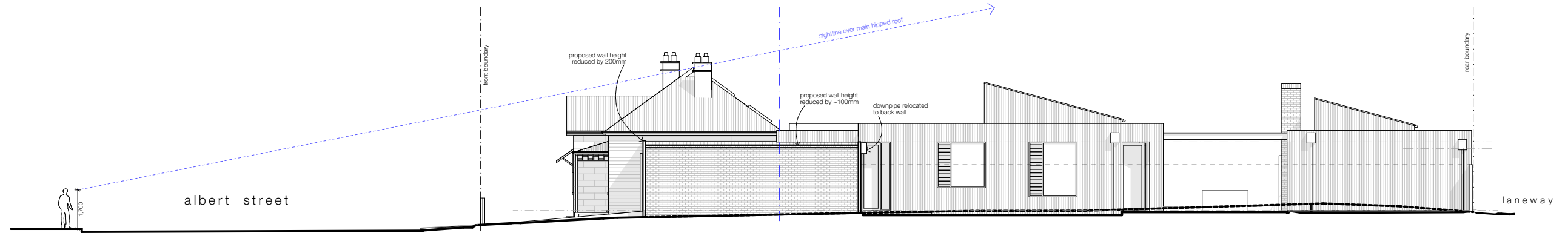
existing streetscape elevation

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proposed streetscape elevation



east elevation sightline diagram

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existing view 1: view from 1.7m high on the opposite side of the wide street



proposed view 1: view from 1.7m high on the opposite side of the wide street

MAY 30 2025: TP AMENDMENT A

PRELIMINARY PLANNING DRAWINGS

487 Albert St Brunswick West

streetscape sightline & 3D views

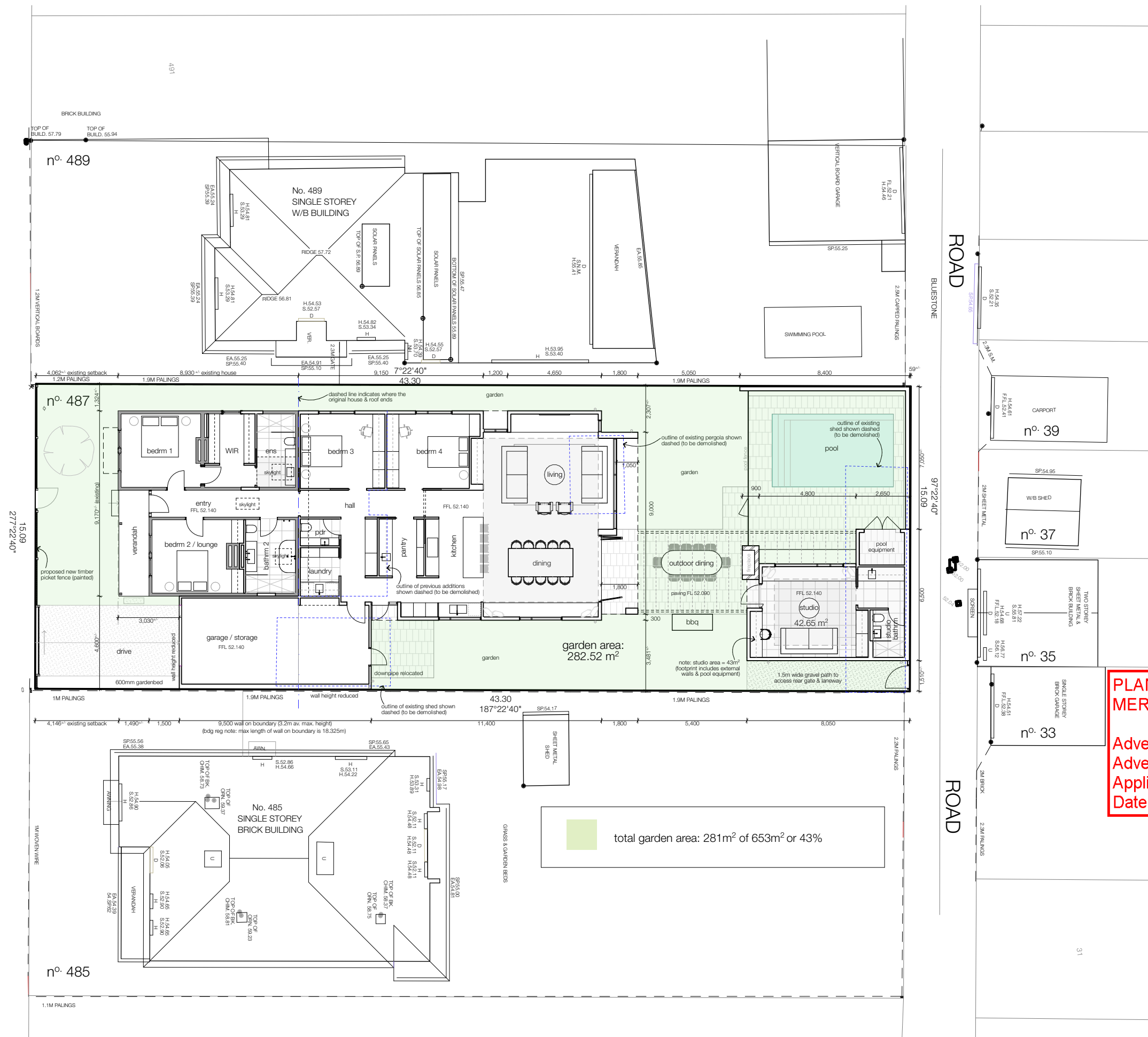
TP05

AMEND A

09 APR 2025

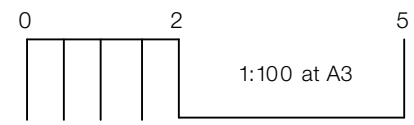
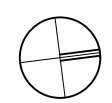
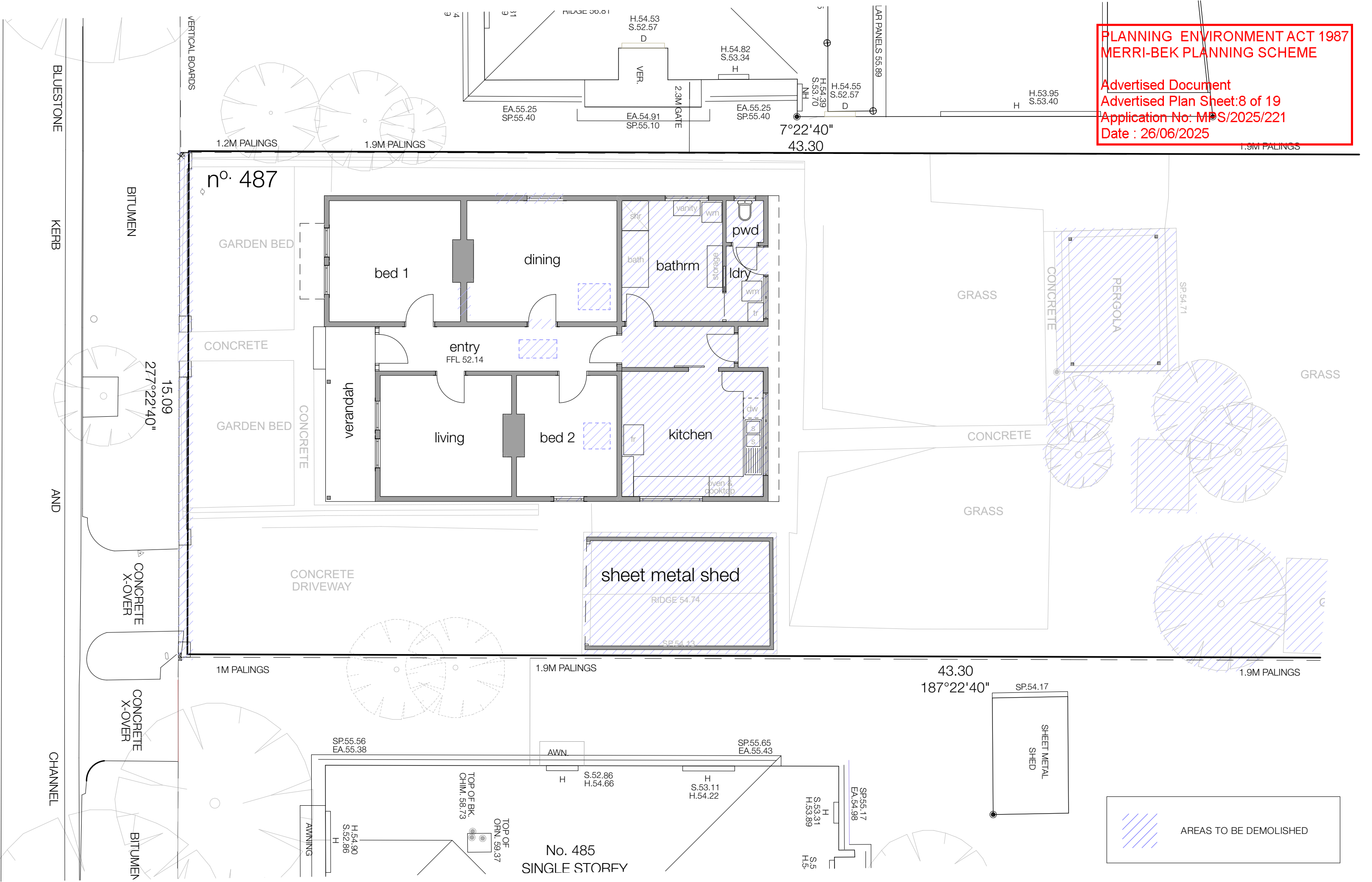
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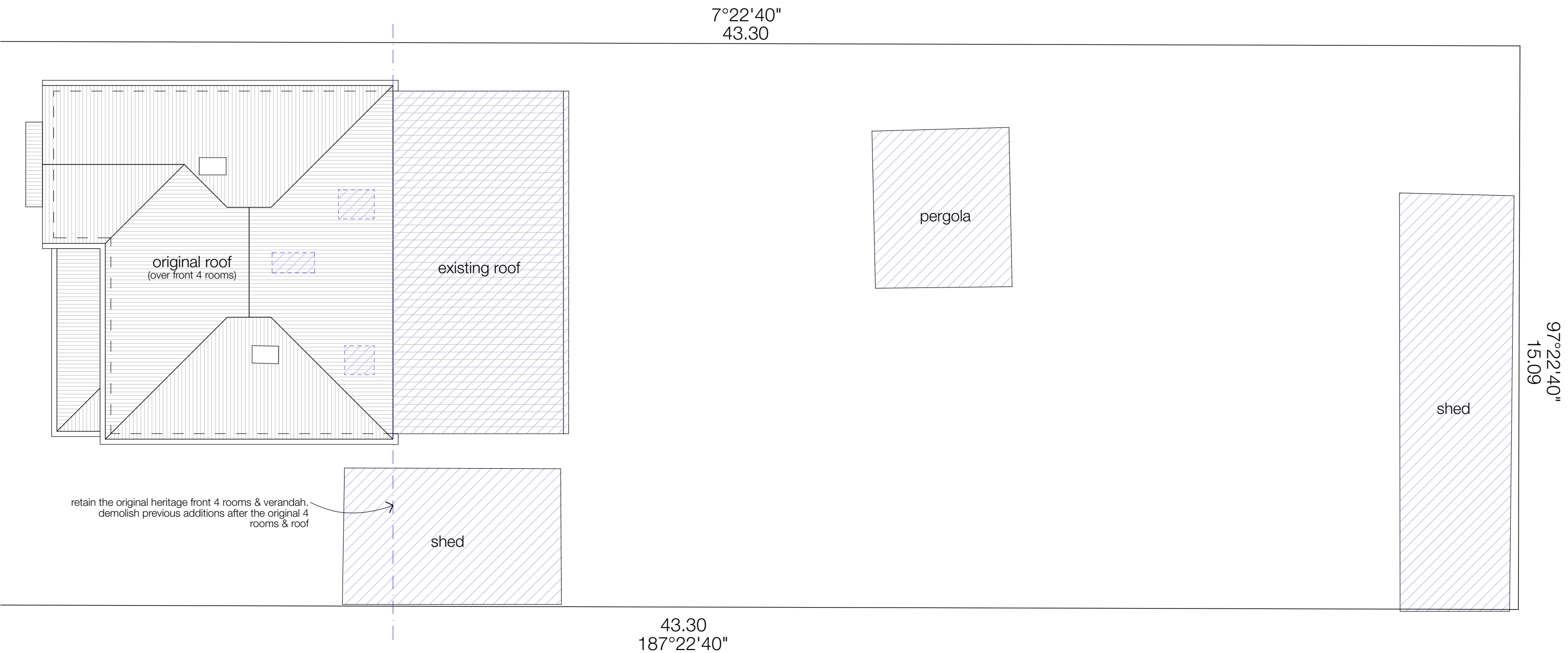




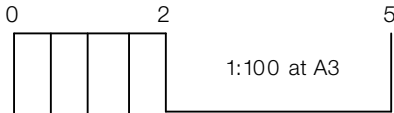
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 AREAS TO BE DEMOLISHED



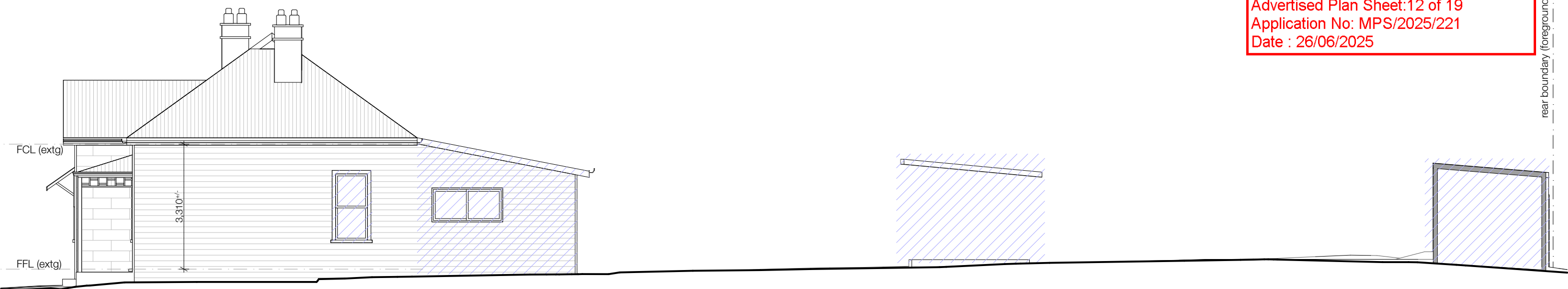


south elevation (front)

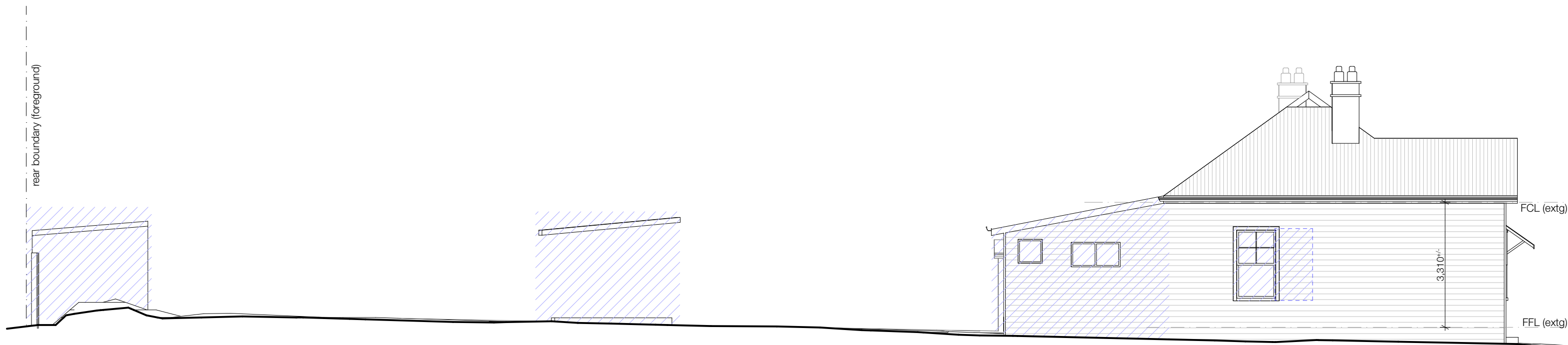


north elevation (rear)

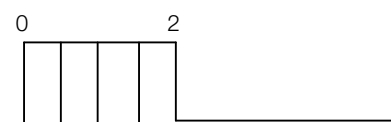


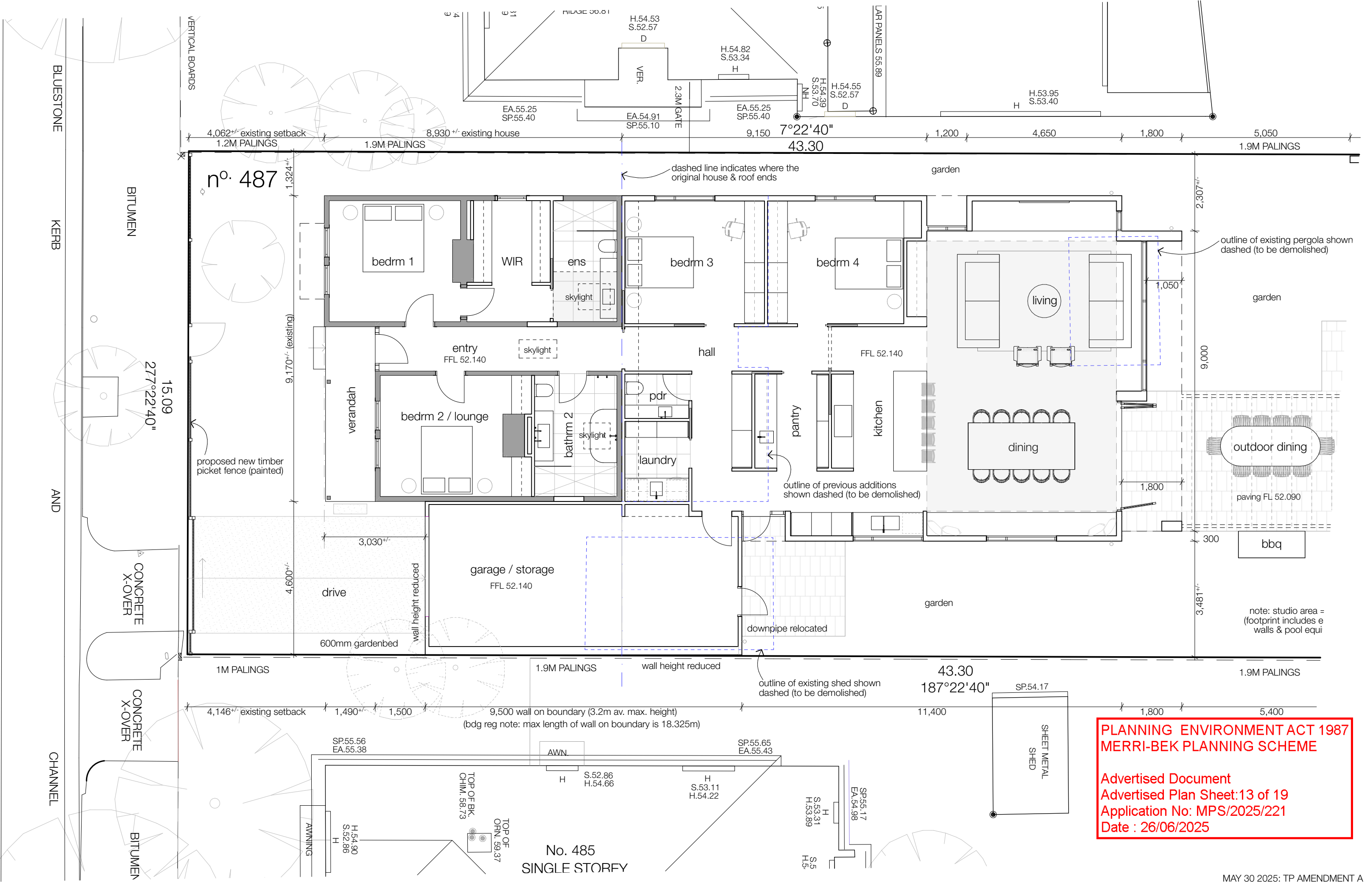


east elevation



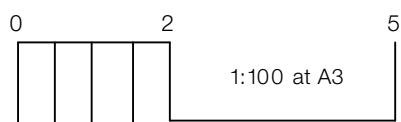
west elevation

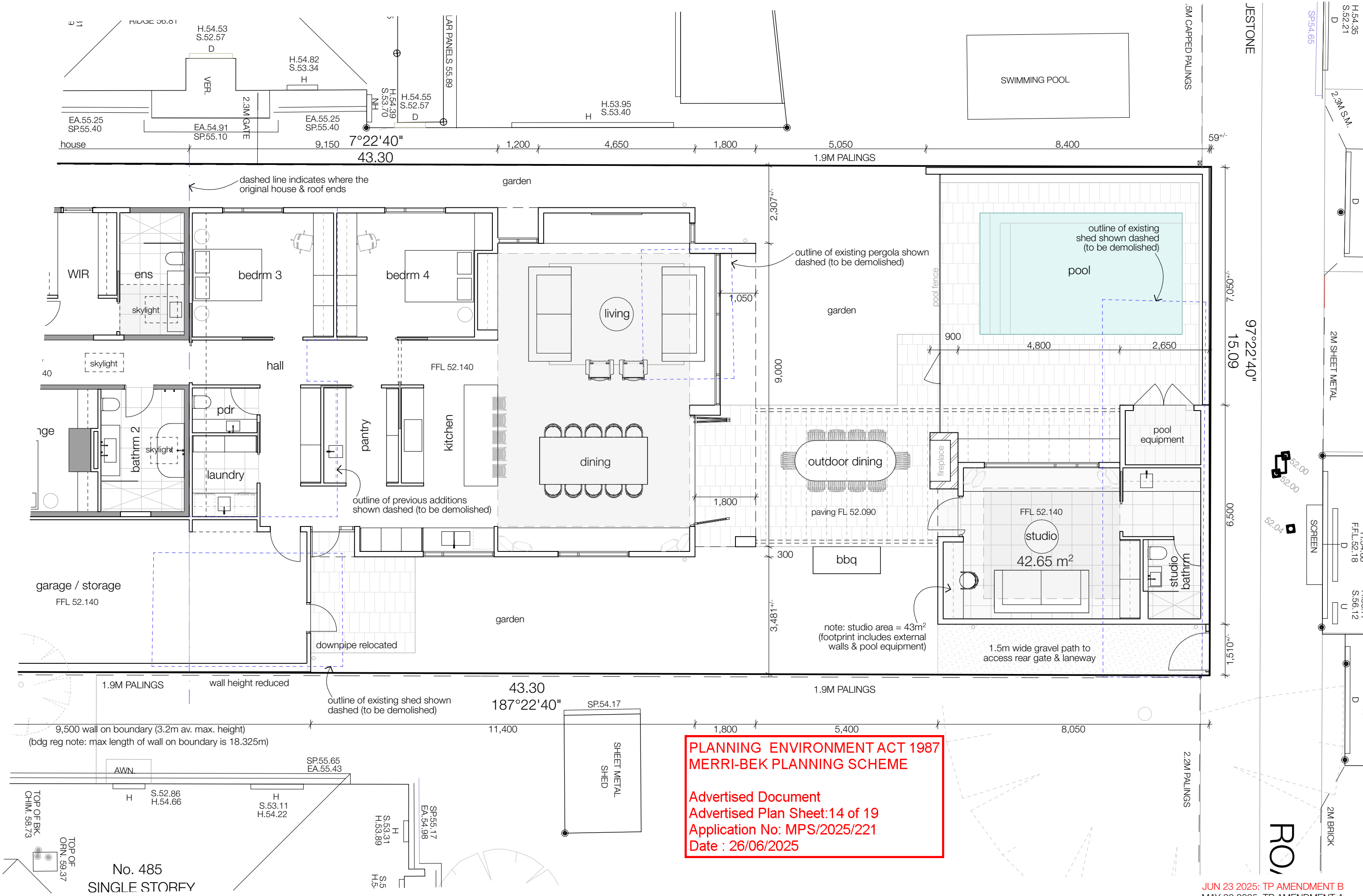




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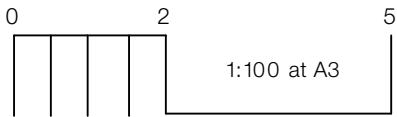
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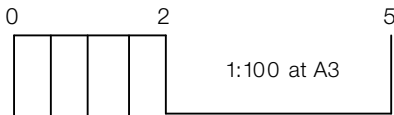
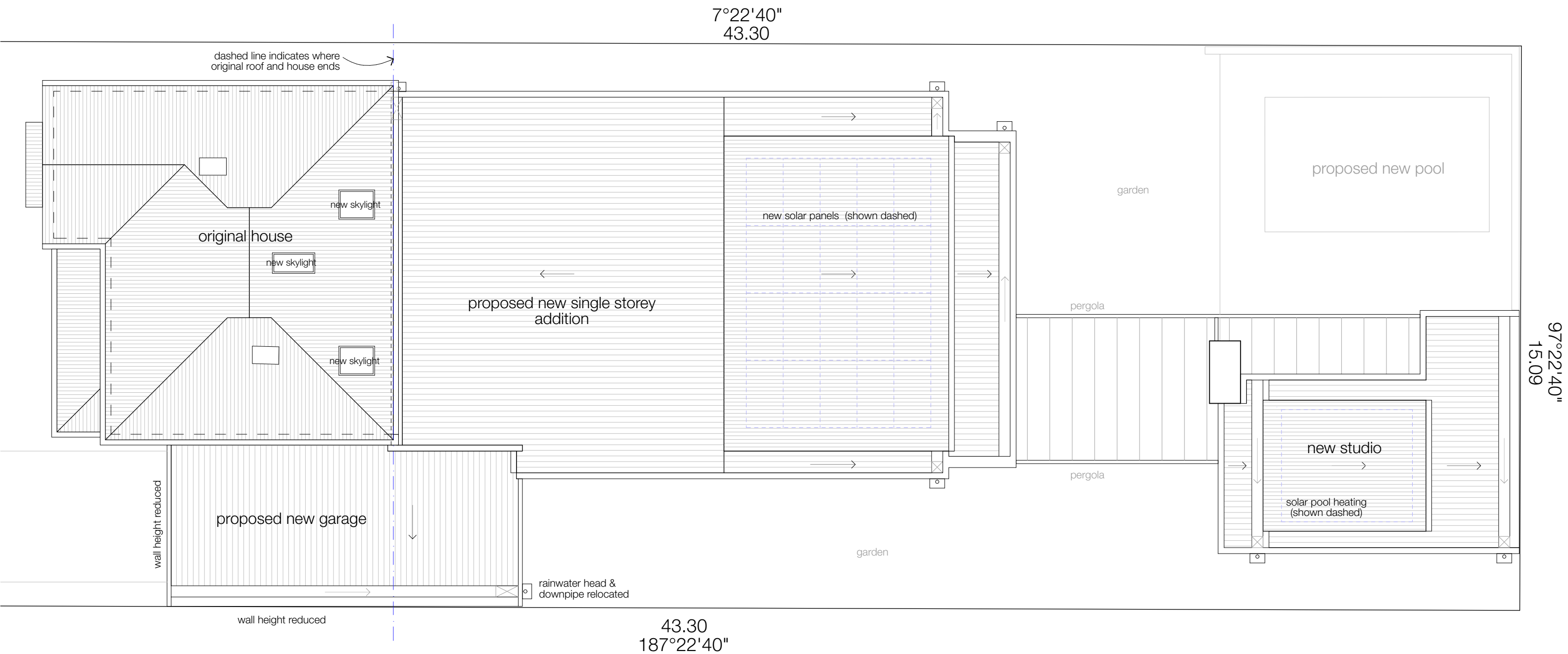


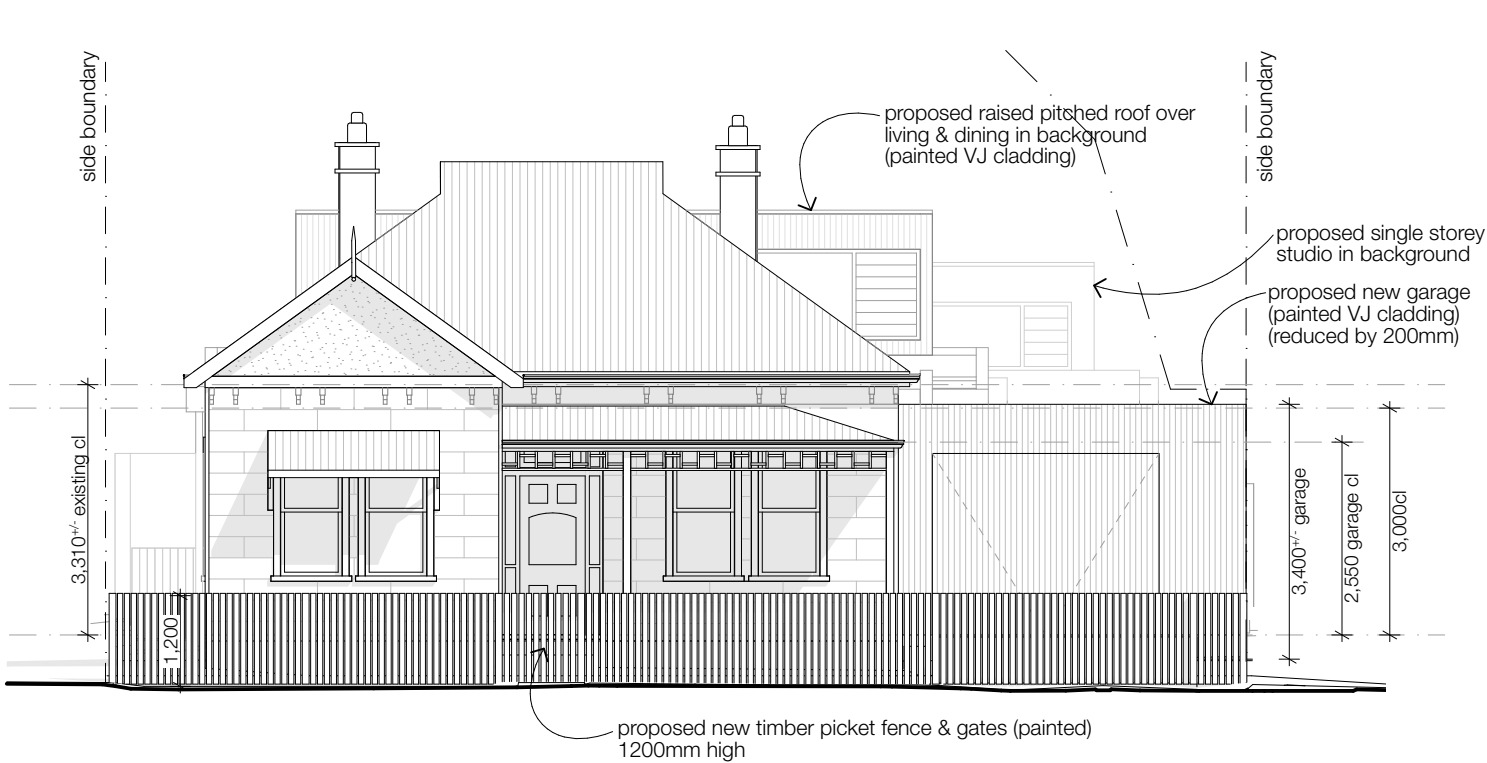


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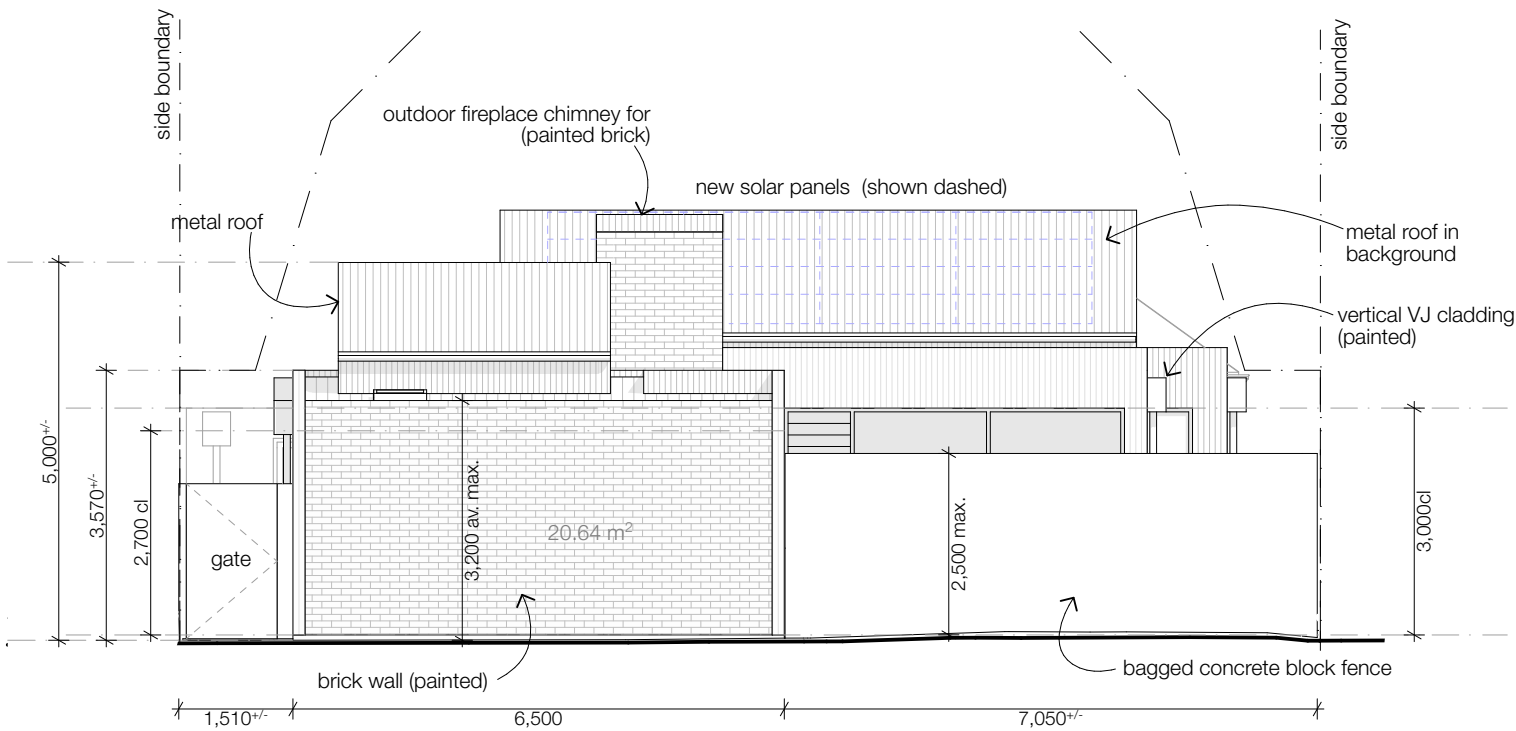
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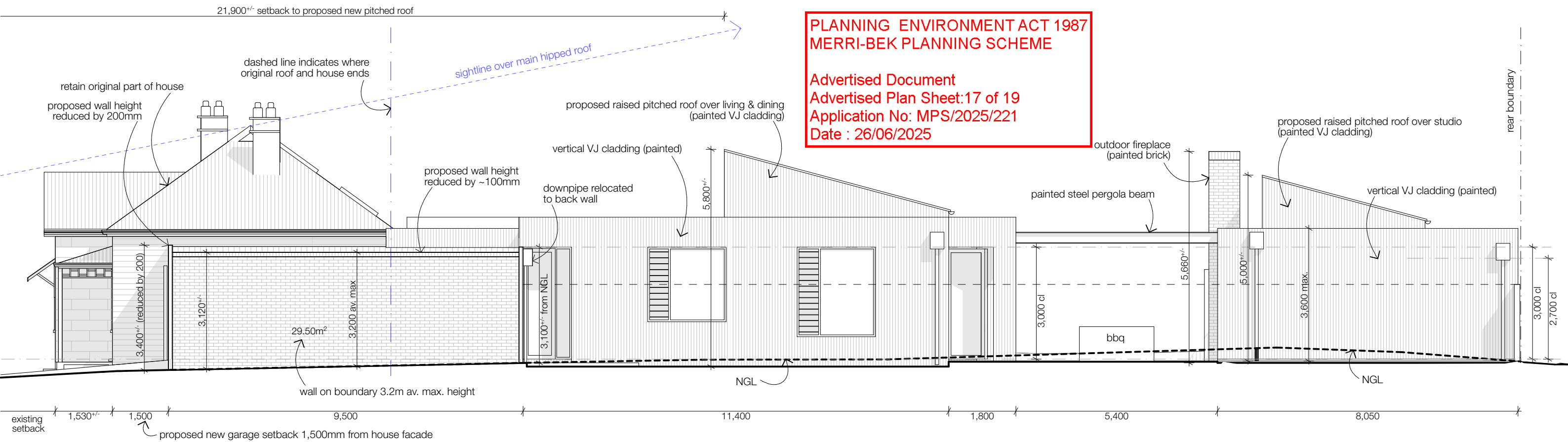




south elevation (front)



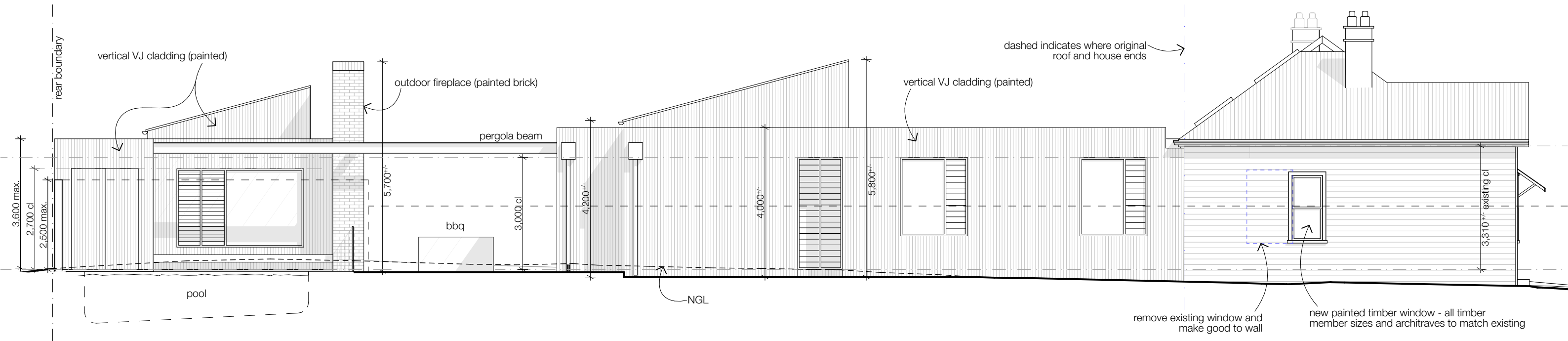
north elevation (rear)



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east elevation



west elevation

JUN 23 2025: TP AMENDMENT B
MAY 30 2025: TP AMENDMENT A

487 Albert St Brunswick West

schedule of external colours & materials

WALLS & VERANDAH:

existing house - weatherboards, blockboard & plinth boards:
existing house - timber trims:
existing verandah - posts & fretwork:
existing verandah - flooring:

new addition - painted or bagged brick:
new addition - vertical VJ cladding:
new timber picket fence:

painted DULUX 'natural white' (or similar)
painted DULUX 'vivid white' (or similar)
posts & fretwork painted DULUX 'vivid white' (or similar) to match timber trims
remove concrete slab and reinstate timber decking with new decking boards.
90x19mm T&G exterior grade timber boards. note 25mm fall away from house
with 60mm overhang along front edge and 42x42mm Ovolo profile trim below
overhanging T&G boards fixed to 150x30mm verandah plinth boards with
20mm spacing between plinth boards.
painted DULUX 'natural white' (or similar)
painted DULUX 'natural white' (or similar)
painted DULUX 'natural white' (or similar)

ROOFING & GUTTERING:

existing house - roofing:
existing house - gutters:
existing house - downpipes:
new addition - roofing for roof pitch greater than 3°:
new addition - roofing for flat roof pitch less than 3°:
new addition - gutters:
new addition - gutters:
new addition - downpipes:

retain existing corrugated metal roofing (currently painted green)
retain existing
retain existing (to be painted to match weatherboards)
LYSAGHT corrugated custom-orb profile (zincalume finish)
LYSAGHT metal deck (zincalume finish)
half round eaves gutters in zincalume finish
concealed box gutters
round downpipes on offset brackets, zincalume finish to match roofing:

WINDOWS & DOORS:

existing timber windows:
existing front door:
new addition windows & doors:

painted DULUX 'vivid white' (or similar)
painted DULUX 'pale eucalypt' (or similar)
powdercoated aluminium (satin white finish)



DULUX natural white



DULUX vivid white



DULUX natural white



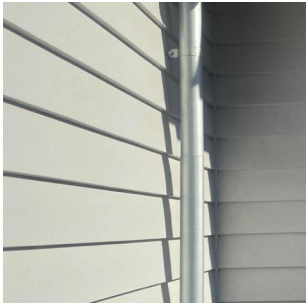
painted brick



blockboard & fretwork



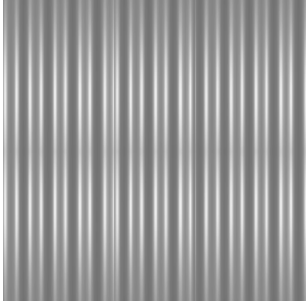
painted brick



weatherboards



painted brick



custom orb (zincalume)

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