

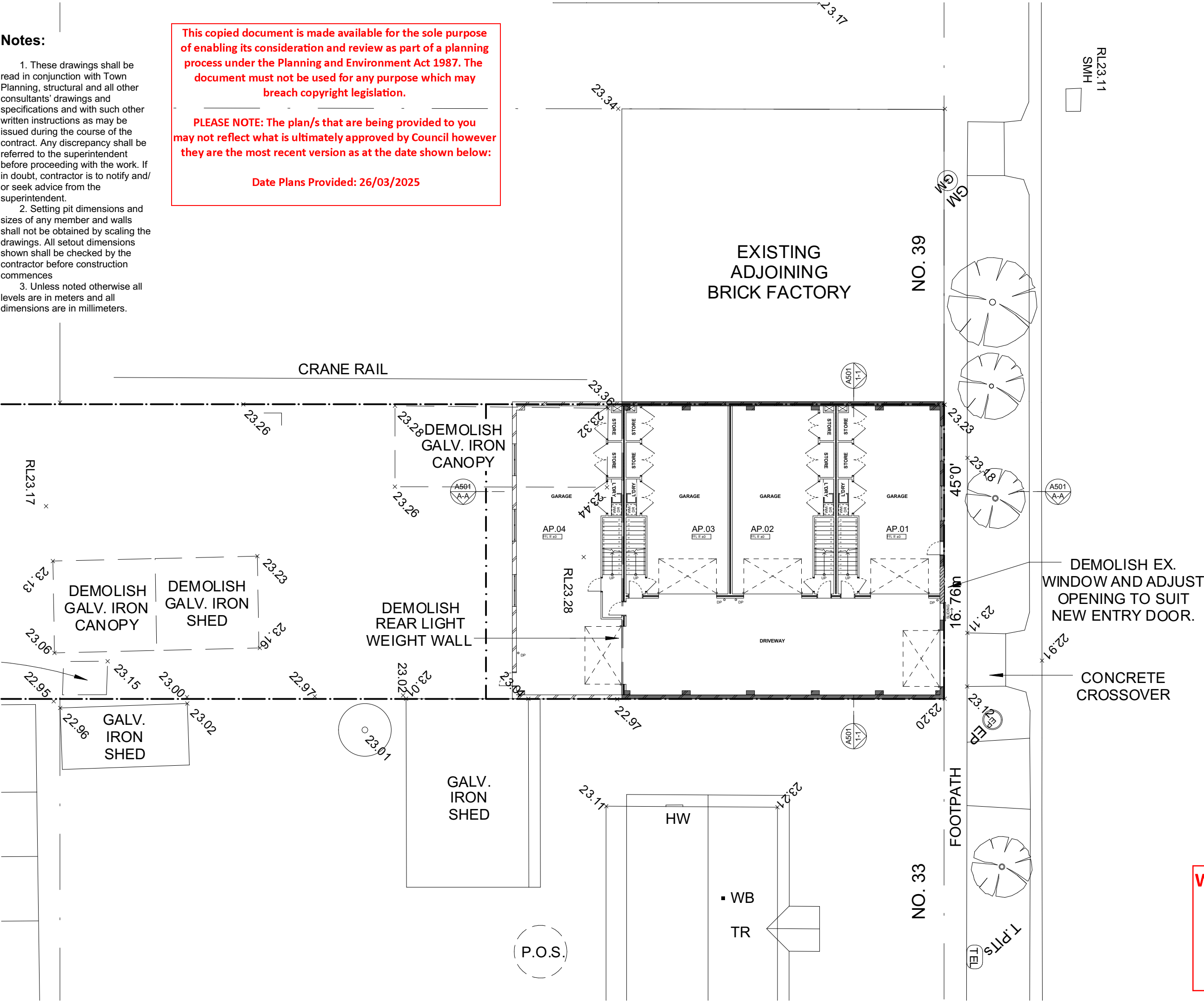
Notes:

- 1. These drawings shall be read in conjunction with Town Planning, structural and all other consultants' drawings and specifications and with such other written instructions as may be issued during the course of the contract. Any discrepancy shall be referred to the superintendent before proceeding with the work. If in doubt, contractor is to notify and/or seek advice from the superintendent.
- 2. Setting pit dimensions and sizes of any member and walls shall not be obtained by scaling the drawings. All setout dimensions shown shall be checked by the contractor before construction commences
- 3. Unless noted otherwise all levels are in meters and all dimensions are in millimeters.

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PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

Date Plans Provided: 26/03/2025



APARTMENT AREAS

APARTMENT 1
GND FLOOR: 64.58m²
1ST FLOOR: 82.59m²
2ND FLOOR: 37.34m²
TERRACE: 14.81m²
DECK: 16.14m²
TOTAL: 215.46m²

APARTMENT 2
GND FLOOR: 65.94m²
1ST FLOOR: 84.33m²
2ND FLOOR: 30.65m²
TERRACE: 15.12m²
DECK: 13.56m²
TOTAL: 209.60m²

APARTMENT 3
GND FLOOR: 65.67m²
1ST FLOOR: 83.98m²
2ND FLOOR: 30.75m²
TERRACE: 15.06m²
DECK: 13.48m²
TOTAL: 208.94m²

APARTMENT 4
GND FLOOR: 100.83m²
1ST FLOOR: 85.03m²
2ND FLOOR: 37.34m²
TERRACE: 15.25m²
DECK: 16.94m²
TOTAL: 255.39m²
POS: 25.14m²

COMMON DRIVEWAY 99.16m²

APARTMENT AREAS
SITE AREA: 436.87m²
SITE BUILD. COVERAGE: 411.72m²
SITE COVERAGE: 94%
PERVIOUS: 6%
IMPERVIOUS: 94%

PRELIMINARY NOT FOR CONSTRUCTION

No.	Description	Date
#	preliminary issue	12/07/19

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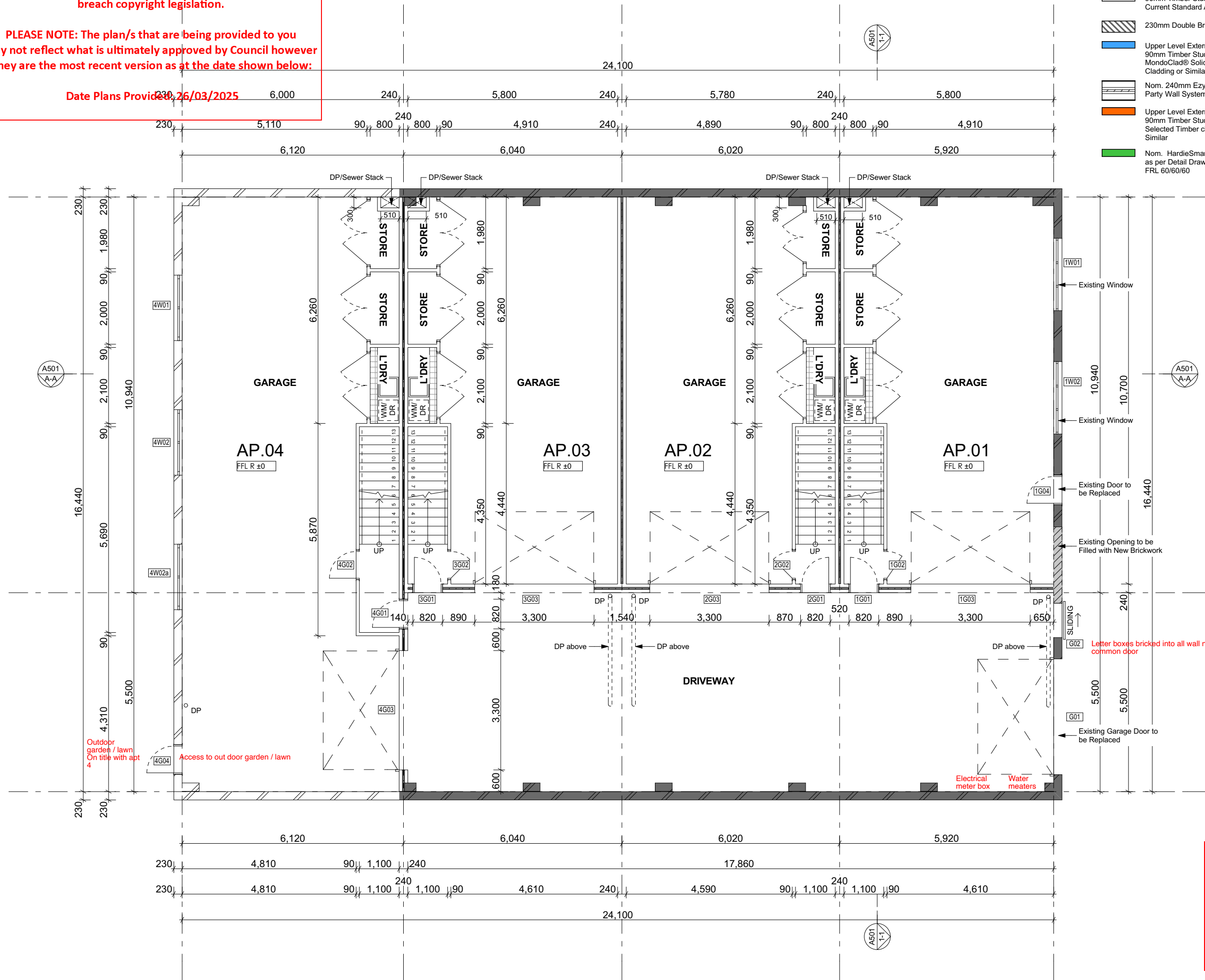
WYNDHAM CITY COUNCIL
Town Planning
Advertised Documents
Plan: 1 of 8

Drawing Title: Proposed Site Plan		
Proposal: Proposed Four Triple Storey Dwellings Wynne Obbitts Project Site: 25-27 Edgar Street, Werribee VIC 3030		
Client: X Date: 02/07/2019	Page No.: 1	Revision: #
Drawn by: DZ		
Checked by:		
Scale: 1:200 @ A3		

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PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

Date Plans Provided: 26/03/2025



- Wall Types:**
- 90mm Timber Stud Wall as Per Current Standard AS 1684.4
 - 230mm Double Brick Wall
 - Upper Level External Wall Type 1: 90mm Timber Stud Wall + MondoClad® Solid Aluminium Cladding or Similar
 - Nom. 240mm Ezylite FireZone Party Wall System.
 - Upper Level External Wall Type 2: 90mm Timber Stud Wall + Selected Timber cladding or Similar
 - Nom. HardieSmart™ wall system as per Detail Drawing FRL 60/60/60

Notes:

All Internal Joineries to be Provided and Installed by Contractors. These Drawings are Indicative Only.

Articulation Joints to be provided on either side of the Garage Opening and to be 5m max spacing as per Soil Report. Final Location of Articulation Joints to be Determined by Bricklayer and Builder on Site as per AS 3700-2011, 4.8.4

Weepholes Must be Provided above all Openings over 1200mm Wide @ 1200mm Centers Immediately above the Damper/Flashing as per Australian Standards 3700 – 2011 Section 4.7.2

Check and Confirm all Dimensions and Levels. All Discrepancies must be Reported and Resolved by Glentect PTY LTD or Owner before Works Commence.

Handrails to be Provided throughout Full Flight of Stairs and Located on the Outer Side, for all Units. Builder/Sub-contractor must Ensure the Selection and Installation of all Handrails Compliance with NCC 2016 Volume 2 Part 3.9.2

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WYNDHAM CITY COUNCIL

Town Planning

Advised Documents

Plan: 2 of 8

Drawing Title: Ground Floor Plan

Proposal: Proposed Four Triple Storey Dwellings

Project Site: 25-27 Elgar Street, Werribee VIC 3030

Client: X

Page No.: 2

Revision: #

Drawn by: DZ

Checked by:

Scale: 1:100 @ A3

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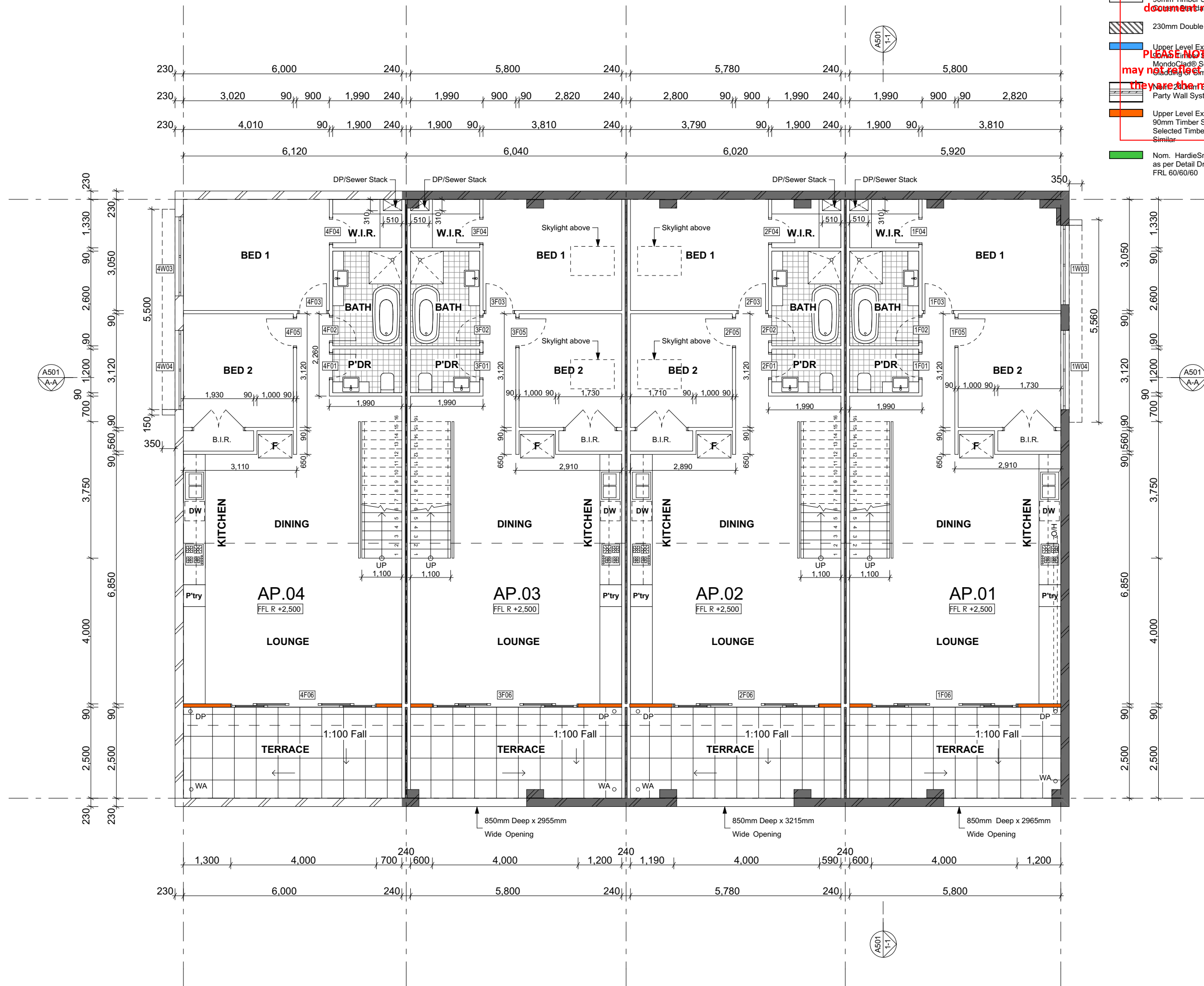
Wall Types:

- 90mm Timber Stud Wall as Per Detail Drawing
- 230mm Double Brick Wall
- Upper Level External Wall Type 1: MondoClad® Solid Aluminium Cladding or Similar
- Upper Level External Wall Type 2: 90mm Timber Stud Wall + Selected Timber cladding or Similar
- Nom. HardieSmart™ wall system as per Detail Drawing FRL 60/60/60

Notes:

- All Internal Joineries to be Provided and Installed by Contractors. These Drawings are Indicative Only.
- Articulation Joints to be provided on either side of the Garage Opening and the main entrance as per Detail Drawing FRL 60/60/60
- Articulation Joints to be Determined by Bricklayer and Builder on Site as per Detail Drawing FRL 60/60/60
- Weepholes Must be Provided above all Openings over 1200mm Wide @ 1200mm Centers Immediately above the Damper/Flashing as per Australian Standards 3700 – 2011 Section 4.7.2

Please Note: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as per the Plans Provided.



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Drawing Title: First Floor Plan		
Proposal: Proposed Four Triple Storey Dwellings		
Project Site: 25-27 Floor Street, Werribee VIC 3030		
Client: X 02/07/2019	Page No.: 12/19	Revision: #
Drawn by: DZ		
Checked by: 1-100 @ A3		
Scale:		

WYNDHAM CITY COUNCIL
Town Planning
Advertised Documents
Plan: 3 of 8

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Wall Types:
90mm Timber Stud Wall as Per
230mm Double Brick Wall
Upper Level External Wall Type 1:
MondoClad® Solid Aluminium
Cladding or Similar
Party Wall System.
Upper Level External Wall Type 2:
90mm Timber Stud Wall +
Selected Timber cladding or
Similar
Nom. HardieSmart™ wall system
as per Detail Drawing
FRL 60/60/60

Notes:
All Internal Joineries to be Provided
and Installed by Contractors. These
Drawings are Indicative Only.
Articulation Joints to be provided on
either side of the Garage Opening
and to be of the same opening as per
AS 2900.1
Articulation Joints to be Determined
by Bricklayer and Builder on Site as
per Detail Drawing FRL 60/60/60, 4.8.4
Weepholes Must be Provided above
all Openings over 1200mm Wide @
1200mm Centers Immediately above
the Damper/Flashing as per
Australian Standards 3700 – 2011
Section 4.7.2

Please Note: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as per the Data shown Below:
Gate Plans Provided: 25/03/2025

Check and Confirm all Dimensions and Levels. All Discrepancies must be Reported and Resolved by Glentect PTY LTD or Owner before Works Commence.

Handrails to be Provided throughout Full Flight of Stairs and Located on the Outer Side, for all Units. Builder/Sub-contractor must Ensure the Selection and Installation of all Handrails Compliance with NCC 2016 Volume 2 Part 3.9.2

PRELIMINARY NOT FOR CONSTRUCTION

No.	Description	Date
#	preliminary issue	12/07/19

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Drawing Title: Second Floor Plan		
Proposal: Proposed Four Triple Storey Dwellings Municipal Council		
Project Site: 25-27 Elgar Street, Werribee VIC 3030		
Client: X Date: 02/07/2019	Page No.: 12 of 12	Revision: #
Drawn by: DZ		Scale: 1:100 @ A3
Checked by:		

WYNDHAM CITY COUNCIL
Town Planning
Advertised Documents
Plan: 4 of 8



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Date Plans Provided: 28/03/2025

GENERAL NOTES

PROVIDE FLASHING AS REQUIRED FOR ROOFS & WALLS TO BE STRICTLY IN ACCORDANCE WITH A.S 4200.

BOX GUTTERS TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 3500.3:2015

DOWNPIPES AND SPREADERS TO BE PROVIDED AT 1 PER 60m² OF ROOF AREA AND NOT MORE THAN 12m.

FINAL DOWNPIPES LOCATION TO BE DETERMINED BY BUILDER. DOWN PIPES SHOWN ON PLANS ARE INDICATIVE ONLY.

ALL NEW STORMWATER PIPES TO BE CONNECTED TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITIES.

- LEGEND**
- DS: DOWNPIPE SPREADER
 - EG: EAVES GUTTER AS SELECTED
 - BG: BOX GUTTER AS SELECTED
 - RH: RAIN WATER HEAD WITH OVERFLOW OUTLET
 - AF: APRON FLASHING AS SELECTED
 - PA: PARAPET WALL
 - SU: SUMP
 - DP: C/BOND DOWN PIPE CONNECT INTO STORM WATER SYSTEM

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No.	Description	Date
#	preliminary issue	12/07/19

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TRUSSES

ROOF TRUSSES NOT TO BE ORDERED UNTIL AFTER A SITE MEASURE OF EXTERNAL WALLS HAS BEEN COMPLETED BY THE BUILDER.

ROOF TRUSSES TO BE DESIGN BY TRUSS MANUFACTURERS.

TRUSS SHOWN ON THESE ARCHITECTURAL DRAWINGS ARE INDICATIVE ONLY.

ROOF TRUSS TO BE FIXED TO TOP PLATE WITH TRIP-L-GRIP FIXERS. REFER TO TRUSS MANUFACTURER'S SPECIFICATIONS.



WYNDHAM CITY COUNCIL

Town Planning

Advertised Documents

Plan: 5 of 8

Drawing Title: Roof Plan	
Proposal: Proposed Four Triple Storey Dwellings Nave Oblique Project Site: 25-27 Elgar Street, Werribee VIC 3030	
Client: X Date: 02/07/2019	Page No.: Revision: #
Drawn by: DZ	
Checked by:	
Scale: 1:100 @ A3	

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FINISHES SCHEDULE

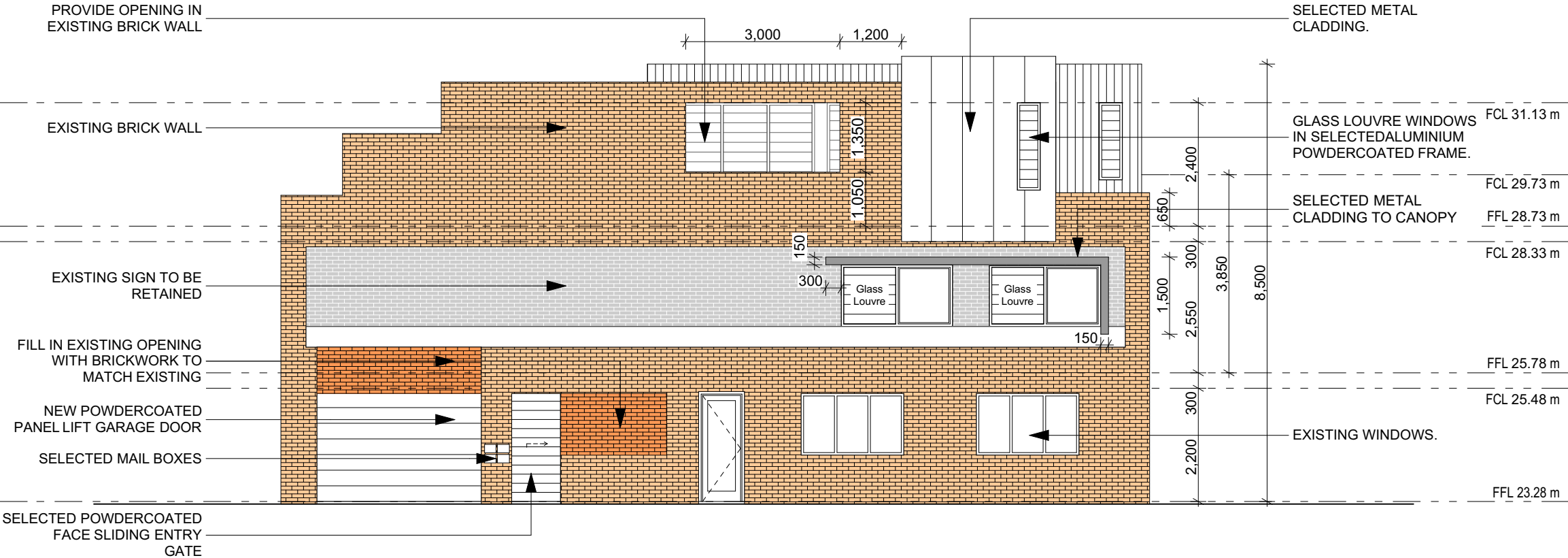
ROOF MATERIALS	GREY 'SHALE GREY'
ROOF SHEETING	GREY 'SHALE GREY'
FASCIAS	GREY 'SHALE GREY'
GUMS	GREY 'SHALE GREY'

PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

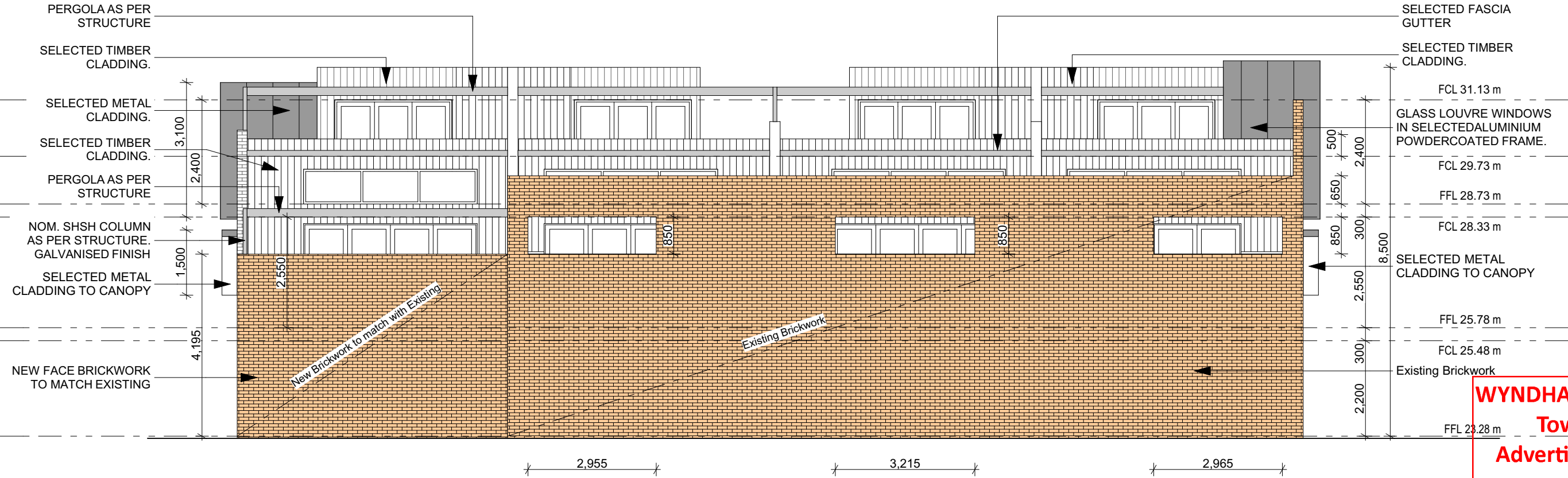
BUILDING MATERIALS

BRICKWORK	EXISTING RED
TIMBER CLADDING	DRIFTWOOD TIMBER STAIN
METAL CLADDING	ALUCOBOND ANOZED LOOK
METAL CLAD CANOPY	ALUCOBOND BEIGE
PARTI WALLS	CHARCOAL 'KLUTE'
DOORS	CHARCOAL 'KLUTE'
WINDOW FRAMES	POWDERCOAT CHARCOAL 'MONUMENT'
GARAGE DOOR	POWDERCOAT CHARCOAL 'MONUMENT'
ENTRY GATE	POWDERCOAT CHARCOAL 'MONUMENT'

Date Plans Provided: 05/03/2025



NORTH-WEST ELEVATIONS



NORTH - EAST ELEVATION

PRELIMINARY NOT FOR CONSTRUCTION

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#	preliminary issue	12/07/19

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Drawing Title: Elevations 1		
Proposal: Proposed Four Triple Storey Dwellings		
Project Site: 25-27 Elgar Street, Werribee VIC 3030		
Client: X	Page No.: 1	Revision: #
Date: 02/07/2019		
Drawn by: DZ		
Checked by:		
Scale: AS SHOWN		

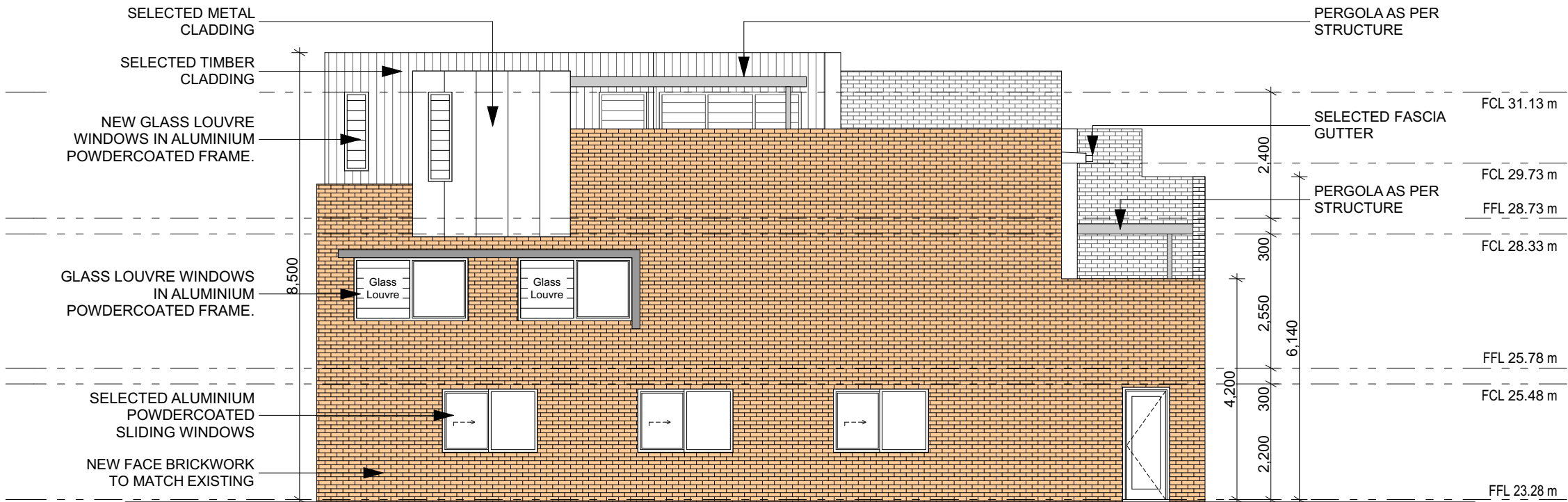
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Town Planning
Advertised Documents
Plan: 6 of 8

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FINISHES SCHEDULE

ROOF MATERIALS	GREY 'SHALE GREY'
ROOF SHEETING	GREY 'SHALE GREY'
FASCIAS	GREY 'SHALE GREY'
GUTTERS	GREY 'SHALE GREY'
BUILDING MATERIALS	EXISTING RED
BRICKWORK	DRIFTWOOD TIMBER STAIN
TIMBER CLADDING	ALUCOBOND BEIGE
METAL CLADDING	CHARCOAL 'KLUTE'
METAL CLAD CANOPY	CHARCOAL 'KLUTE'
PARTI WALLS	POWDERCOAT CHARCOAL 'MONUMENT'
DOORS	POWDERCOAT CHARCOAL 'MONUMENT'
WINDOW FRAMES	POWDERCOAT CHARCOAL 'MONUMENT'
GARAGE DOOR	POWDERCOAT CHARCOAL 'MONUMENT'
ENTRY GATE	POWDERCOAT CHARCOAL 'MONUMENT'

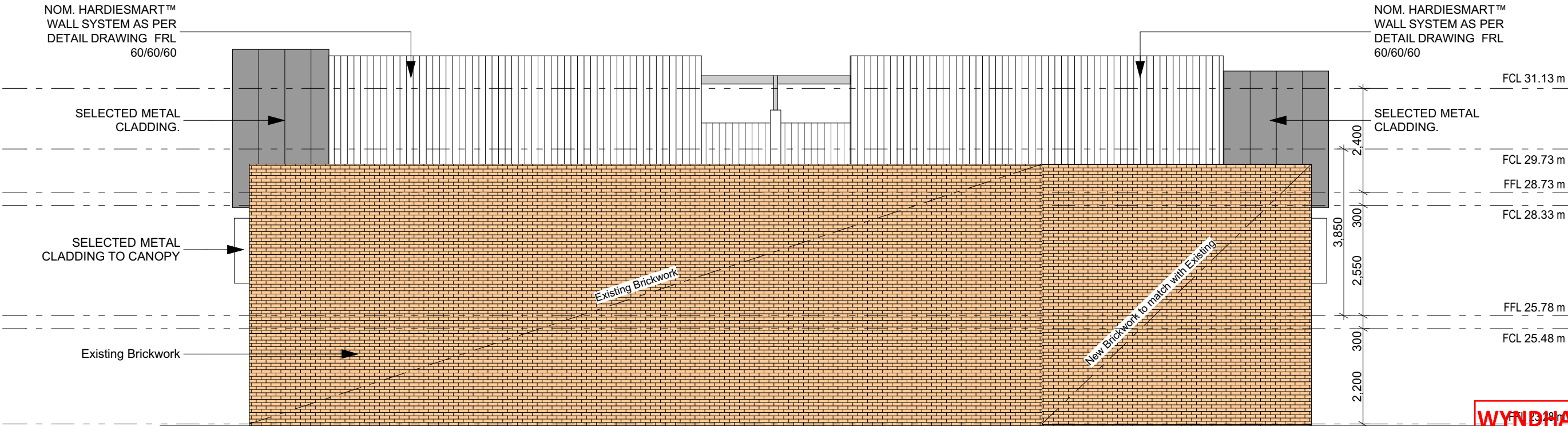
PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:
Date Plans Provided: 05/03/2025



SOUTH-EAST ELEVATION

NOTE:

Articulation Joints to be provided on either side of the Garage Opening and to be 5m max spacing as per Soil Report. Final Location of Articulation Joints to be Determined by Bricklayer and Builder on Site as per AS 3700-2011, 4.8.4



SOUTH-WEST ELEVATION

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WYNDHAM CITY COUNCIL

Town Planning

Advertised Documents

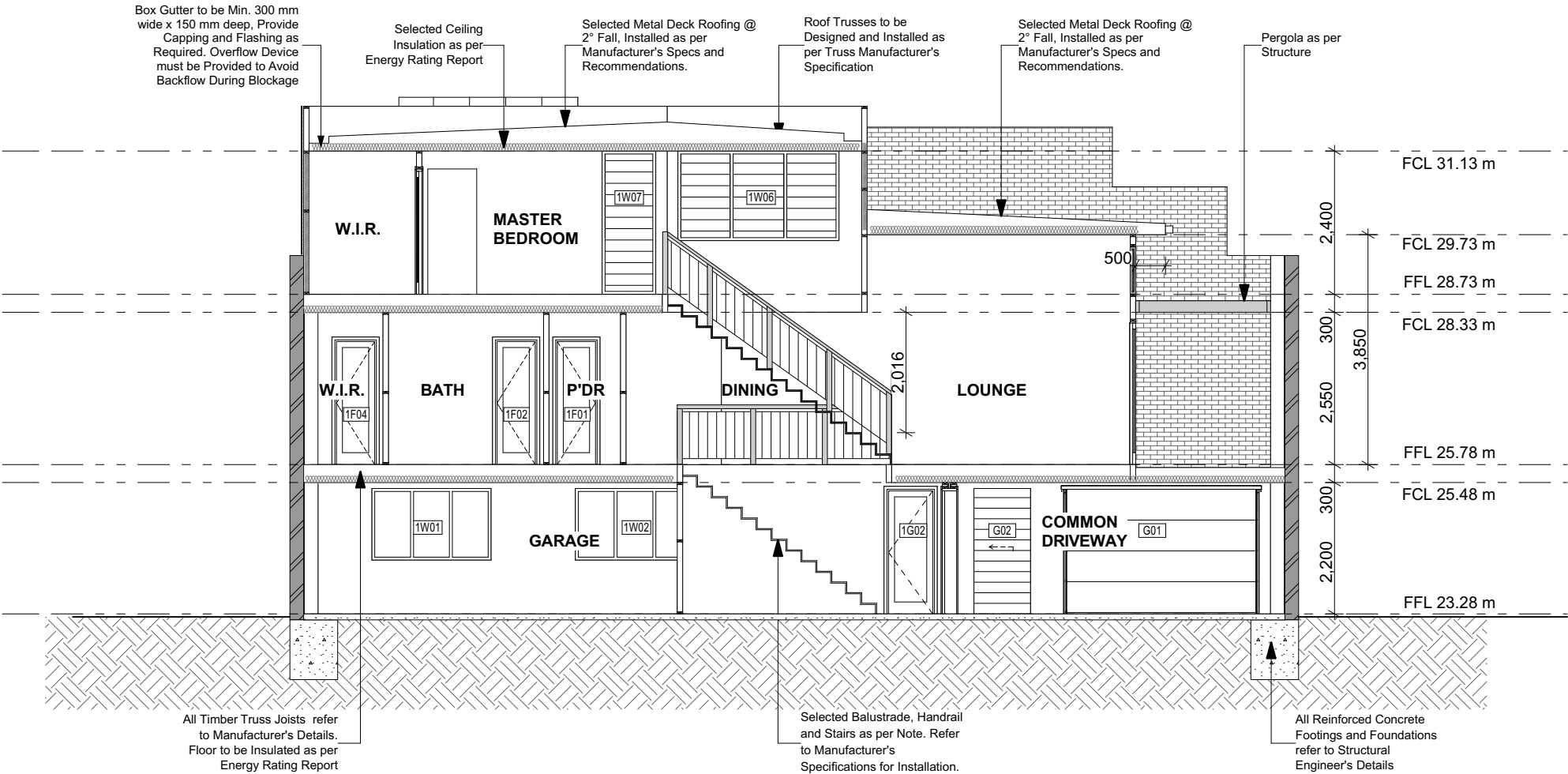
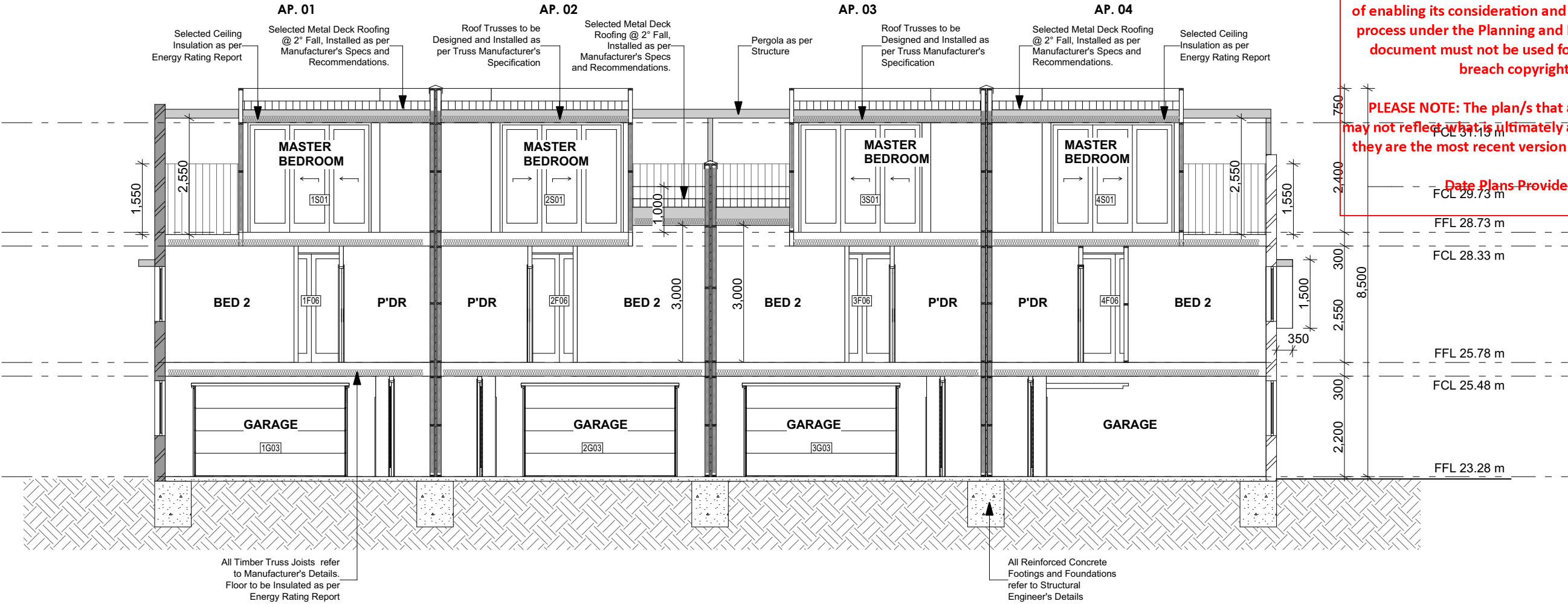
Plan: 7 of 8

Drawing Title: Elevations 2		
Proposal: Proposed Four Triple Storey Dwellings		
Project Name: 25-27 Elgar Street, Werribee VIC 3030		
Client: X	Page No.: 1	Revision: #
Date: 02/07/2019		
Drawn by: DZ		
Checked by:		
Scale: AS SHOWN		

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Date Plans Provided: 26/03/2025



General Notes

Figured Dimensions Shall Take Preference over Scaled Dimensions.

All Materials, Appliances, Fitting and Finishes are to be installed in Accordance with the Manufacturer's Recommendations and in Compliance with the Relevant Codes of the Aus Standards.

The Drawing is to be Read in Conjunction with Architectural Drawings and All Other Engineering/Consultants Drawings.

Handrails to be Provided throughout Full Flight of Stairs and Located on the Outer Side, for all Units. Selected Balustrade to be Provided around the Stair Voids at Mini. 1m above FFL. Builder/Supplier must Ensure the Selection and Installation of all Handrails/Balustrade Compliance with NCC 2016 Volume 2 Part 3.9.2

P3 Or R10 Slip Resistant Treads or P3 Non Skid Skip at Nosing to AS 4586

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Drawing Title: Section A-A & 1-1		
Proposal:	Proposed Four Triple Storey Dwellings	
Drawn by:	DZ	
Checked by:		
Scale:	1:100 @ A3	
Client:	WYNDHAM CITY COUNCIL	
Project Site:	25-27 Elgar Street, Werribee VIC 3030	
Page No.:	8 of 8	
Revision:		