

Notes:

1. These drawings shall be read in conjunction with Town Planning, structural and all other consultants' drawings and specifications and with such other written instructions as may be issued during the course of the contract. Any discrepancy shall be referred to the superintendent before proceeding with the work. If in doubt, contractor is to notify and/or seek advice from the superintendent.

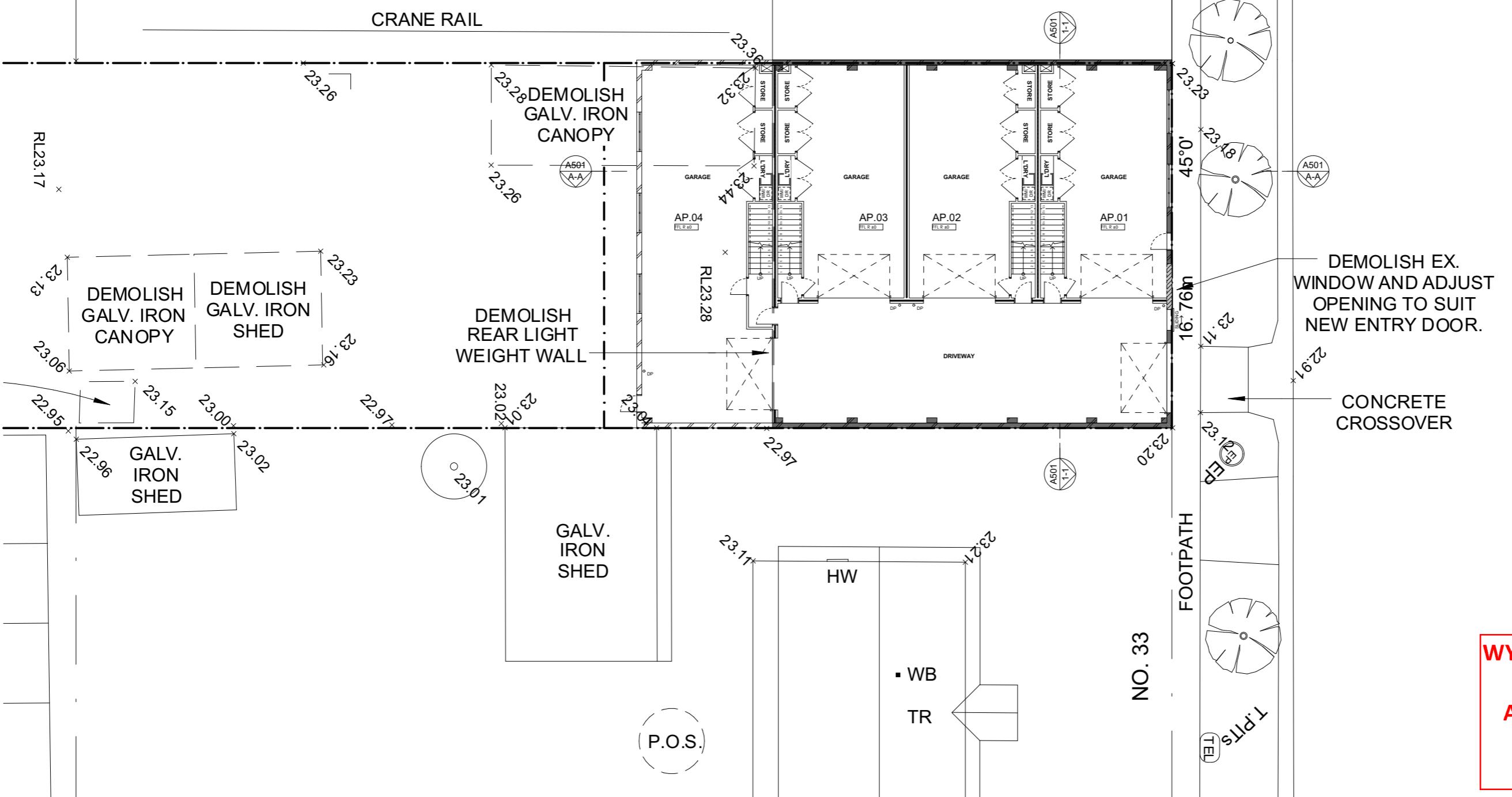
2. Setting pit dimensions and sizes of any member and walls shall not be obtained by scaling the drawings. All setout dimensions shown shall be checked by the contractor before construction commences.

3. Unless noted otherwise all levels are in meters and all dimensions are in millimeters.

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PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

Date Plans Provided: 26/03/2025



PRELIMINARY NOT FOR CONSTRUCTION

No.	Description	Date
#	preliminary issue	12/07/19

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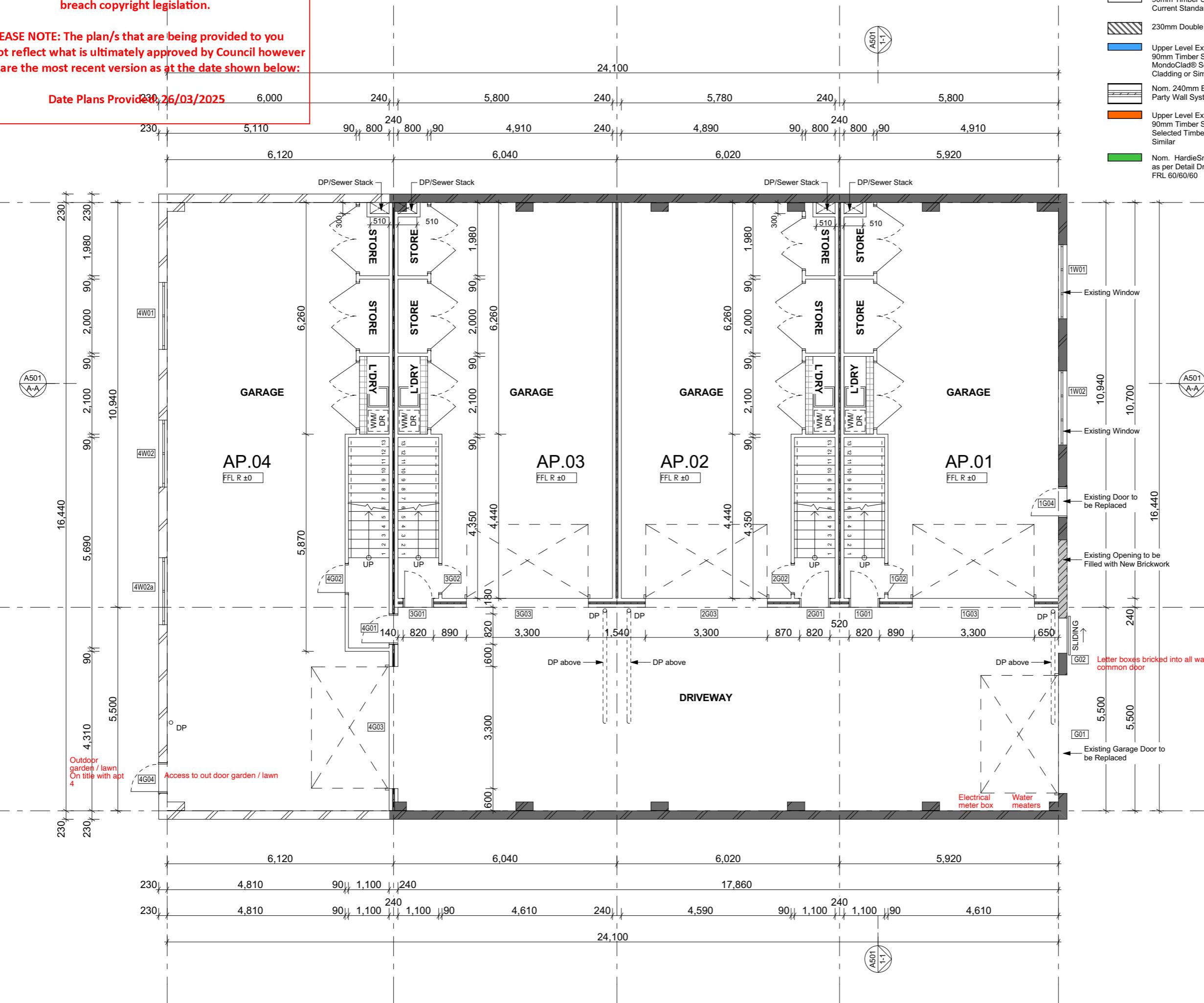
WYNDHAM CITY COUNCIL
Town Planning
Advertised Documents #
Plan: 1 of 8

Drawing Title:	Proposed Site Plan	
Proposal:	Proposed Four Triple Storey Dwellings	
Client:	Y	Page No.:
Date:	02/07/2019	
Drawn by:	DZ	
Checked by:	Z	
Scale:	1:200 @ A3	

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PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

Date Plans Provided: ~~23/03/2025~~ 26/03/2025



Wall Types

-  90mm Timber Stud Wall as Per Current Standard AS 1684.4
-  230mm Double Brick Wall
-  Upper Level External Wall Type 1
90mm Timber Stud Wall +
MondoClad® Solid Aluminium
Cladding or Similar
-  Nom. 240mm Ezylite FireZone
Party Wall System.
-  Upper Level External Wall Type 2
90mm Timber Stud Wall +
Selected Timber cladding or
Similar
-  Nom. HardieSmart™ wall system
as per Detail Drawing
FRL 60/60/60

Notes:

All Internal Joineries to be Provided and Installed by Contractors. These Drawings are Indicative Only.

Articulation Joints to be provided on either side of the Garage Opening and to be 5m max spacing as per Soil Report. Final Location of Articulation Joints to be Determined by Bricklayer and Builder on Site as per AS 3700-2011, 4.8.4

Weepholes Must be Provided above all Openings over 1200mm Wide @ 1200mm Centers Immediately above the Damper/Flashing as per Australian Standards 3700 – 2011 Section 4.7.2

Check and Confirm all Dimensions and Levels. All Discrepancies must be Reported and Resolved by Glentect PTY LTD or Owner before Works Commence.

Handrails to be Provided throughout Full Flight of Stairs and Located on the Outer Side, for all Units. Builder/Sub-contractor must Ensure the Selection and Installation of all Handrails Compliance with NCC 2016 Volume 2 Part 3.9.2

**PRELIMINARY NOT
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No.	Description	Date
#	preliminary Issue	12/07/19

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Ask.

Drawing Title: Ground Floor Plan		
Proposal: Proposed Four Triple Storey Dwellings		
Development: AM CITY COUNCIL		
Project Site: 35-37 Edgar Street, Werribee VIC 3030		
Client: own Planning	Page No.:	Revision: #
<input checked="" type="checkbox"/> Architect	<input checked="" type="checkbox"/> Surveyor	
Drawn by: DZ		
Checked by: 		
Scale: 1:100 @ A3		
Plan: 2 of 8		

Proposed Four Triple Storey Dwellings
Development
Project Site:
35-37 Edgar Street, Werribee VIC 3030
Client: X Page No.: Revision:
Date: 12/02/2010
Town Planning
Advertised Documents #

Checked by:
Plan: 2 of 8
Scale: 1:100 @ A3

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Wall Types Notes:
90mm Timber Stud Wall as Per
All Internal Joinery to be Provided
and Installed by Contractors. These
Drawings are Indicative Only.

230mm Double Brick Wall
Upper Level External Wall Type 1:
MondoClad® Solid Aluminium
may not reflect what is ultimately approved by Council, however
they are the most recent versions at the date shown below:

Upper Level External Wall Type 2:
90mm Timber Stud Wall +
Selected Timber cladding or
Similar
Date Plans Provided: 26/07/2019, 4.8.4

Weepholes Must be Provided above
all Openings over 1200mm Wide @
1200mm Centers Immediately above
the Damper/Flashing as per
Australian Standards 3700 – 2011
Section 4.7.2

Check and Confirm all Dimensions
and Levels. All Discrepancies must
be Reported and Resolved by
Glentect PTY LTD or Owner before
Works Commence.

Handrails to be Provided throughout
Full Flight of Stairs and Located on
the Outer Side, for all Units.
Builder/Sub-contractor must Ensure
the Selection and Installation of all
Handrails Compliance with NCC
2016 Volume 2 Part 3.9.2

**PRELIMINARY NOT
FOR CONSTRUCTION**

No.	Description	Date
#	preliminary Issue	12/07/19

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Ask.

Drawing Title:
First Floor Plan

Proposal:
Proposed Four Triple Storey Dwellings

Development:
Project Site:

Client:
Page No.: Revision:

Date:
02/07/2019

Drawn by:
DZ

Checked by:
N

Scale: 1:100 @ A3

WYNDHAM CITY COUNCIL
Town Planning
Advertised Documents #
Plan: 3 of 8

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Wall Types Notes:
90mm Timber Stud Wall as Per
All Internal Joinery to be Provided
and Installed by Contractors. These
Drawings are Indicative Only.

230mm Double Brick Wall

Upper Level External Wall Type 1:
PLEASE NOTE: The plan/s that are being provided to you
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Upper Level External Wall Type 2:
90mm Timber Stud Wall +
Selected Timber cladding or
Similar

Party Wall System.

Articulation Joints to be Determined
by Bricklayer and Builder on Site as
per Drawing 4.8.4

WEERHOLES Must be Provided above
all Openings over 1200mm Wide @
1200mm Centers Immediately above
the Damper/Flashing as per
Australian Standards 3700 – 2011
Section 4.7.2

Check and Confirm all Dimensions
and Levels. All Discrepancies must
be Reported and Resolved by
Glentect PTY LTD or Owner before
Works Commence.

Handrails to be Provided throughout
Full Flight of Stairs and Located on
the Outer Side, for all Units.

Builder/Sub-contractor must Ensure
the Selection and Installation of all
Handrails Compliance with NCC
2016 Volume 2 Part 3.9.2

Date Plans Provided: 26/07/2019

4.8.4

Nom. HardieSmart™ wall system
as per Detail Drawing
FRL 60/60/60

Roofline 300I
Solar electric boost HWS

Roofline

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GENERAL NOTES
PROVIDE FLASHING AS
REQUIRED FOR ROOFS & WALLS
TO BE STRICTLY IN
ACCORDANCE WITH A.S.4200.
BOX GUTTERS TO BE
INSTALLED IN ACCORDANCE
WITH A.S/NZS 3500.3:2015

PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved. It however they are the most recent version as of the date shown below:

Date Plans Provided: 26/07/2025
DOWNPIPES AND SPREADERS
TO BE PROVIDED AT 1 PER 60m²
OF ROOF AREA AND NOT MORE
THAN 12m.

FINAL DOWNPIPES LOCATION
TO BE DETERMINED BY
BUILDER. DOWN PIPES SHOWN
ON PLANS ARE INDICATIVE
ONLY.

ALL NEW STORMWATER PIPES
TO BE CONNECTED TO LEGAL
POINT OF DISCHARGE TO THE
SATISFACTION OF THE
RELEVANT AUTHORITIES.

LEGEND

DS: DOWNPIPE SPREADER
EG: EAVES GUTTER AS
SELECTED
BG: BOX GUTTER AS SELECTED
RH: RAIN WATER HEAD WITH
OVERFLOW OUTLET
AF: APRON FLASHING AS
SELECTED
PA: PARAPET WALL
SU: SUMP
DP: C/BOND DOWN PIPE
CONNECT INTO STORM WATER
SYSTEM

PRELIMINARY NOTE FOR CONSTRUCTION

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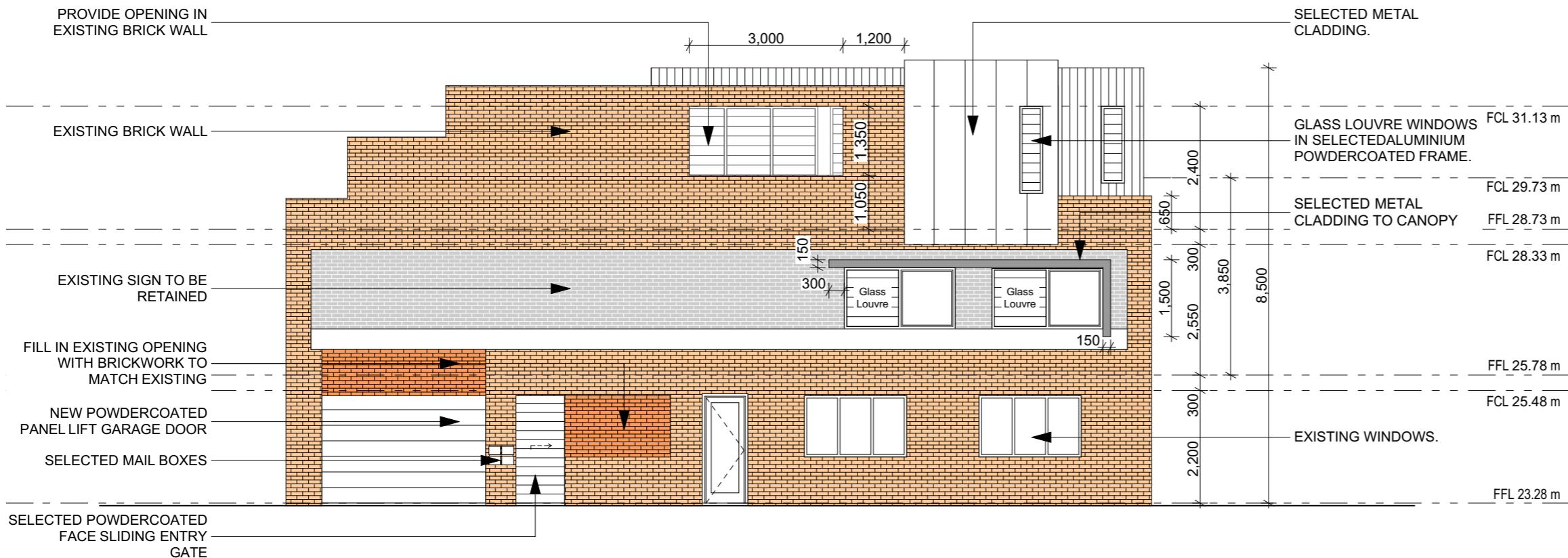
WYNDHAM CITY COUNCIL
Town Planning
Advertised Documents #
02/07/2019
Plan: 5 of 8

Drawing Title:	Roof Plan	
Proposal:	Proposed Four Triple Storey Dwellings	
Area Of Plan:	Project Site:	
Client:	Page No.:	Revision:
35-37 Cedar Street, Werribee VIC 3030		
Drawn by:	DZ	
Checked by:		
Scale:	1:100 @ A3	

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FINISHES SCHEDULE

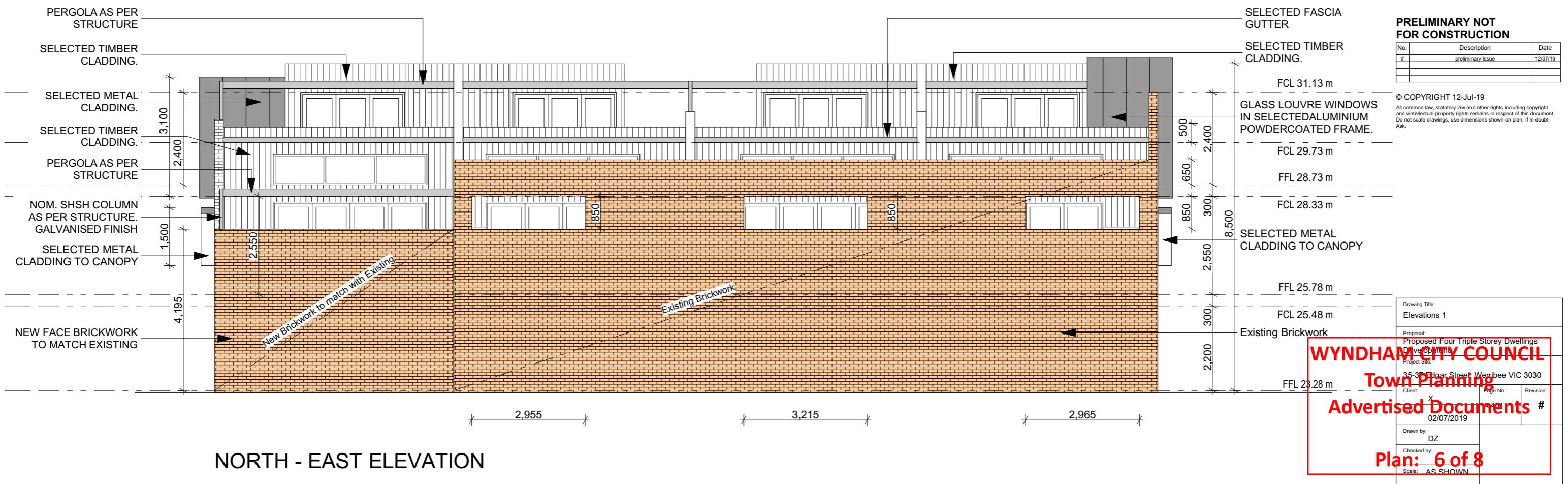
ROOF MATERIALS	GREY 'SHALE GREY'
ROOF SHEETING	GREY 'SHALE GREY'
FASCIAS	GREY 'SHALE GREY'
GUTTERS	GREY 'SHALE GREY'
PLEASE NOTE: The plans that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:	
BUILDING MATERIALS	Date Plans Provided: 26/03/2025
EXISTING RED BRICKWORK	DRIFTWOOD TIMBER STAIN
TIMBER CLADDING	ALUCOBOND ANODIZED LOOK
METAL CLADDING	ALUCOBOND BEIGE
METAL CLAD CANOPY	CHARCOAL 'KLUTE'
PARTI WALLS	CHARCOAL 'KLUTE'
DOORS	POWDERCOAT CHARCOAL 'MONUMENT'
WINDOW FRAMES	POWDERCOAT CHARCOAL 'MONUMENT'
GARAGE DOOR	POWDERCOAT CHARCOAL 'MONUMENT'
ENTRY GATE	POWDERCOAT CHARCOAL 'MONUMENT'

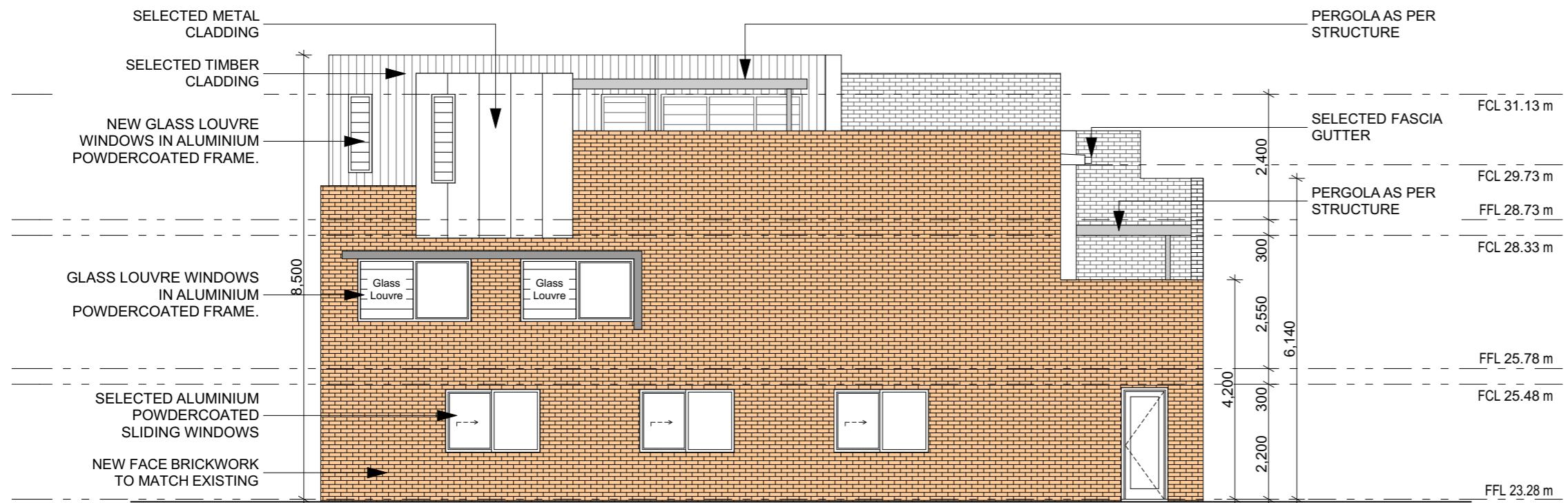


NORTH-WEST ELEVATIONS

NOTE:

Articulation Joints to be provided on either side of the Garage Opening and to be 5m max spacing as per Soil Report. Final Location of Articulation Joints to be Determined by Bricklayer and Builder on Site as per AS 3700-2011, 4.8.4





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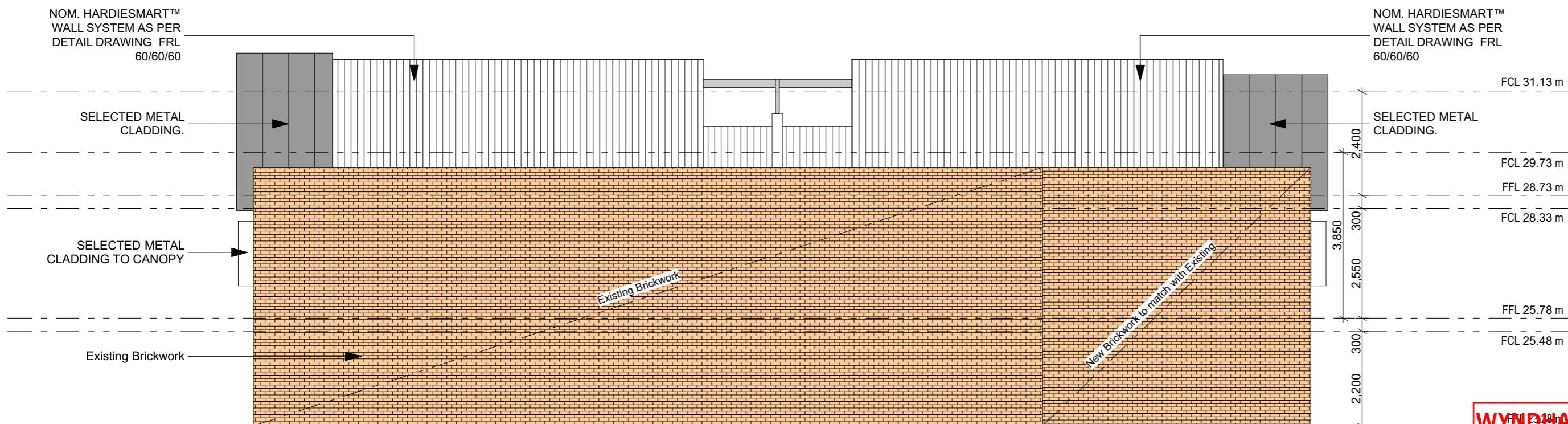
FINISHES SCHEDULE

ROOF MATERIALS	GREY 'SHALE GREY'
ROOF SHEETING	GREY 'SHALE GREY'
FASCIAS	GREY 'SHALE GREY'
GUTTERS	GREY 'SHALE GREY'
PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:	
BUILDING MATERIALS	EXISTING RED
BRICKWORK	DRIFTWOOD TIMBER STAIN
TIMBER CLADDING	ALUCOBOND ANODIZED LOOK
METAL CLADDING	ALUCOBOND BEIGE
METAL CLAD CANOPY	CHARCOAL 'KLUTE'
PARTI WALLS	CHARCOAL 'KLUTE'
DOORS	POWDERCOAT CHARCOAL 'MONUMENT'
WINDOW FRAMES	POWDERCOAT CHARCOAL 'MONUMENT'
GARAGE DOOR	POWDERCOAT CHARCOAL 'MONUMENT'
ENTRY GATE	POWDERCOAT CHARCOAL 'MONUMENT'
Date Plans Provided: 26/03/2025	

NOTE:

Articulation Joints to be provided on either side of the Garage Opening and to be 5m max spacing as per Soil Report. Final Location of Articulation Joints to be Determined by Bricklayer and Builder on Site as per AS 3700-2011, 4.8.4

SOUTH-EAST ELEVATION



WYNDHAM CITY COUNCIL Planning Town Planning Advertised Documents Plan: 7 of 8		Proposed Four Triple Storey Dwellings		
		Development Project Site	35-37 Moor Street, Werribee VIC 3030	
		Client: <input checked="" type="checkbox"/>	Page No.: <input type="text" value="40"/>	Revision: <input type="text" value="#"/>
		Drawn by: <input type="checkbox"/>	DZ	
		Checked by: <input type="checkbox"/>		
		Scale: <input type="checkbox"/>	AS SHOWN	

SOUTH-WEST ELEVATION

