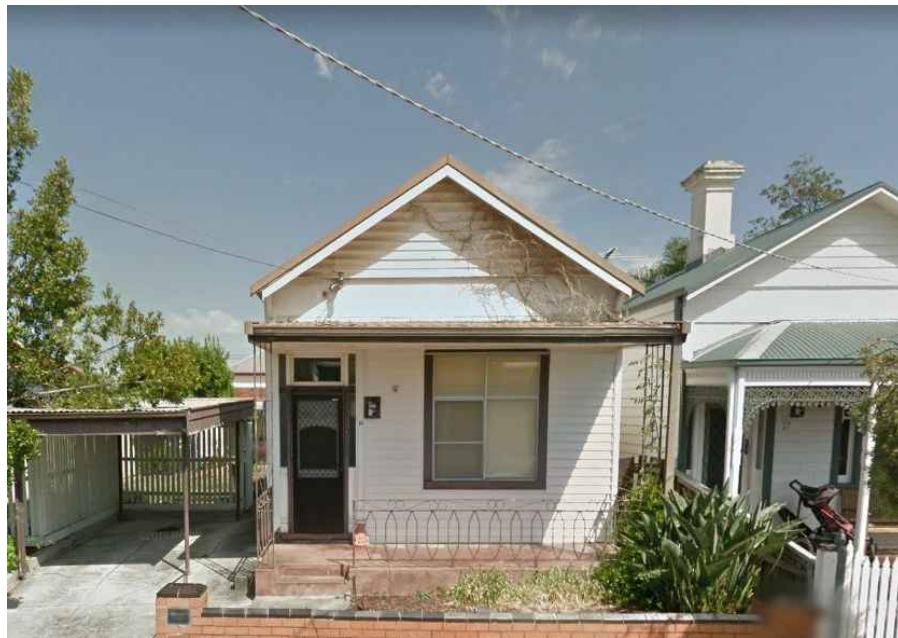


## DRAWING LIST

- TP01 SITE PLAN
- TP02 GROUND FLOOR PLAN
- TP03 FIRST FLOOR PLAN
- TP04.1 ELEVATIONS 1
- TP04.2 ELEVATIONS 2
- TP05 ELEVATIONS 3
- TP06 SECTIONS 1
- TP07 SECTIONS 2
- TP08 ANALYTICAL DRAWINGS
- TP09 SHADOW DIAGRAM - EXISTING + PROPOSED
- TP10 [REDACTED]
- TP11 SITE ANALYSIS 1
- TP12 SITE ANALYSIS 2
- TP13 DESIGN RESPONSE 1
- TP14 DESIGN RESPONSE 2



13 ETHEL STREET | 15 ETHEL STREET

EXISTING CONDITIONS



PROPOSED DEVELOPMENT

## New Residence

13 Ethel Street, Brunswick East

SCALE

May 2018

DATE

Project No [2]1705

Dwg: TP00

RevD

AMENDMENTS			
Rev	By	Date	Description
A	BC	05.18	AMENDMENT FOR COUNCIL
D		7.9.20	Town Planning Endorsement Issue

NOTES  
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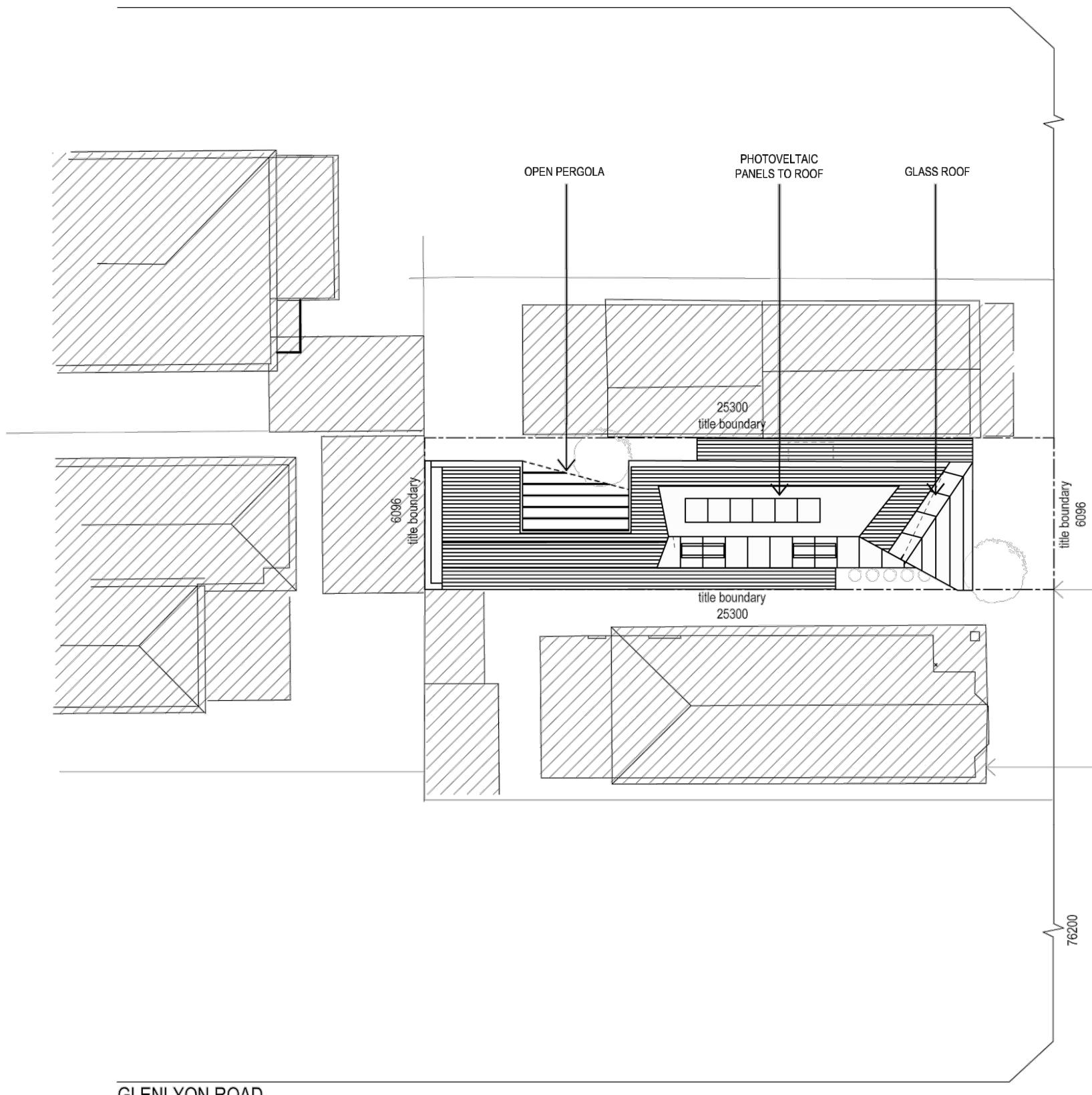
NOTES  
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LORD STREET



PLANNING ENVIRONMENT ACT 1987  
MERRI-BEK PLANNING SCHEME

Advertised Document  
Advertised Plan Sheet:2 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025

NOTE:  
REFER TO DRAWING SHEET  
TP10 TP11 TP13 TP14 FOR SITE  
ANALYSIS AND DESIGN RESPONSE

## New Residence

13 Ethel Street, Brunswick East

SCALE 1:200  
DATE May, 2018

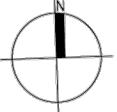
Project No [2]1705  
Dwg: TP01 Rev D

AMENDMENTS			
Rev	By	Date	Description
A	BC	05.18	AMENDMENT FOR COUNCIL
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement

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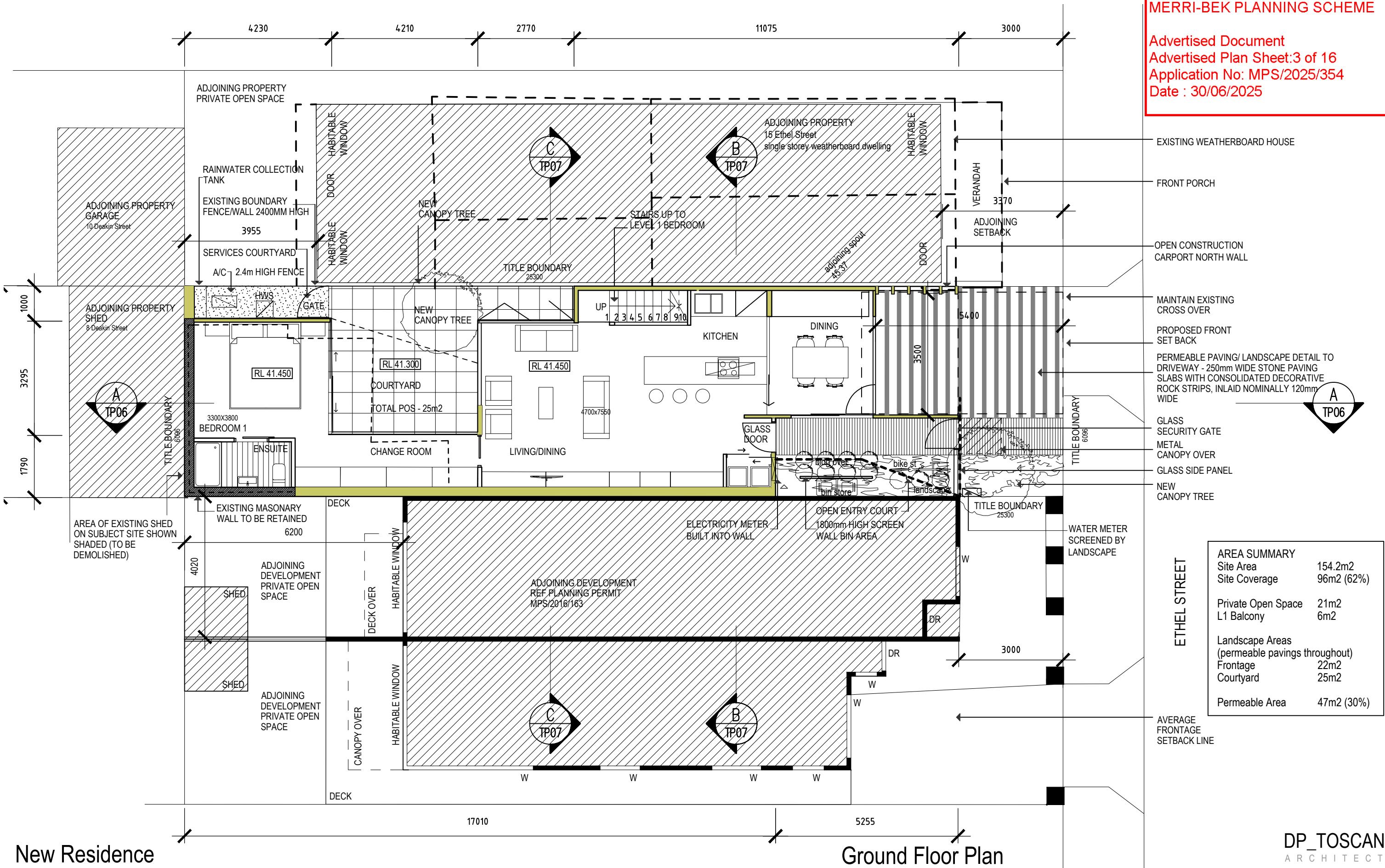


## Site Plan / Roof Plan

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New Residence

13 Ethel Street, Brunswick East

SCALE 1:100

DATE May 2018

Project No [2]1705

Dwg: TP02

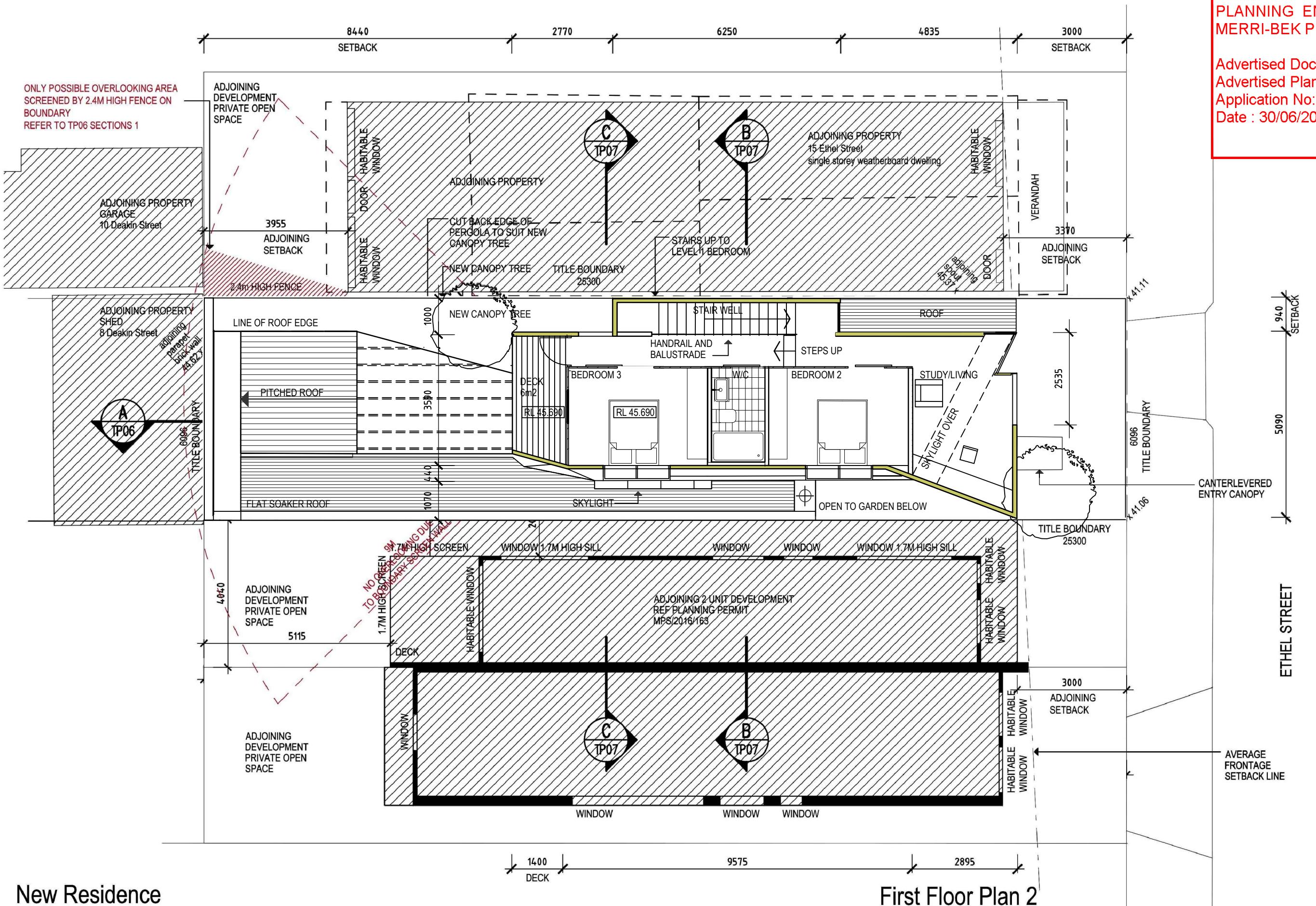
Rev D

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Advertised Plan Sheet:4 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025



## New Residence

13 Ethel Street, Brunswick East

SCALE 1:100  
DATE May\_2018

Project No [2]1705  
Dwg: TP03 Rev D

## AMENDMENTS

Rev	By	Date	Description
A	BC	15.05.18	Amendment for Council
B	jt	27.11.18	Revised submission - increased frontage setba
C	jt	30.1.19	Revised Town Planning Issue
D	jt	7.9.20	Town Planning Endorsement

## NOTES

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A compass rose with a vertical line pointing upwards labeled 'N'.

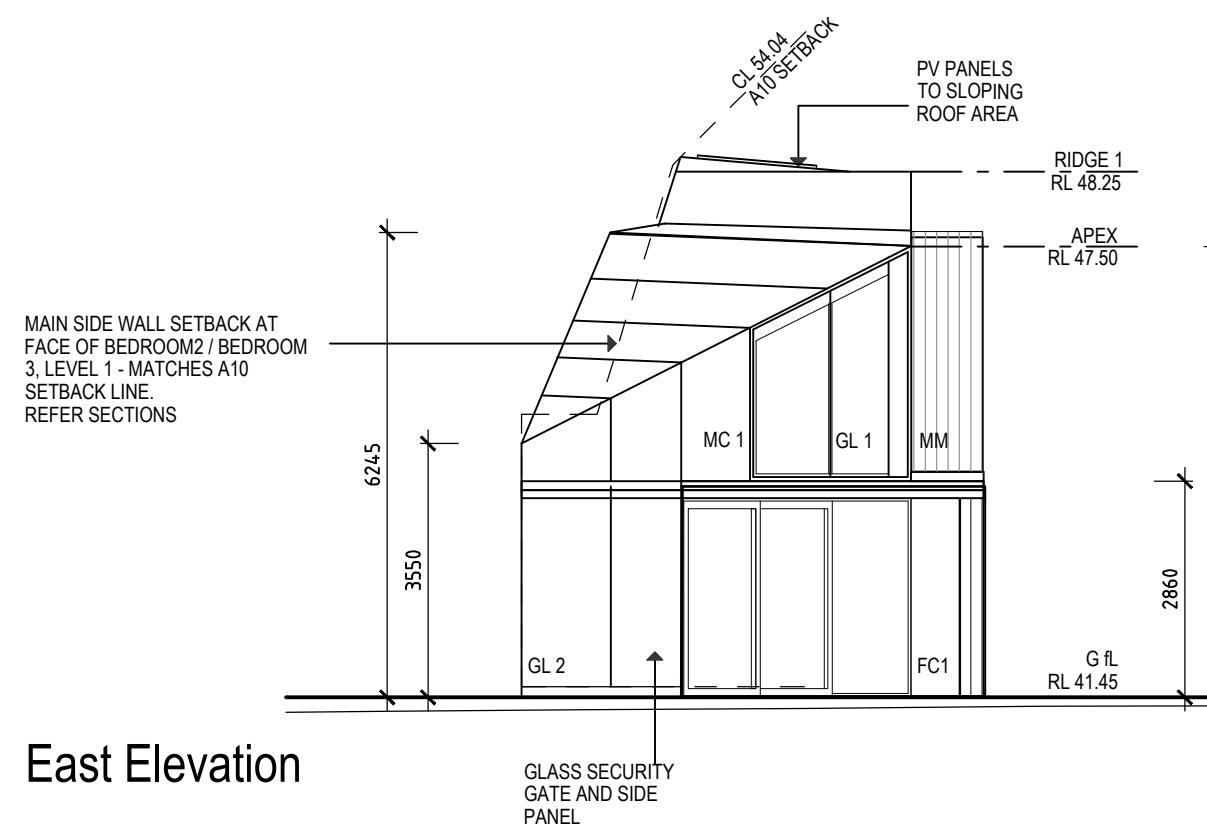
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ACN 120 090 691

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: 03 9419 8366  
: 03 9419 8344  
: [info@dptoscanaoarchitects.com](mailto:info@dptoscanaoarchitects.com)

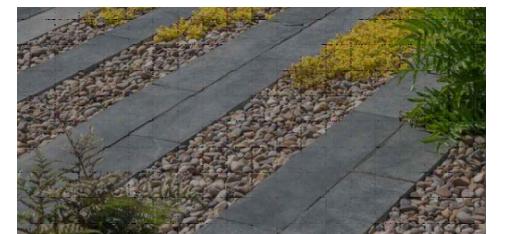
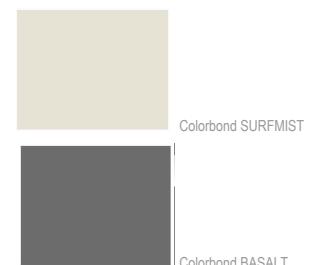
PLANNING ENVIRONMENT ACT 1987  
MERRI-BEK PLANNING SCHEME

Advertised Document  
Advertised Plan Sheet:5 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025



SCHEDULE OF EXTERNAL FINISHES

MC1- Metal cladding 1 Colourbond metal cladding SURFMIST	BL- Blocks Natural Concrete Blocks cement grey
SP - Speed Panel Powder coated colour Colorbond BASALT, Matt	GL 1-Glass Clear Glass
MM- Metal Mesh Powder coated colour Colorbond SURFMIST (metal screens generally incl. pergola roof screen)	GL 2-Glass Grey Glass
FC1- Fibre cement sheet 1 Fibre cement sheet painted to match Colorbond SURFMIST semi gloss finish	R- Roof Colourbond Steel SURFMIST



New Residence

13 Ethel Street, Brunswick East

SCALE 1:100

DATE May 2018

Project No [2]1705

Dwg: TP04.1 Rev D

AMENDMENTS		
Rev	By	Date
A	BC	05.18 AMENDMENT FOR COUNCIL
B	jt	27.11.18 Revised submission - increased frontage setback
C	jt	30.1.19 Revised Town Planning Issue
D		7.9.20 Town Planning Endorsement Issue

NOTES  
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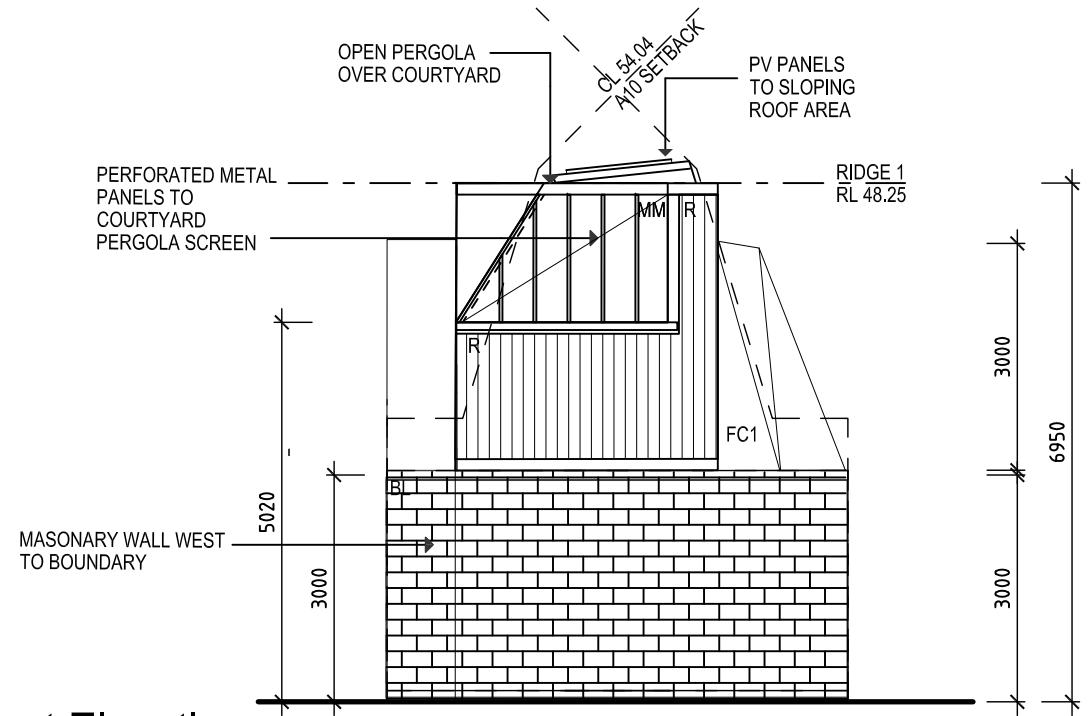
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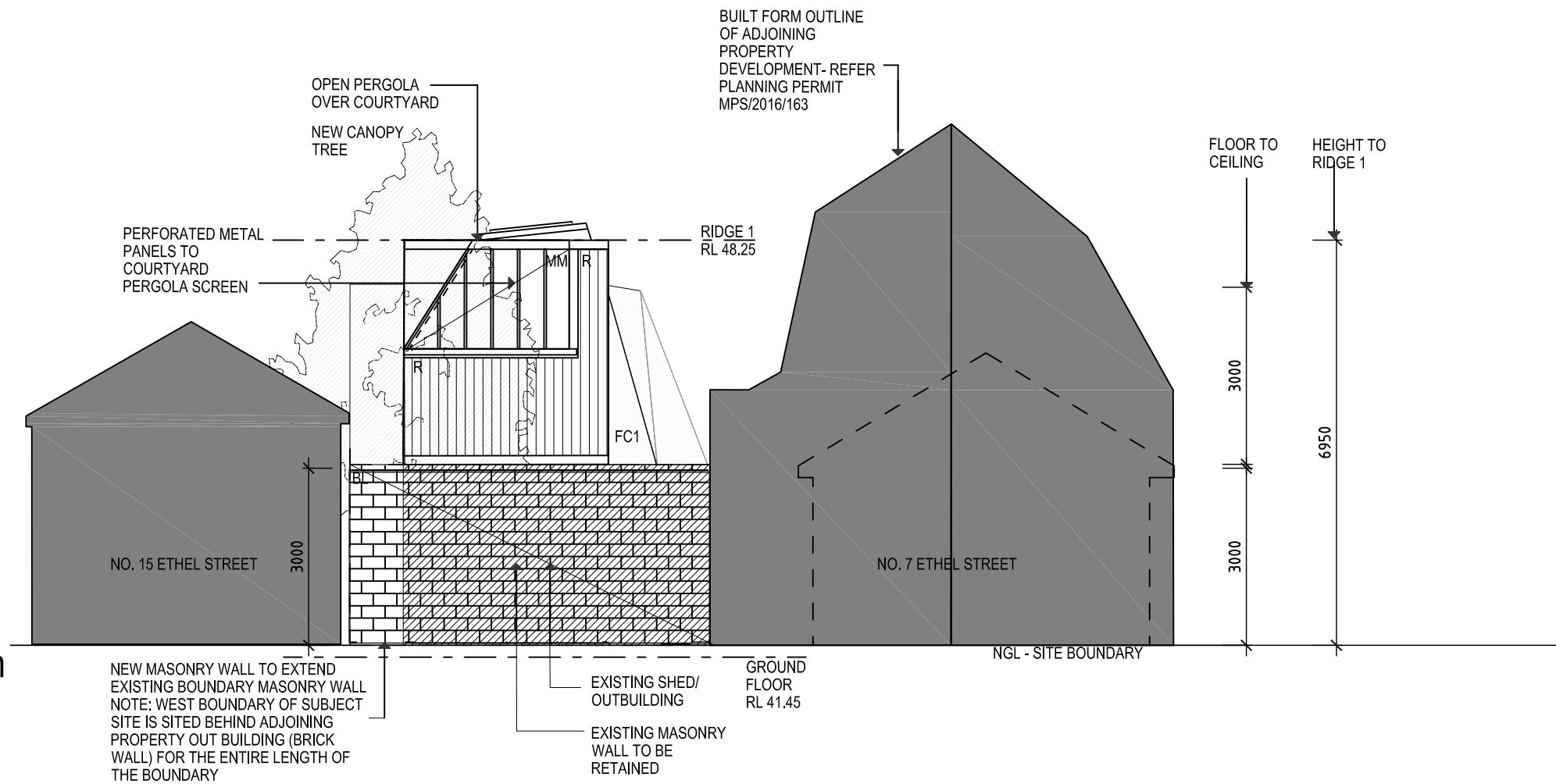
DP TOSCANO ARCHITECTS Pty Ltd.  
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West Elevation



West Elevation  
site context

## New Residence

13 Ethel Street, Brunswick East

SCALE 1:100

DATE May\_2018

Project No [2]1705

Dwg: TP04.2 Rev D

AMENDMENTS			
Rev	By	Date	Description
A	BC	05.18	AMENDMENT FOR COUNCIL
B	JL	27.11.18	Revised submission - increased frontage setback
C	JL	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement Issue

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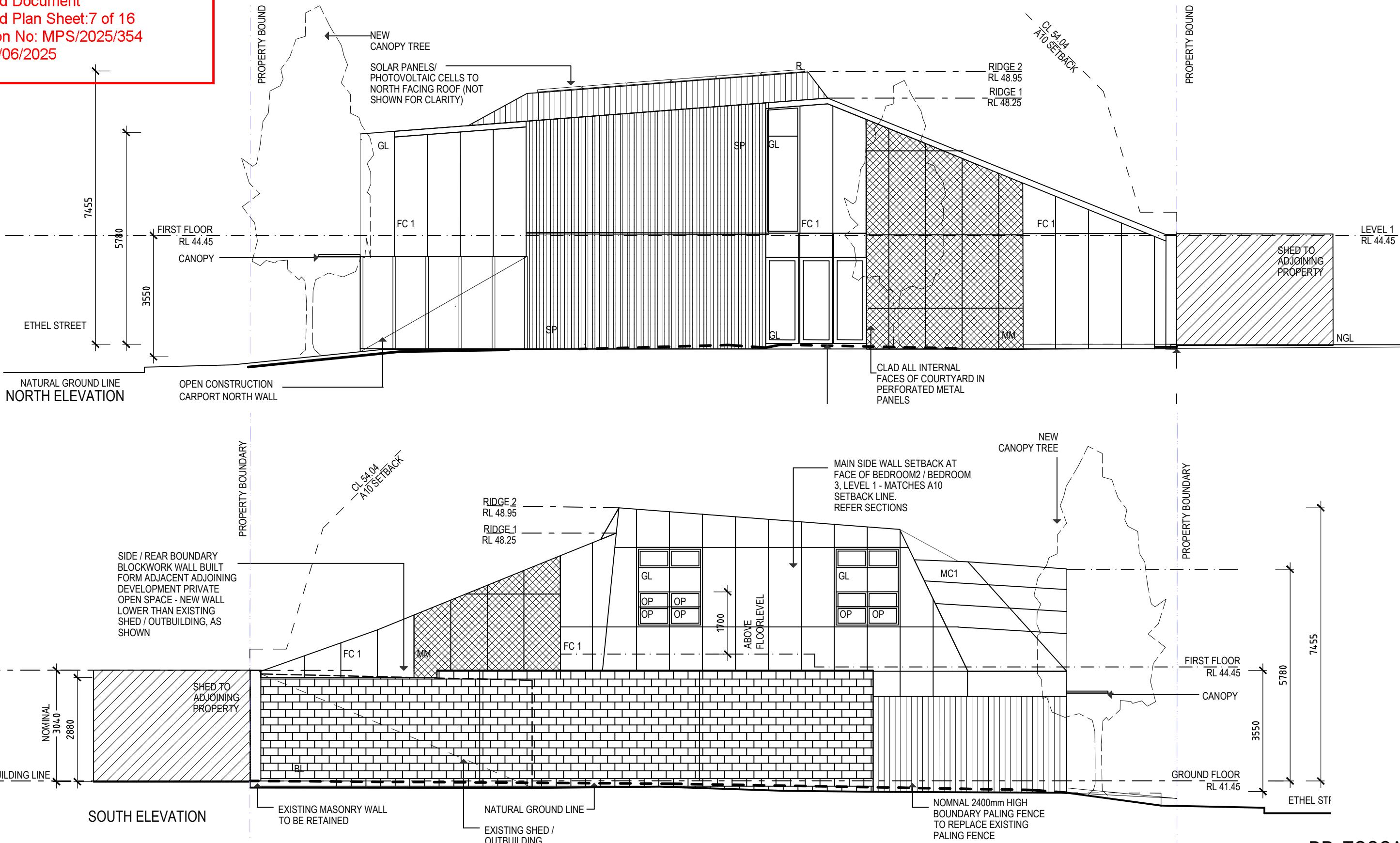
## Elevations 2

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Advertised Plan Sheet:7 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025



# New Residence

13 Ethel Street, Brunswick East

AMENDMENTS			
Rev	By	Date	Description
A	EF	15.05.18	Amendment for Council
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement Issue

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In conjunction with all other  
application of  
NOTES  
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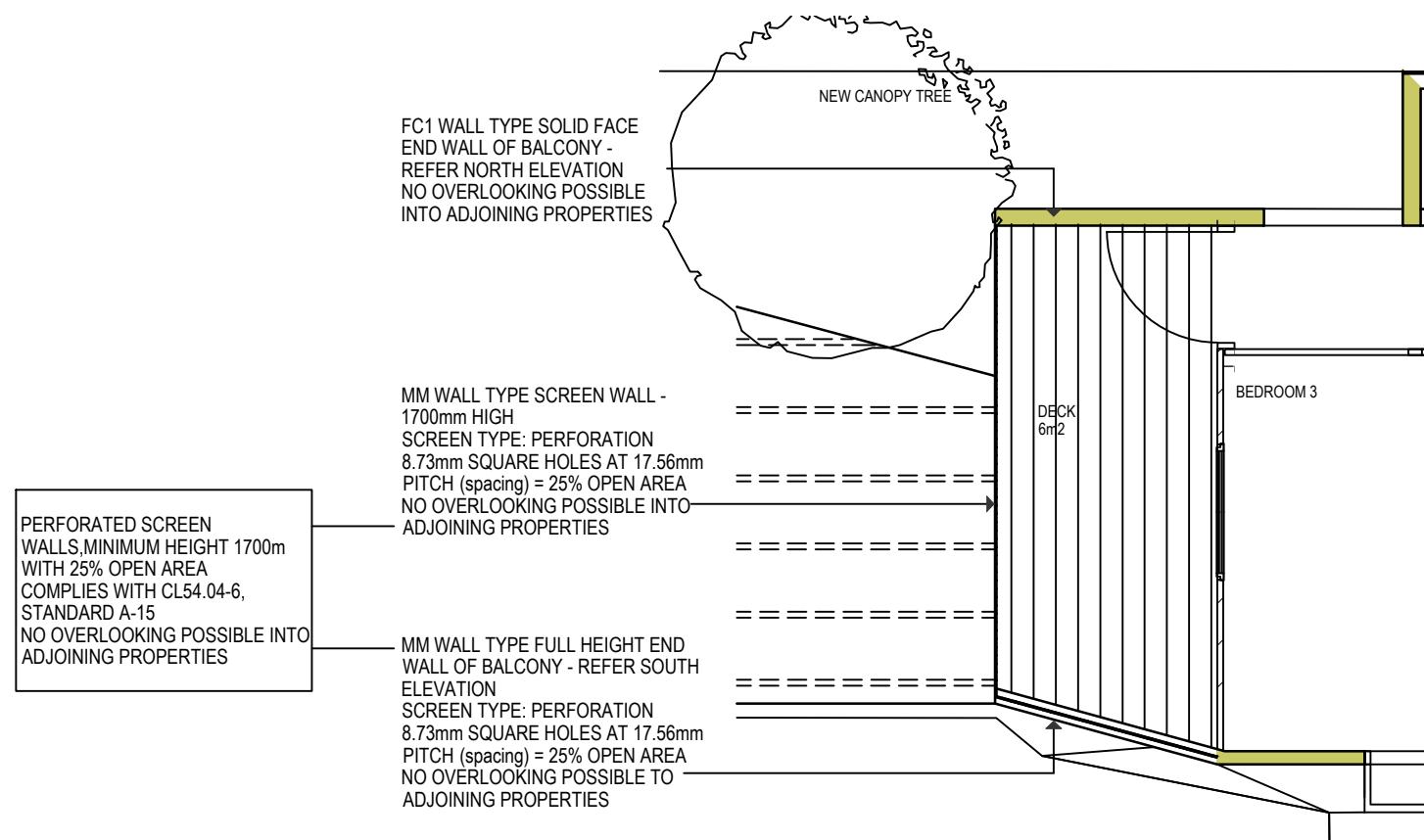
DP TOSCANO ARCHITECTS Pty Ltd  
ACN 120 090 691

126 CROMWELL STREET

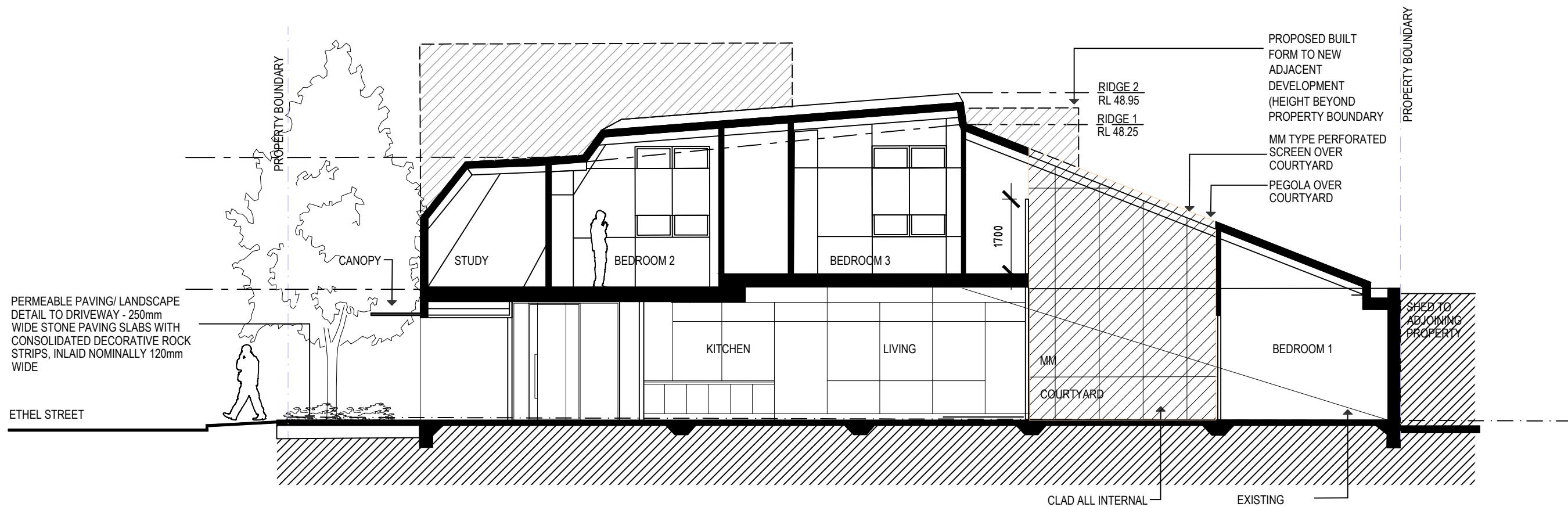
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Advertised Document  
Advertised Plan Sheet:8 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025



L1 BALCONY  
DETAIL FLOOR PLAN  
SCALE 1:50



New Residence

13 Ethel Street, Brunswick East

SCALE 1:100

DATE May, 2018

Project No [2]1705

Dwg: TP06 Rev D

AMENDMENTS			
Rev	By	Date	Description
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement Issue

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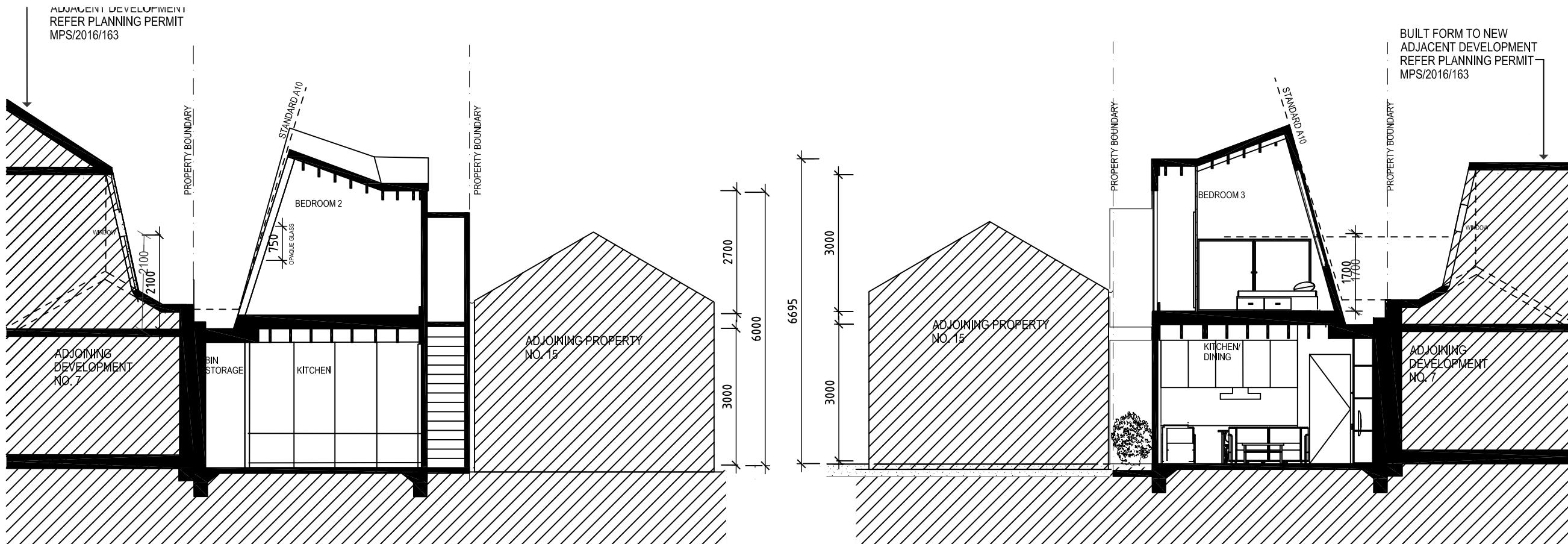
1

Sections 1

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## New Residence

13 Ethel Street, Brunswick East

SCALE 1:100  
DATE May\_2018

Project No [2]1705  
Dwg: TP07 Rev D

AMENDMENTS			
Rev	By	Date	Description
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement Issue

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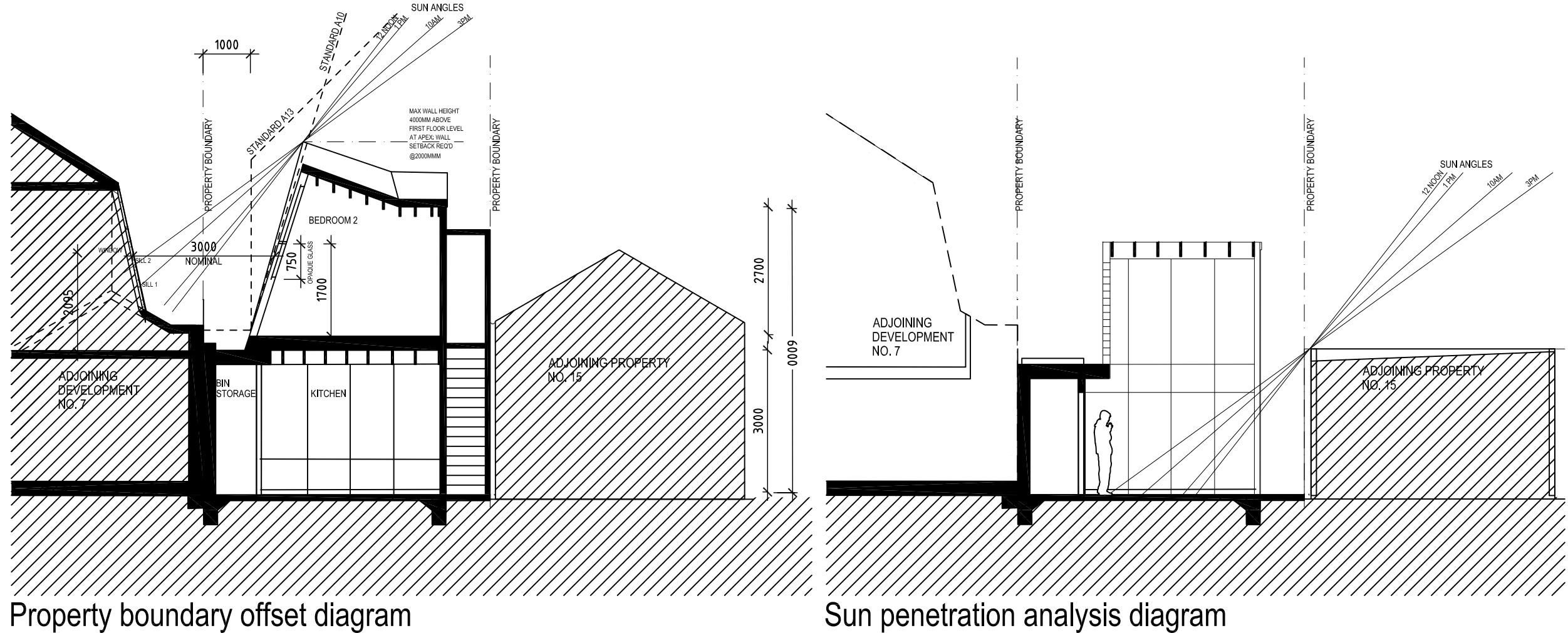
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DP

## Sections 2

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## New Residence

13 Ethel Street, Brunswick East

SCALE 1:100

DATE May\_2018

Project No [2]1705

Dwg: TP08 Rev D

## Analytical Drawings

AMENDMENTS			
Rev	By	Date	Description
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement Issue

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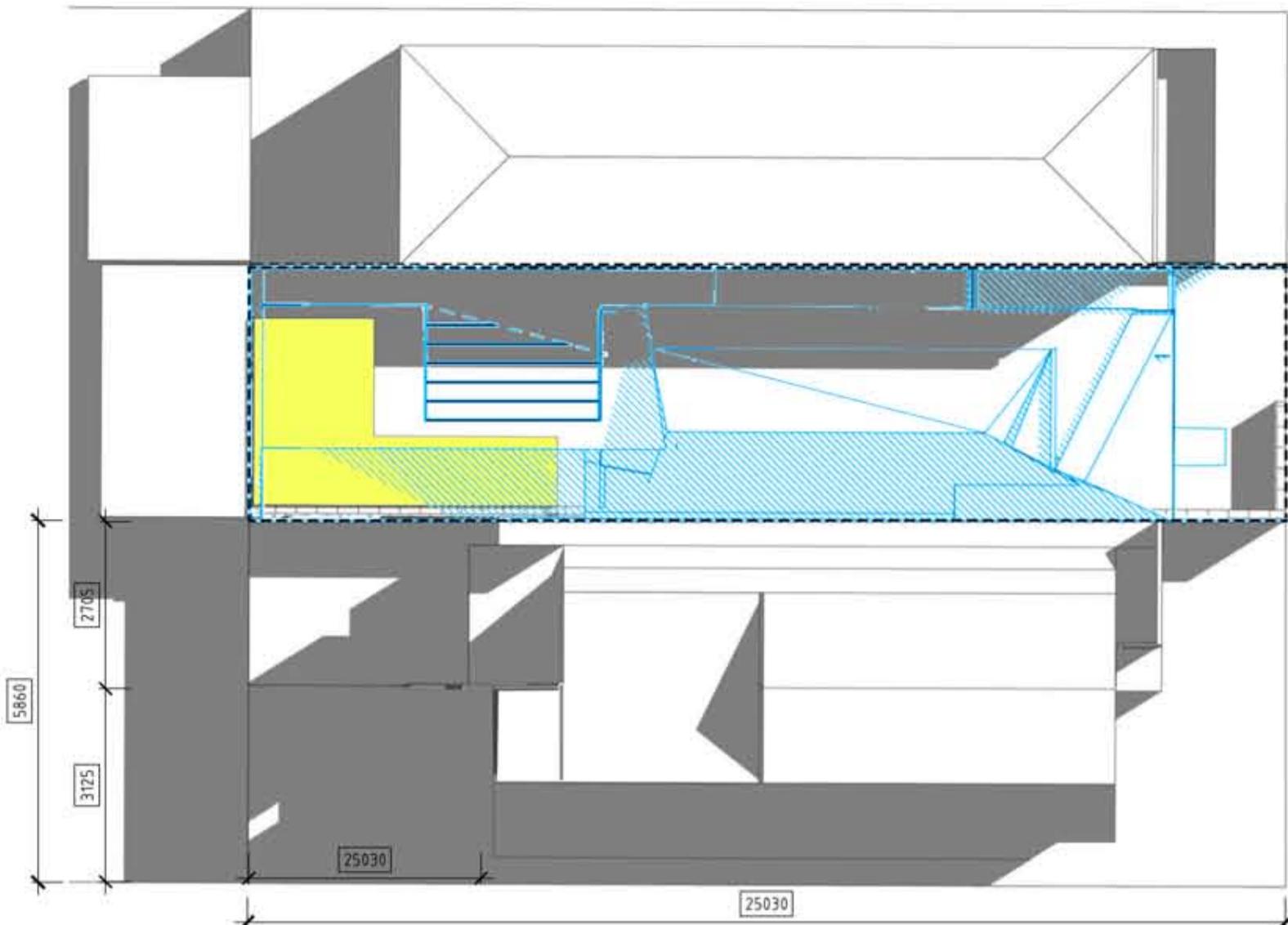
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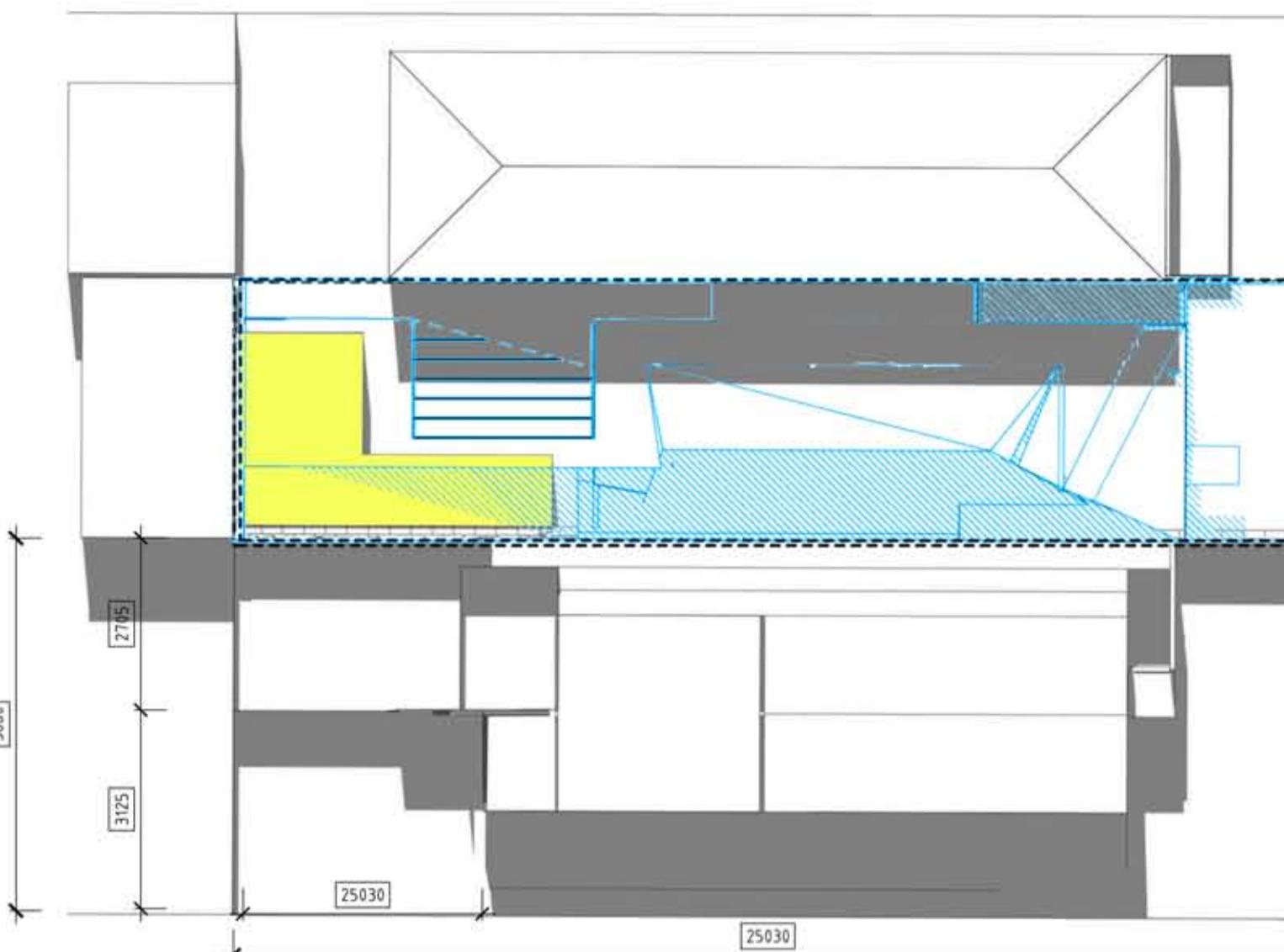
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DP TOSCANO ARCHITECTS Pty Ltd.  
ACN 120 090 691

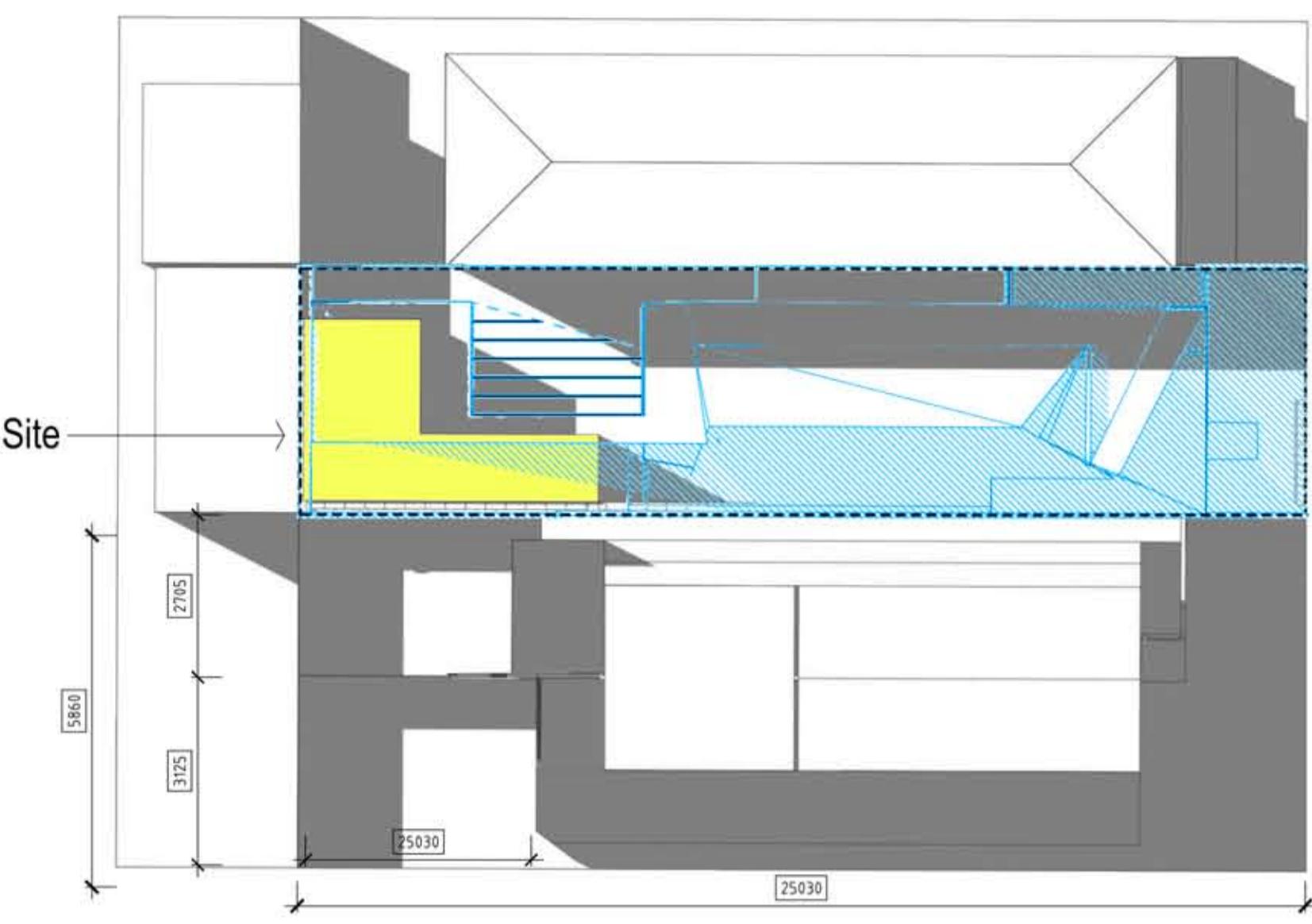
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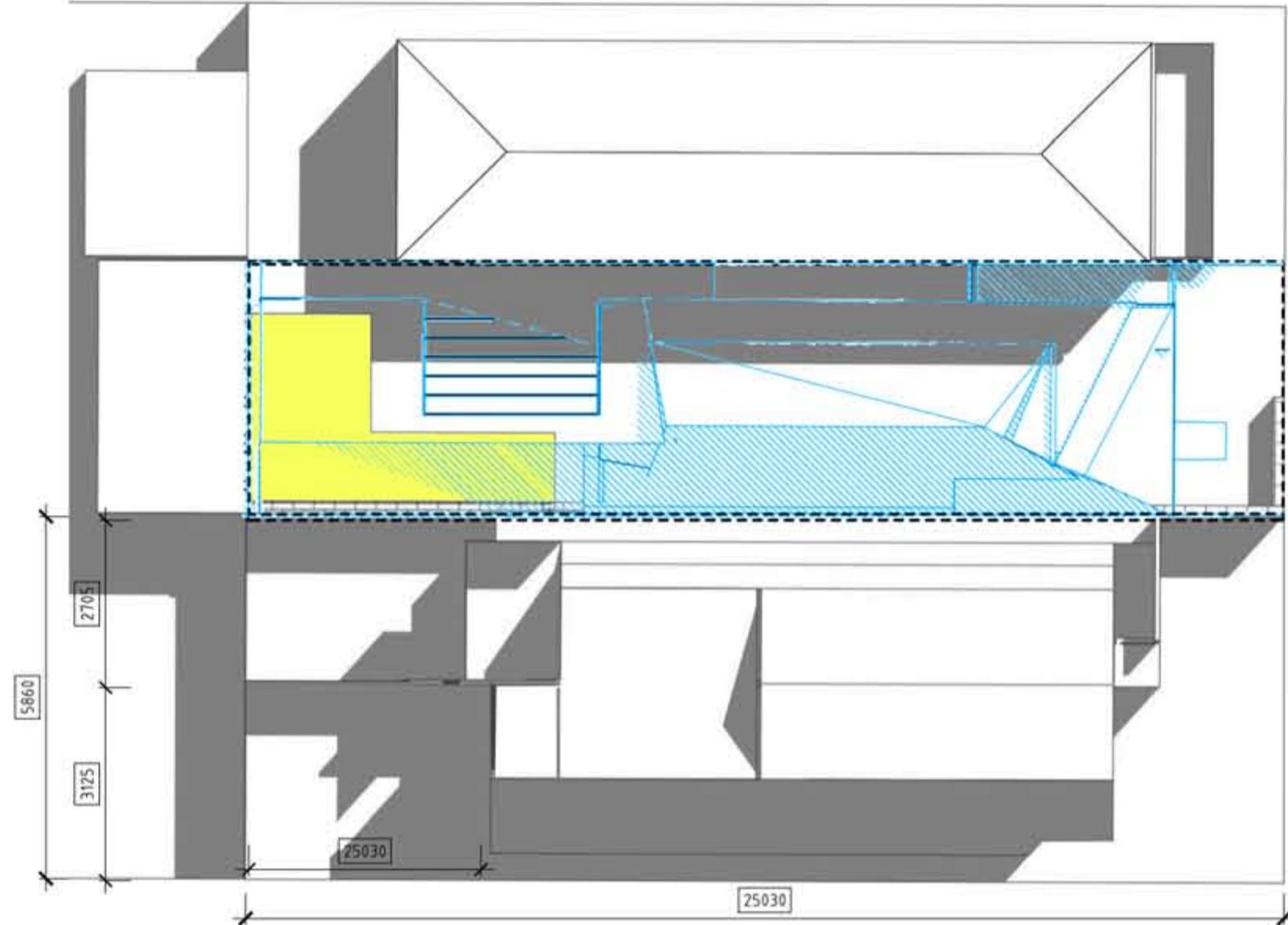
Shadow cast by the existing / proposed property on September 22 at 9am



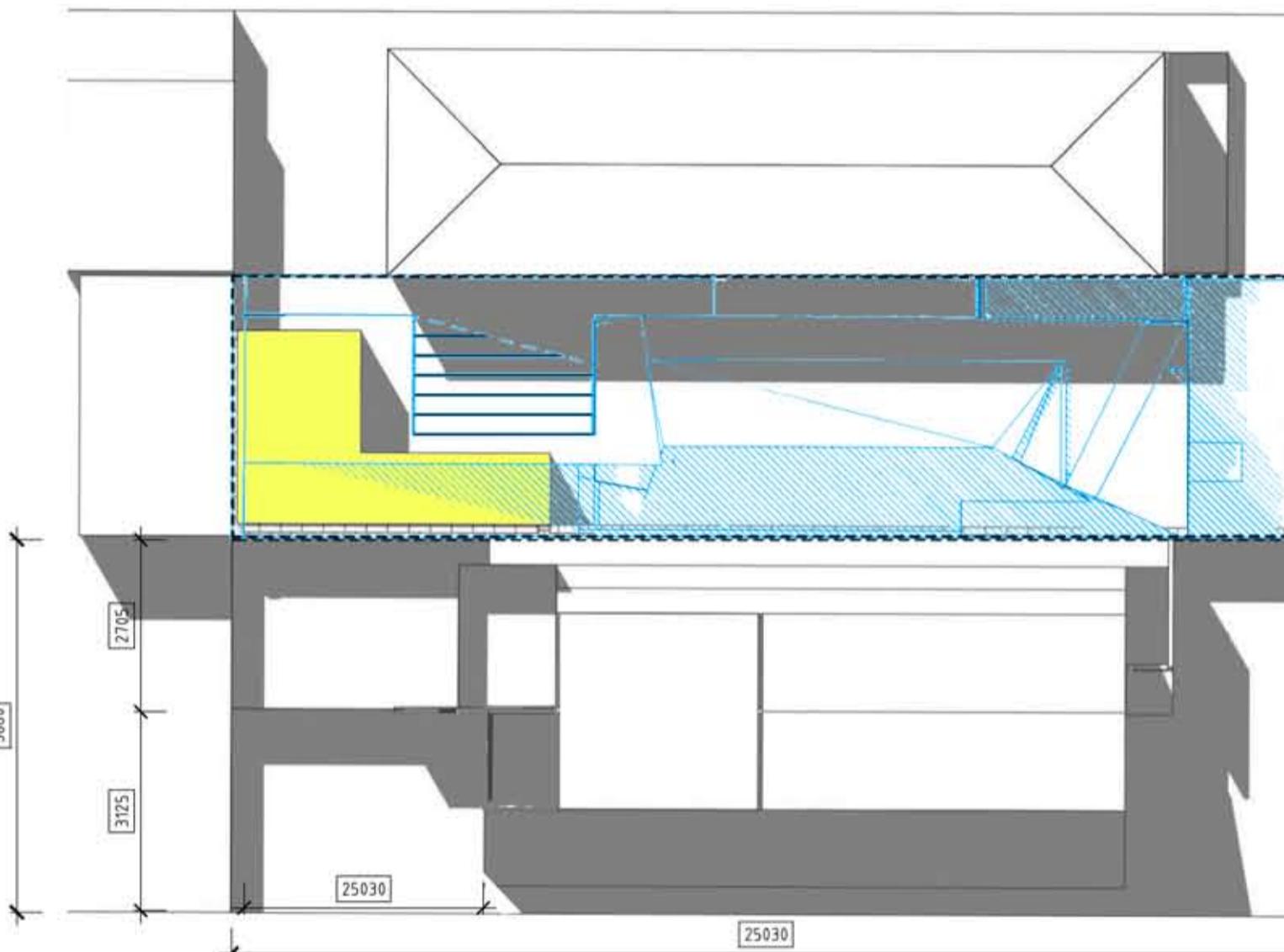
Shadow cast by the existing / proposed property on September 22 at 12 pm



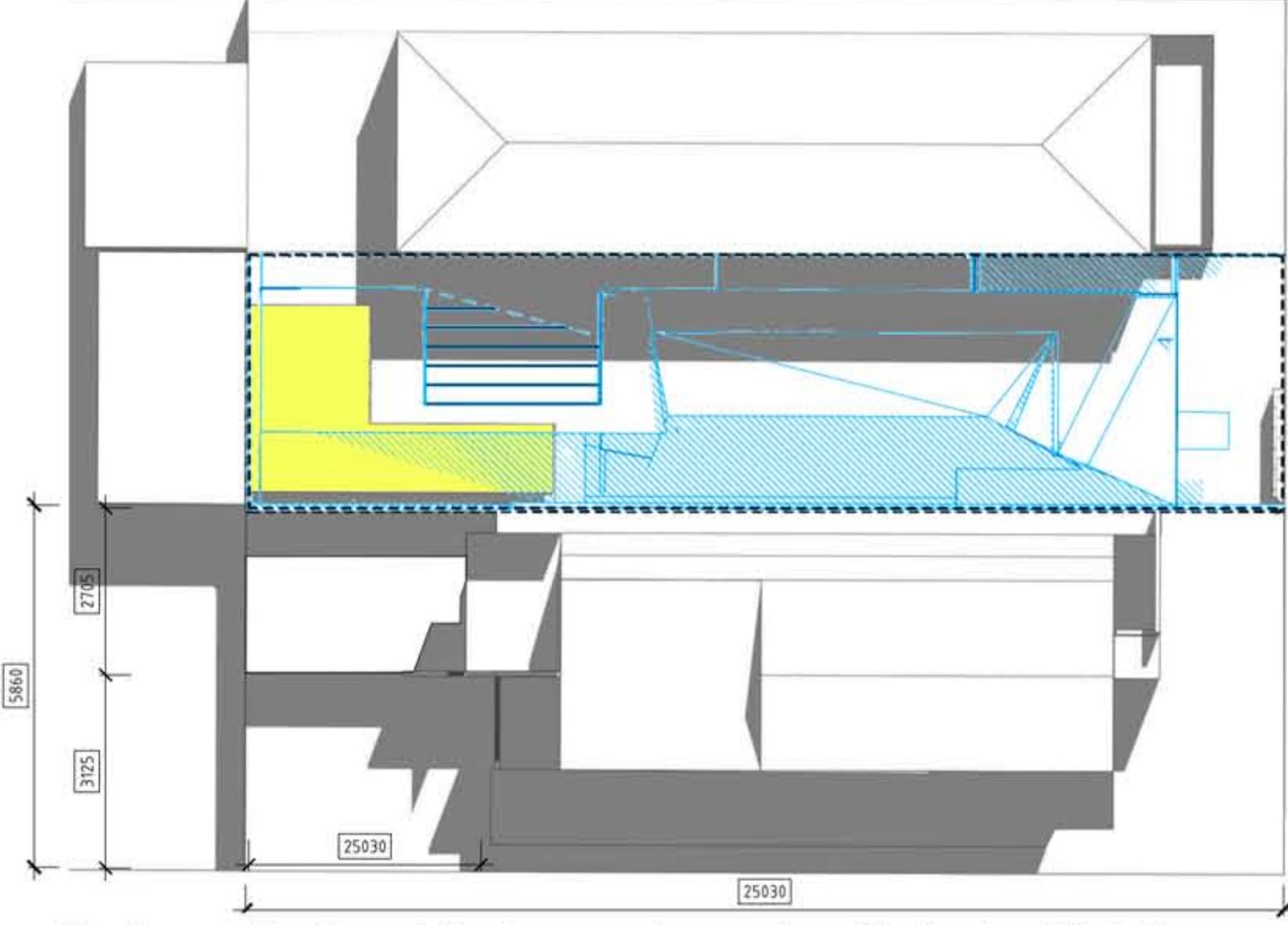
Shadow cast by the existing / proposed property on September 22 at 3pm



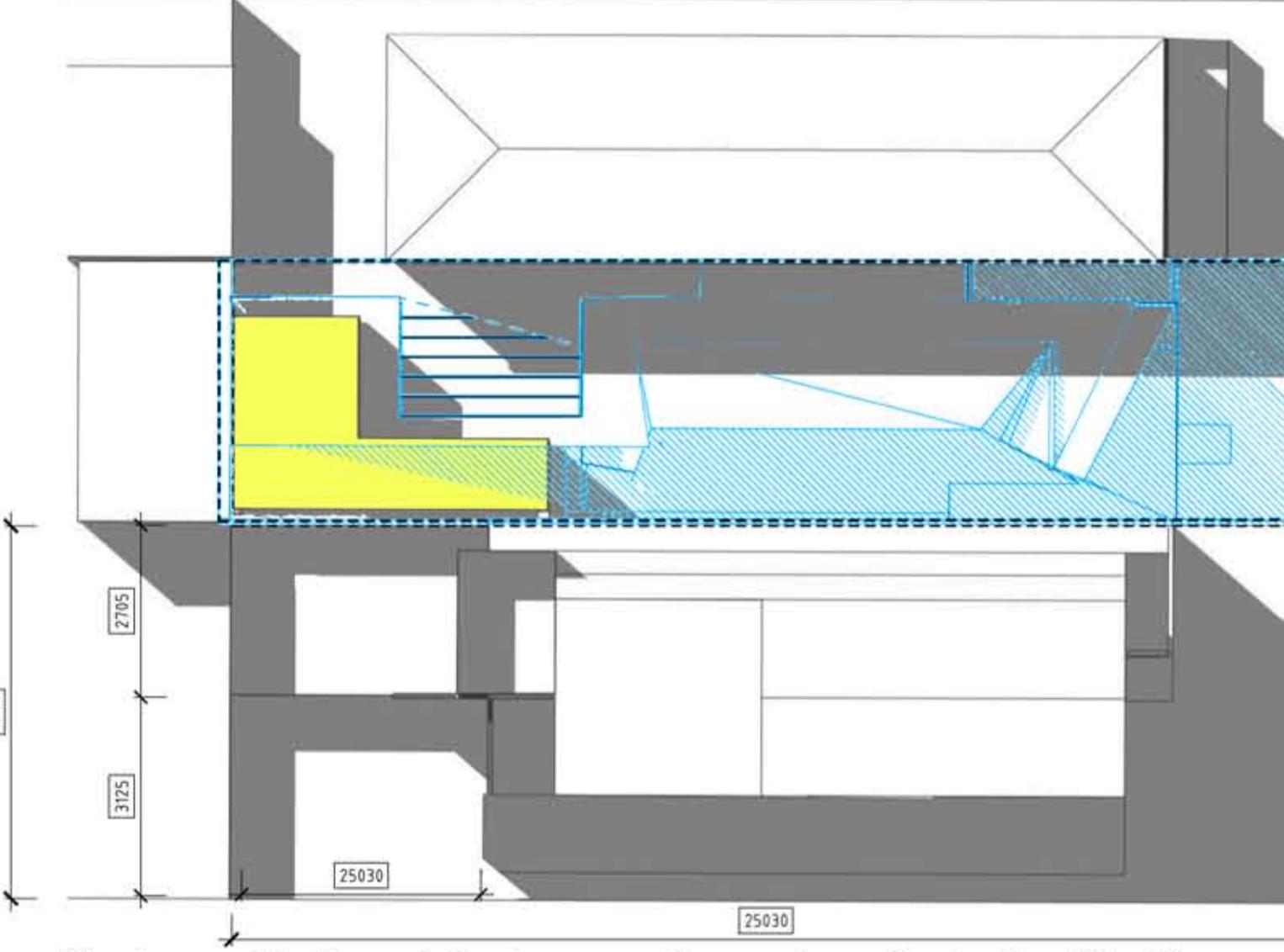
Shadow cast by the existing / proposed property on September 22 at 10am



Shadow cast by the existing / proposed property on September 22 at 1pm



Shadow cast by the existing / proposed property on September 22 at 11am



Shadow cast by the existing / proposed property on September 22 at 2pm

## New Residence

13 Ethel Street, Brunswick East

SCALE 1:150

DATE May 2018  
Project No [2]1705  
Page 1 of 2

## AMENDMENTS

Rev	By	Date	Description
A	BC	15.05.18	Amendment for Council

## REVISION

## Shadow Diagrams- Existing

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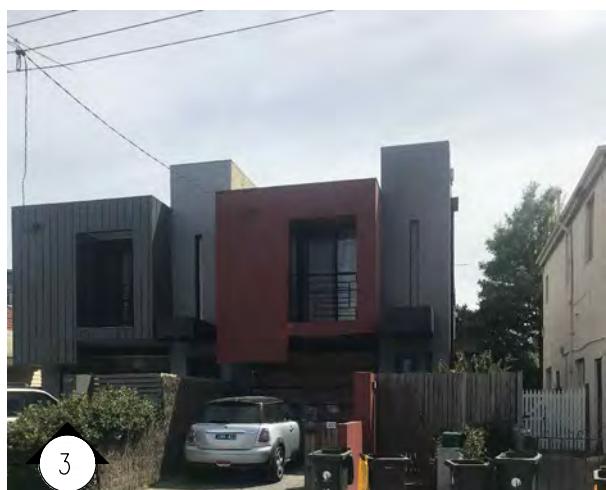
Advertised Document  
Advertised Plan Sheet:13 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025



1  
Open car garage to the street frontage



2  
Double storey modern development featuring garage and car port dominant to the street frontage



3  
Double storey modern development featuring garage and car port dominant to the street frontage

## New Residence

13 Ethel Street, Brunswick East

SCALE 1:1000  
DATE March\_2018

Project No [2]1705  
Dwg: TP12

AMENDMENTS			
Rev	By	Date	Description
A	BC	15.05.18	Amendment for Council

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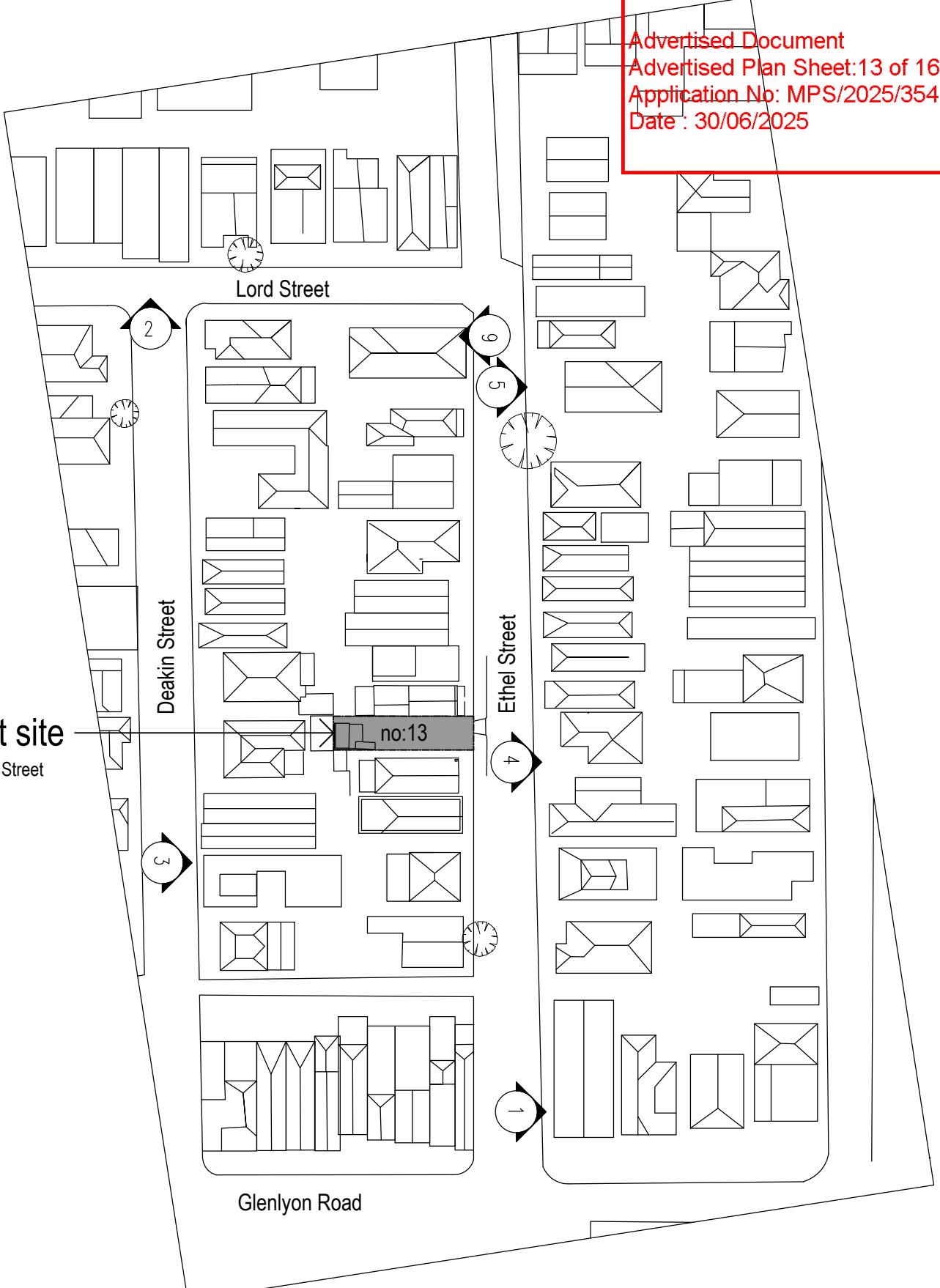
4  
High fence to open car garage to street frontage



5  
High fence to open car garage to street frontage



6  
Typical garage dominant to street frontage

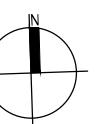


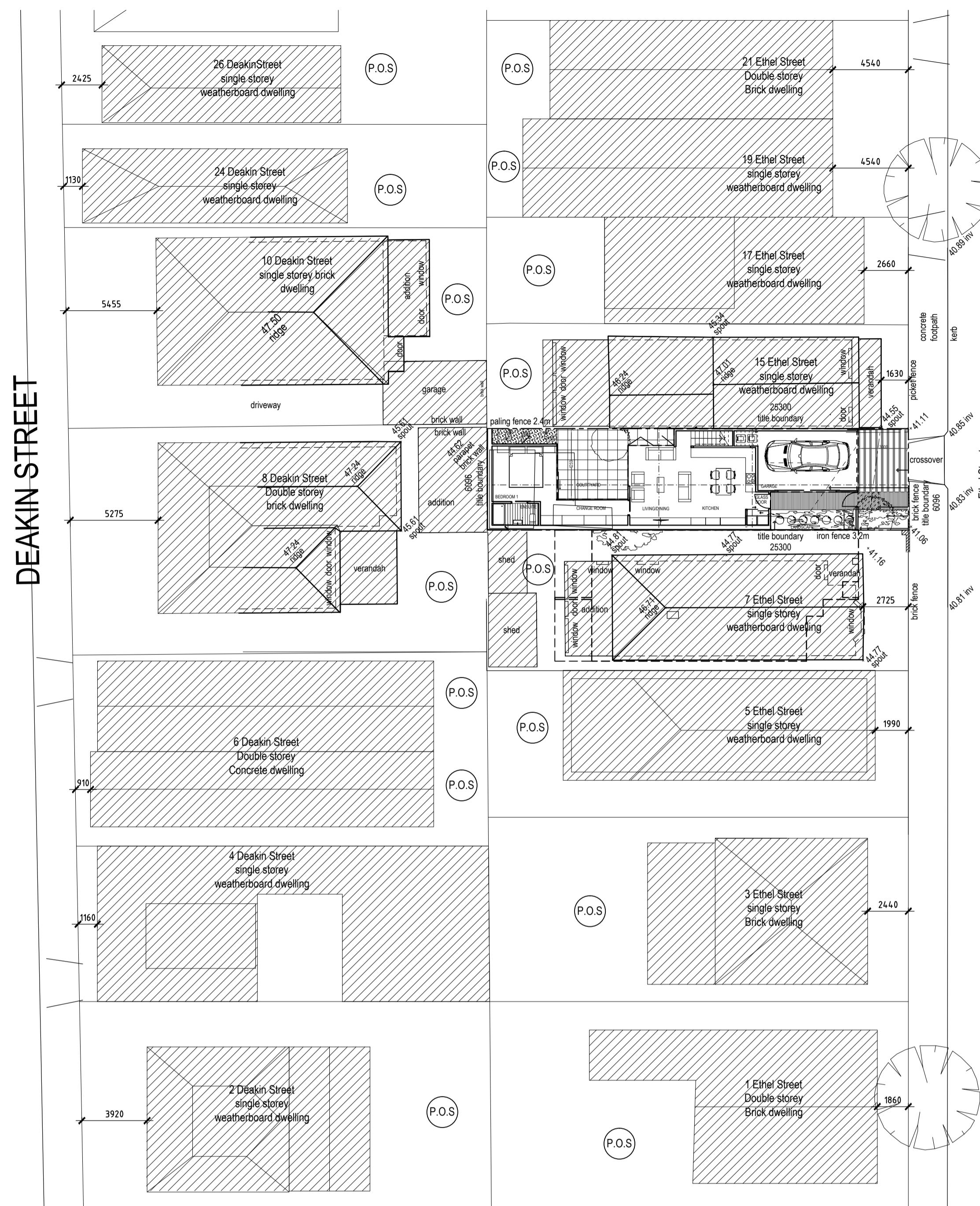
## Site Analysis 2

DP\_TOSCANO  
ARCHITECTS

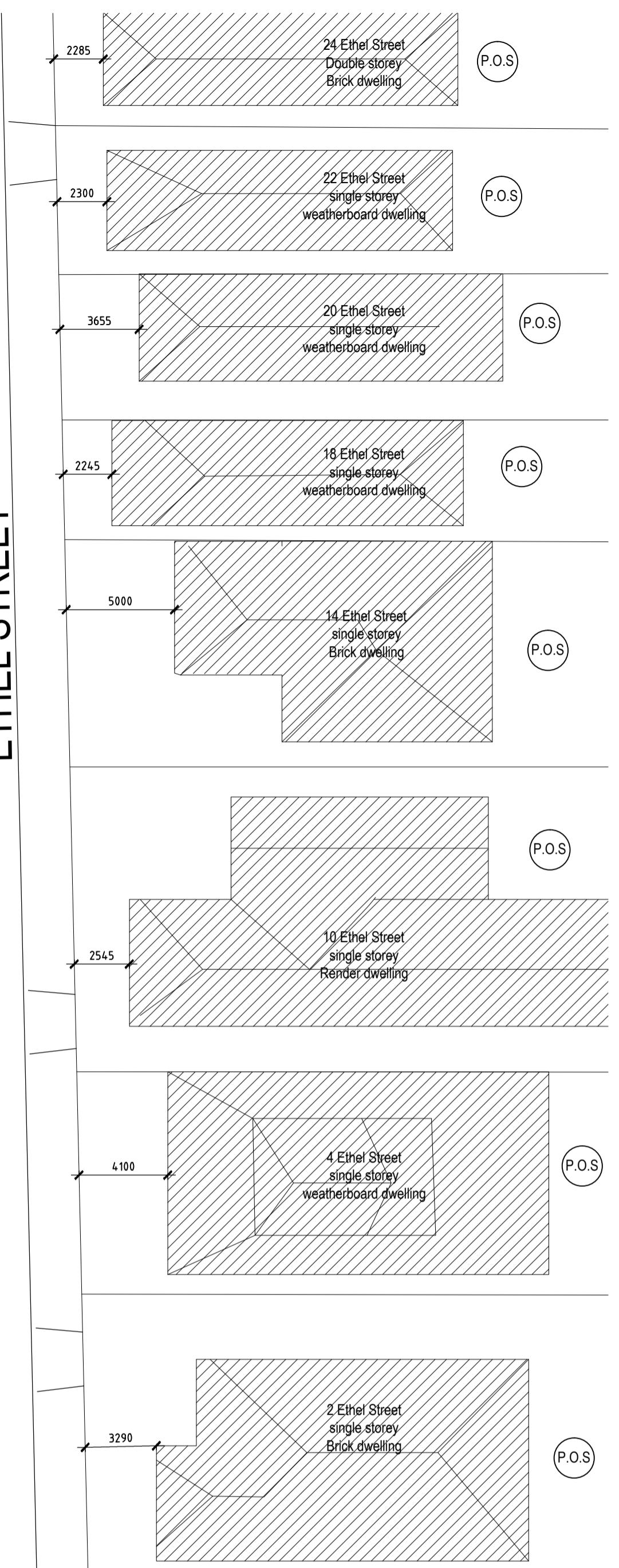
DP TOSCANO ARCHITECTS Pty Ltd.  
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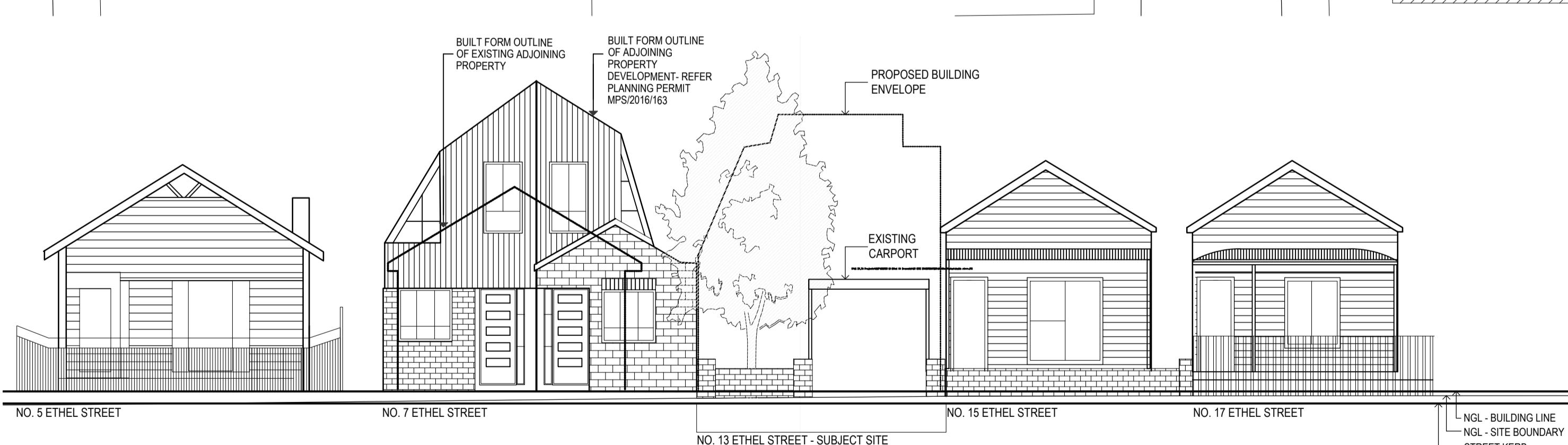
DEAKIN STREET



LEGEND

- Existing Surrounding Properties
- Secluded Private Open space
- Existing Property Structure
- Proposed Site

Note:  
Refer to Design Response 2 drawing sheet TP12.2  
for further Design Response assessment



### East Elevation - Existing Streetscape Elevation

NOTE: Elevation Scale 1:100 at A1

New Residence

13 Ethel Street, Brunswick East

SCALE 1:200  
DATE DATE

Project No [2]1705  
Dwg: TP12.2

#### AMENDMENTS

Rev	By	Date	Description
B	BC	23.04.18	Revise extent of existing conditions
C	BC	07.06.18	Revise extent of existing conditions

#### NOTES

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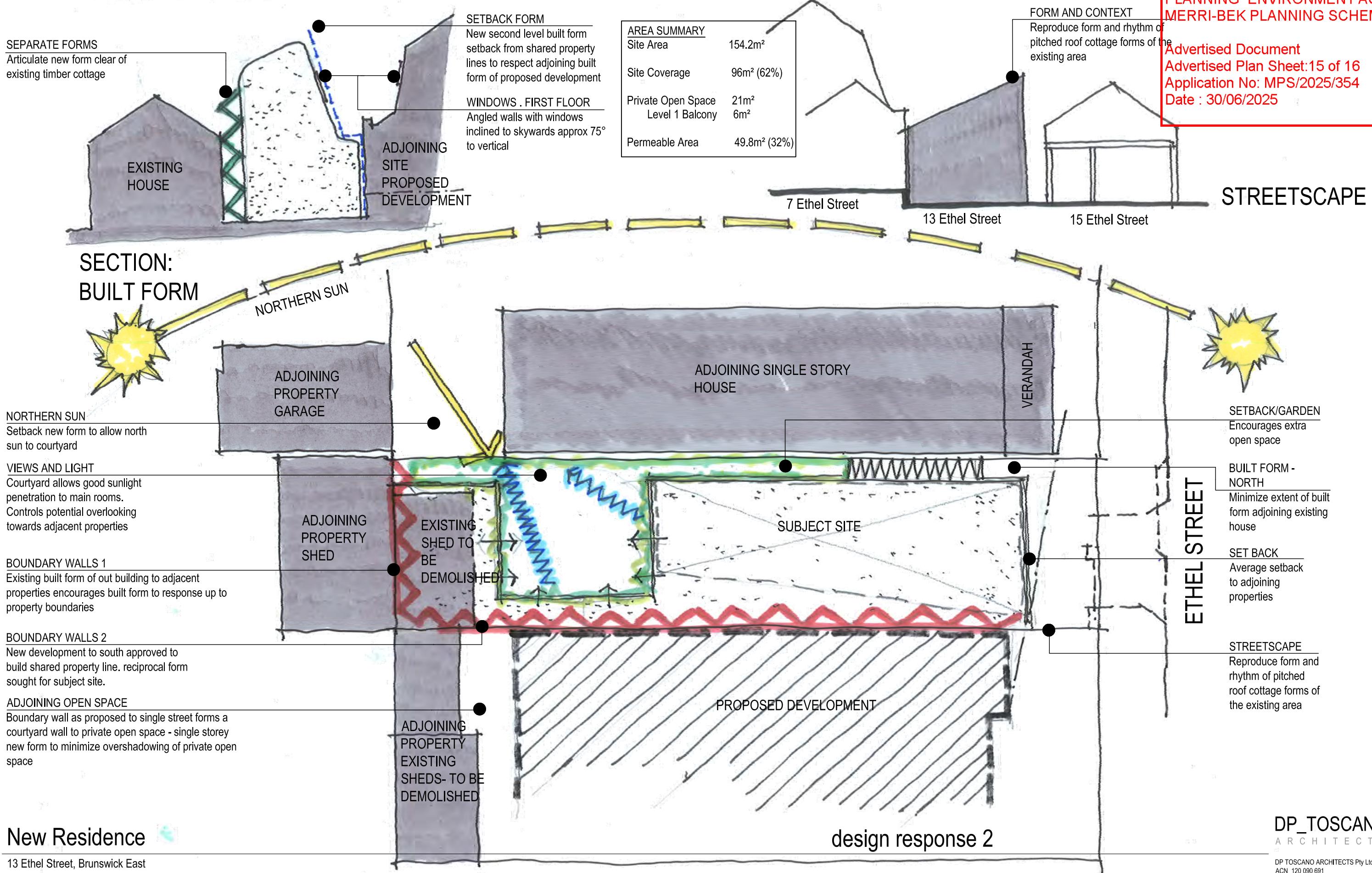
### Design Response 1

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Advertised Document  
Advertised Plan Sheet: 15 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025



New Residence

13 Ethel Street, Brunswick East

SCALE 1:125  
DATE May\_2018

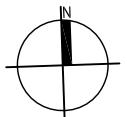
Project No [2]1705  
Dwg: TP14

AMENDMENTS			
Rev	By	Date	Description
A	BC	15.05.18	Amendment for Council

**NOTES**  
Check and verify all dimensions prior to commencement of work. This drawing shall be read in conjunction with all other contract documents including those by other consultants, and including specifications. Seek clarification of inconsistencies / conflicts. Figured dimensions shall take precedence to scaled dimensions.

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**NOTES**  
This permit application, Inclusive of plans, elevations, sections, site analysis, shadow diagrams has been prepared generally in accordance with the applicable requirements of Clause 54 or Clause 55 of the planning scheme and is submitted and assessed relative to the specific requirements of Clause 54 or Clause 55.



DP\_TOSCANO  
A R C H I T E C T S

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# LANDSCAPE CONCEPT PLAN.

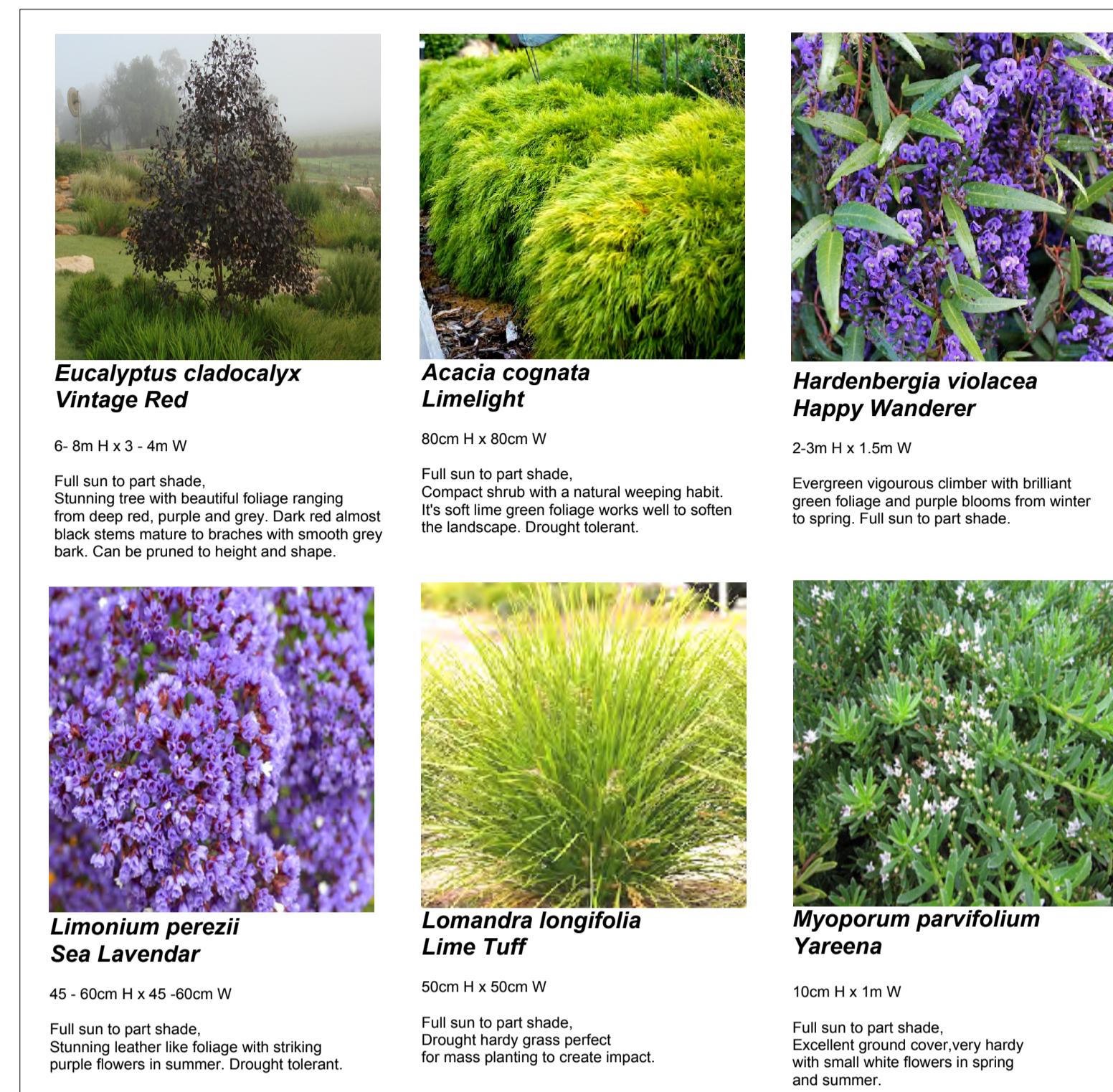
# LANDSCAPE SURFACES KEY

Permeable, decorative rock / gravel surface.  
Rock / gravel surface to be consolidated.

Permeable pavers installed as  
per manufacturer's guidelines surface.  
Colour: Finish to be in a neutral tone.

400mm x 400mm stone pavers set into a  
permeable, decorative rock / gravel surface.  
Rock / gravel surface to be consolidated.

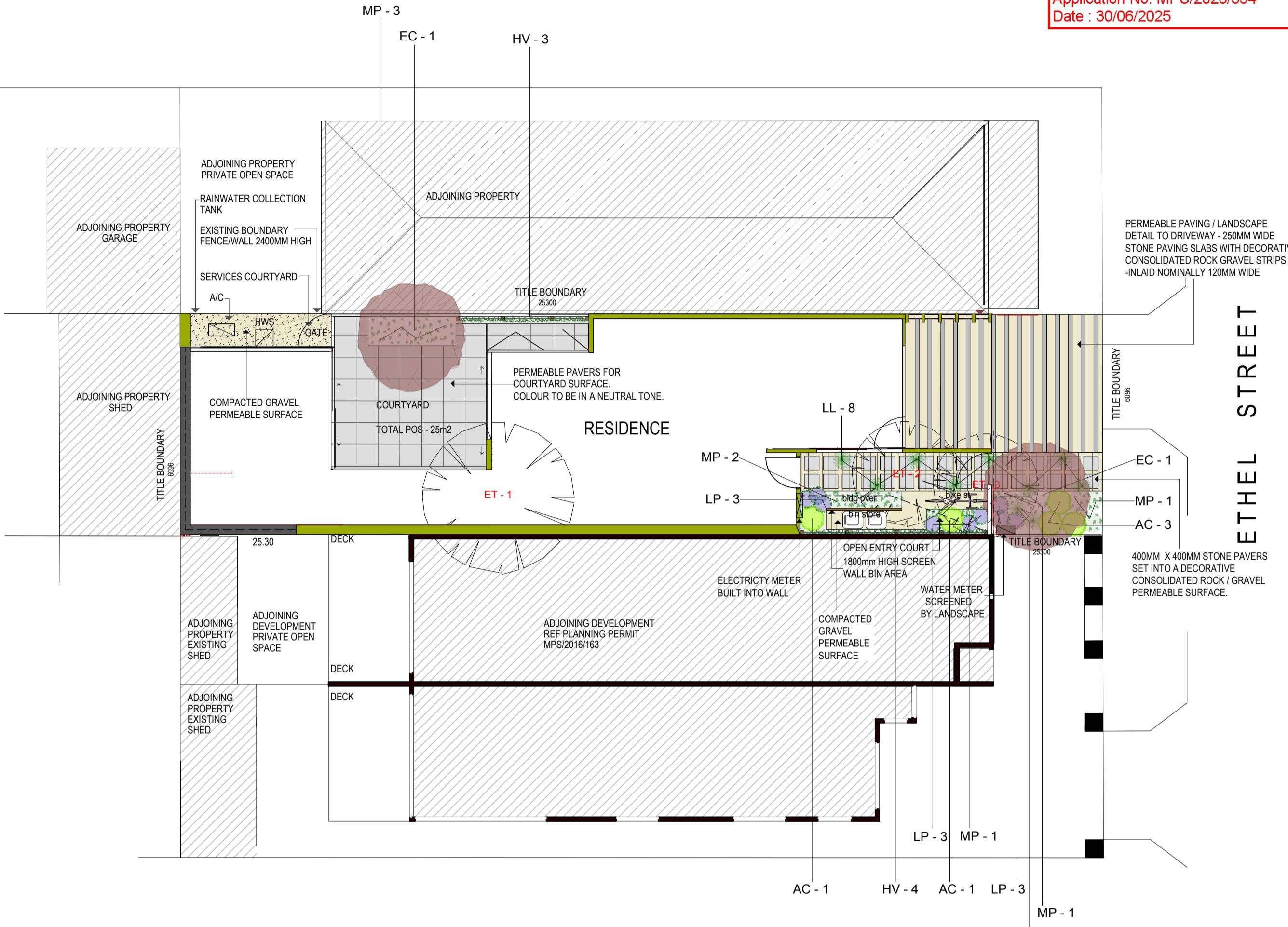
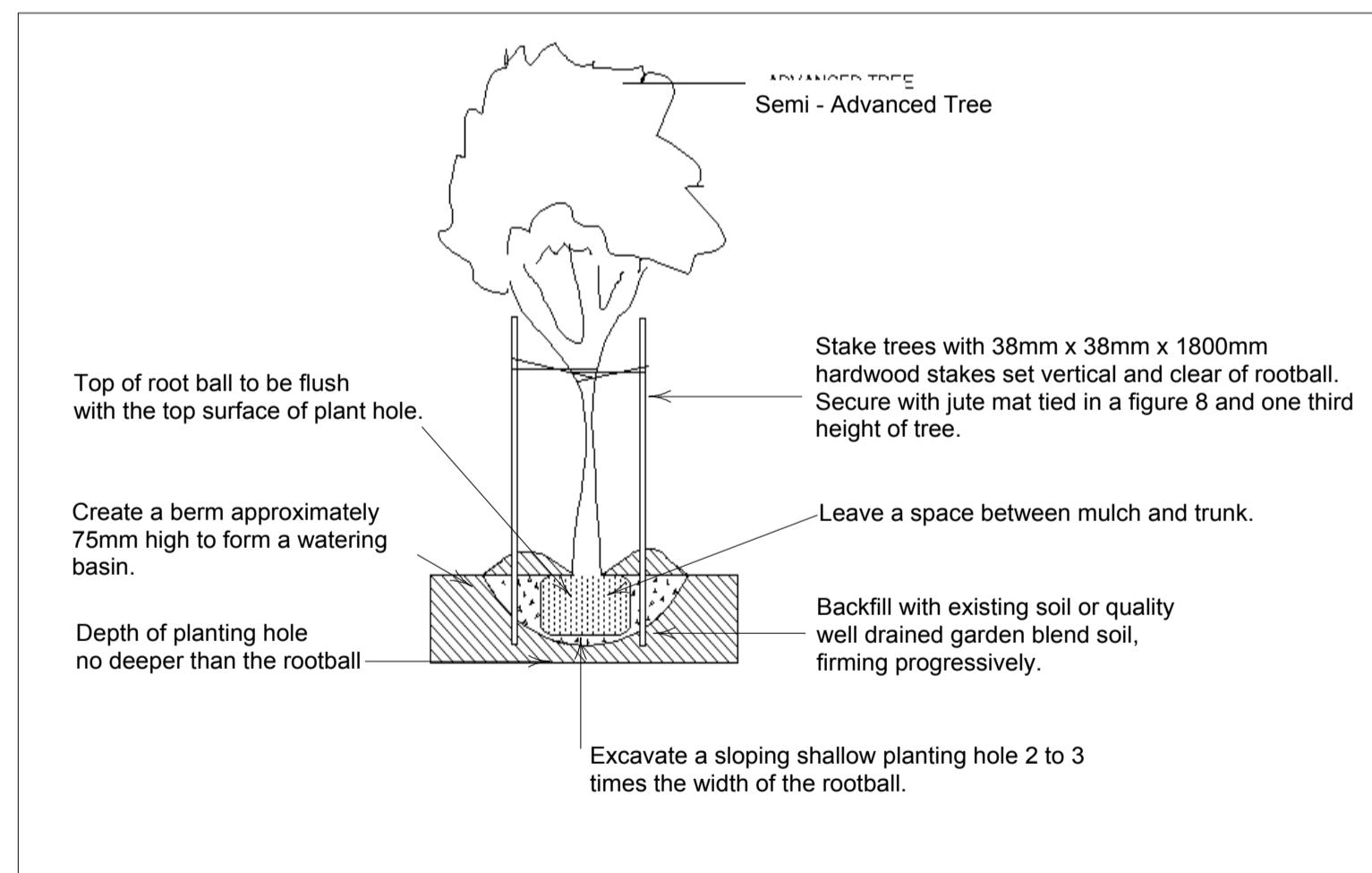
Permeable paving - 250mm wide stone paving  
slabs with decorative consolidated rock gravel  
strips inlaid nominally at 120mm wide.



**TREE TO BE REMOVED DETAIL.**

Denotes existing trees to be removed.

<b>Plant List</b>					
<b>Code</b>	<b>Botanical Name</b>	<b>Common Name</b>	<b>Qty</b>	<b>Pot Size</b>	<b>H x W at Maturity</b>
<b>TREES and SHRUBS</b>					
EC	Eucalyptus cladocalyx	Vintage Red (To be 2m high at planting)	2	50CM	6-8M x 3-4M
AC	Acacia cognata	Limelight	5	20CM	80CM x 80CM
<b>GRASSES, STRAPPY LEAF and GROUND COVERS</b>					
LL	Lomandra longifoila	Lime Tuff	10	14CM	50CM x 50CM
LP	Limonium perezii	Sea Lavendar		14CM	45 - 60CM x 45-60CM
MP	Myoporum parvifolium	Yareena	8	14CM	10CM x 1M
<b>CLIMBING PLANTS</b>					
HV	Hardenbergia violacea	Happy Wanderer	7	14CM	2-3M x 1.5M
<b>TREES TO BE REMOVED</b>					
ET1	Citrus limon	Lemon Tree	1		
ET2	Syzygium species	Lilly Pilly species	1		
ET3	Acer palmatum	Japanese Maple	1		



## PLANTING, IRRIGATION AND GARDEN BED DETAILS

## Planting

**Planting** Plant pot sizes were current at time of print. Plant stock to be true to botanical type with particular emphasis on correct cultivar, sub species and variety, to be non root bound in container and free of structural defect and disease.

All plantings to be fertilized with sea mungus and a quality slow release pellet, water new plantings in well and apply a dose of Seasol at the recommended rates. Stake trees with 2 x hardwood stakes and jute mate tie. All plantings subject to seasonal availability.

## Irrigation

**Irrigation**  
It is recommended that an automated irrigation system be installed using 2 litre per hour drip tube at 300mm spacing's for garden bed areas in accordance with the property water flow rate. System should be fitted with a rain sensor and back flow prevention. Mains connection and backflow prevention to be installed by a licensed plumber. Contractor to choose a suitable location for controller and valve boxes and to ensure provisional access under structures or surfaces are installed for later access at installation stage.

## Garden Bed Preparation

All garden bed areas to be cultivated to a minimum depth of 300mm and improved through the addition of a quality aged organic compost. Premium organic garden blend soil to be used if any imported soil is required. Cover beds with a 50mm - 70mm layer of quality organic mulch.

# ANTHONY SCOTT LANDSCAPE DESIGN

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DP TOSCANO ARCHITECTS

**RE: SITE ADDRESS  
13 ETHEL STREET,  
BRUNSWICK EAST 3057**

## LANDSCAPE CONCERT PLAN

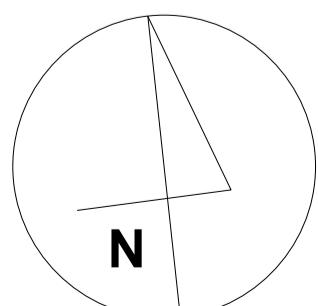
PAGE 1 OF 1

DOCUMENT: LCP - 01

DATE: REV SEP 2020

DRAWN BY A & B SCOTT

SCALE : 1:100 @ A1



This Drawing is the property of Anthony Scott Landscape Design and may only be used once final payment is made. It should be noted that this is a concept plan only and not working drawings. It is the responsibility of the contractor to specify construction methods to client. All measurements and heights should be checked prior to quotation. All structures including but not limited to pavements, pergolas, retaining walls etc. may require engineer's and council approval prior to commencement of works. It is the responsibility of the contractor to ensure the appropriate drainage is installed, this includes all drainage onsite.