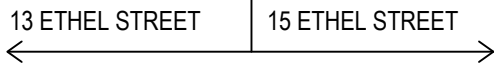


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## PROPOSED DEVELOPMENT



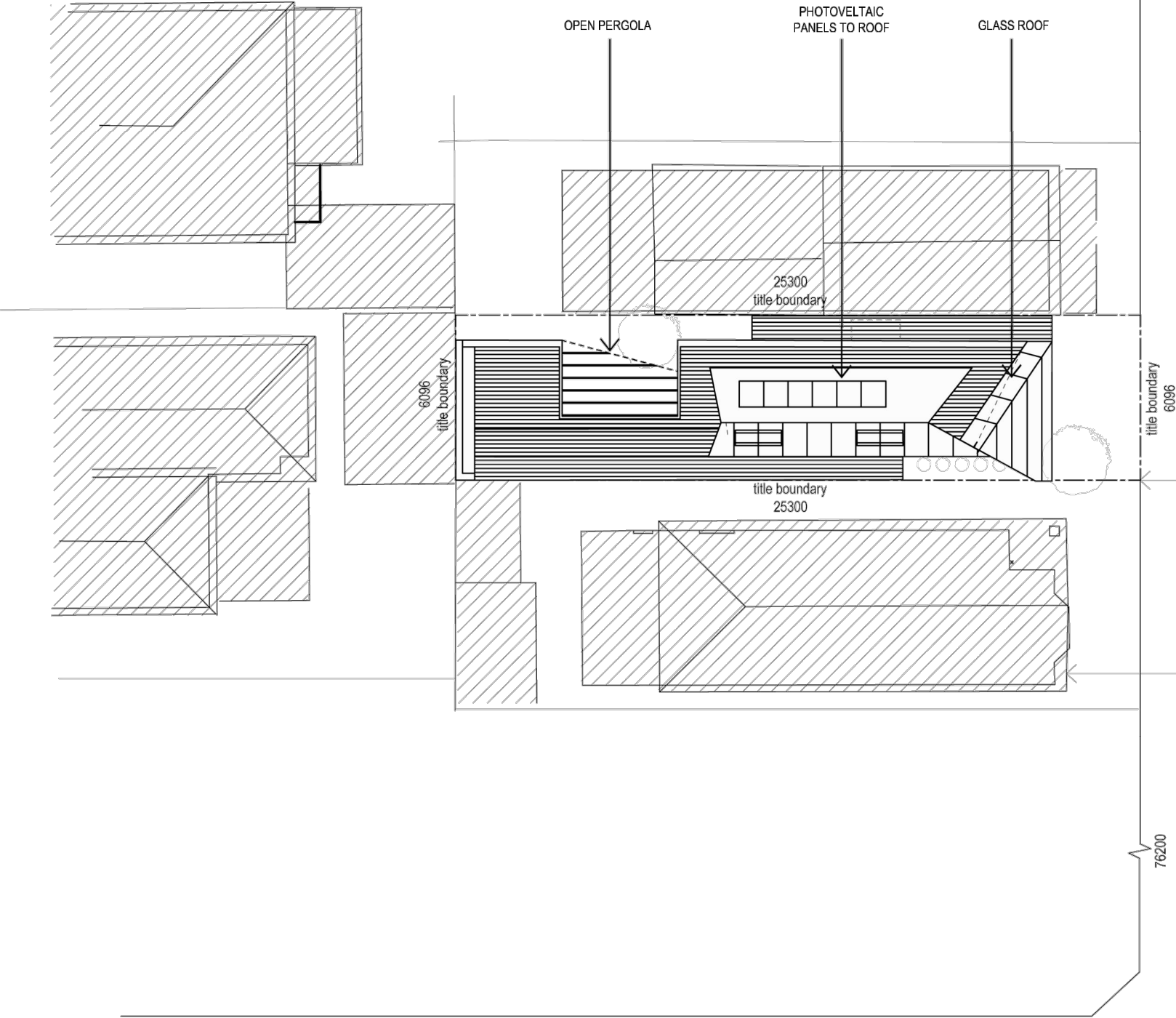
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LORD STREET

NOTE:  
REFER TO DRAWING SHEET  
TP10 TP11 TP13 TP14 FOR SITE  
ANALYSIS AND DESIGN RESPONSE

PLANNING ENVIRONMENT ACT 1987  
MERRI-BEK PLANNING SCHEME

Advertised Document  
Advertised Plan Sheet:2 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025



New Residence

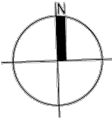
13 Ethel Street, Brunswick East

SCALE 1:200  
DATE May\_2018  
Project No [2]1705  
Dwg: TP01 Rev D

AMENDMENTS			
Rev	By	Date	Description
A	BC	05.18	AMENDMENT FOR COUNCIL
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement

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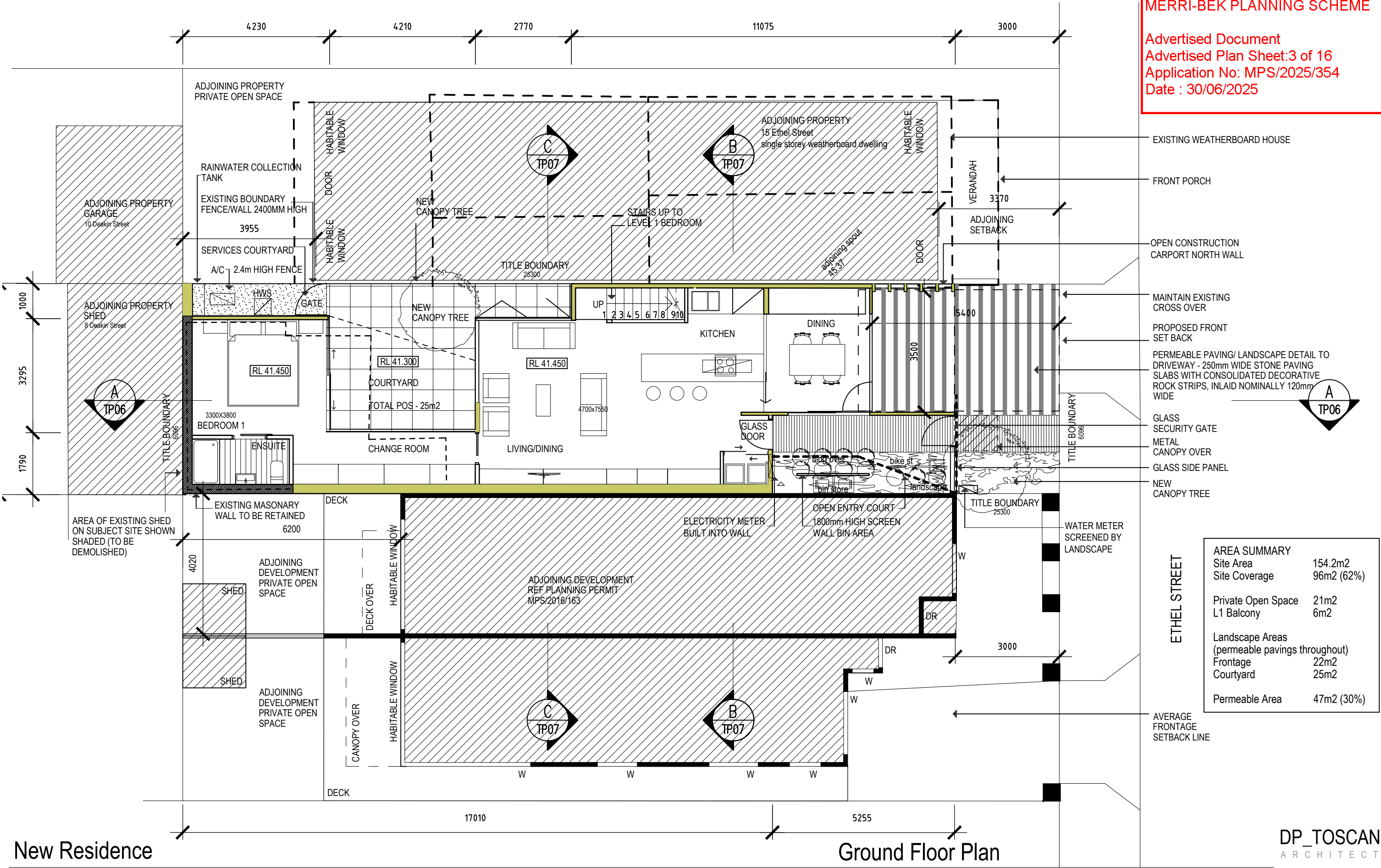
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ACN 120 090 691

126 CROMWELL STREET  
COLLINGWOOD VIC 3066  
T: 03 9419 8366  
F: 03 9419 8344  
E: info@dp toscano architects.com



New Residence

13 Ethel Street, Brunswick East

SCALE 1:100  
DATE May\_2018  
Project No [2]1705  
Dwg: TP02 Rev D

AMENDMENTS			
Rev	By	Date	Description
A	EF	15.05.18	Amendment for Council
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement Issue

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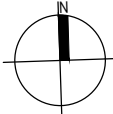
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T: 03 9419 8366  
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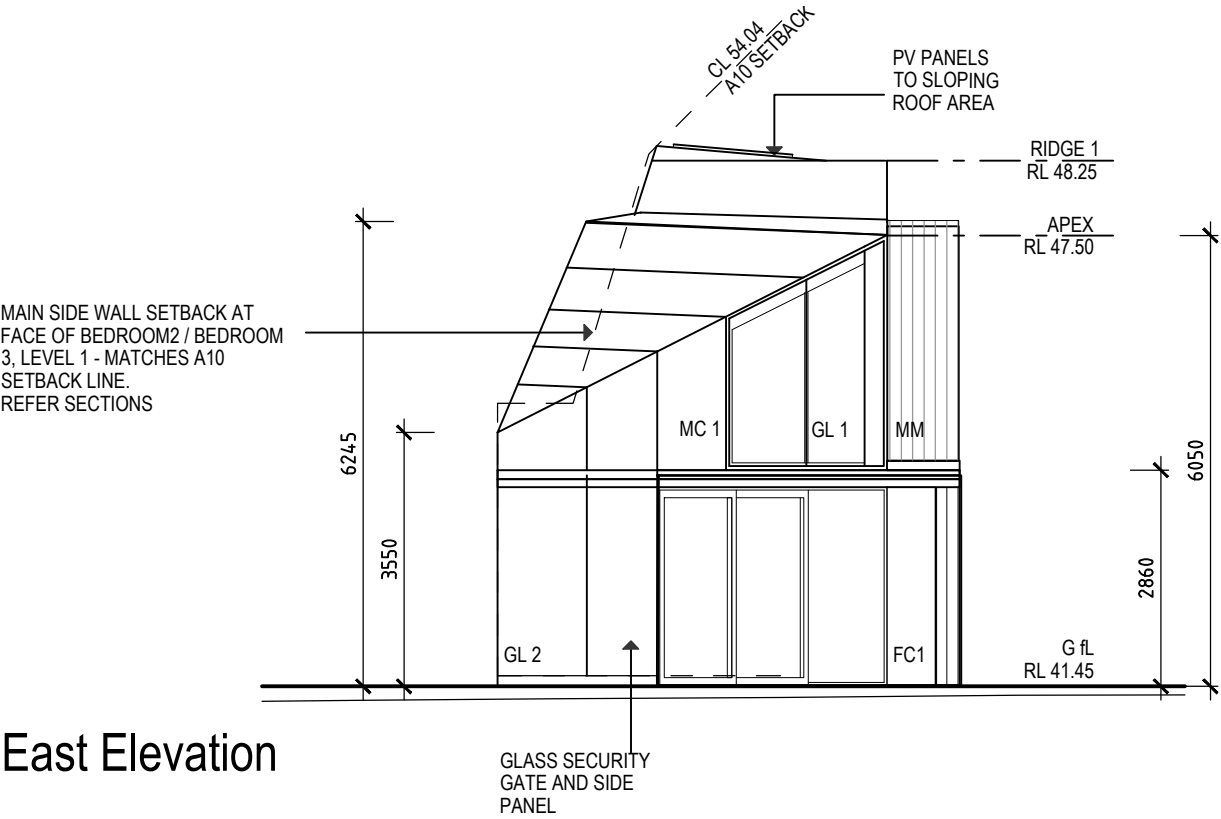








Advertised Document  
Advertised Plan Sheet:5 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025



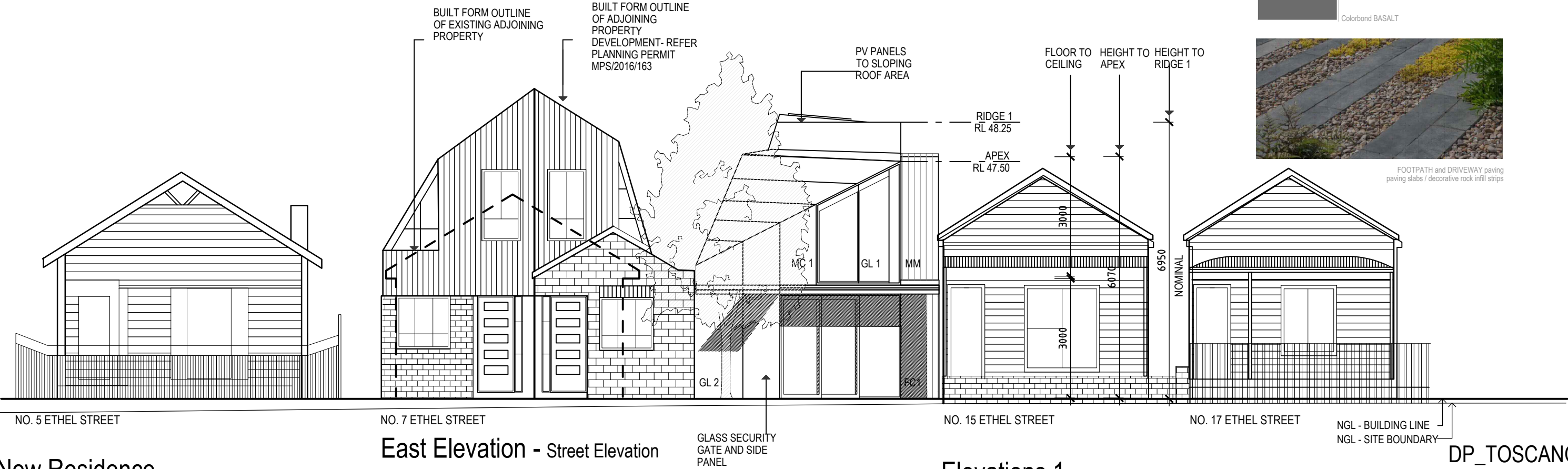
East Elevation

SCHEDULE OF EXTERNAL FINISHES

MC1- Metal cladding 1 Colourbond metal cladding SURFMIST		BL- Blocks Natural Concrete Blocks cement grey	
SP - Speed Panel Powder coated colour Colorbond BASALT, Matt		GL 1- Glass Clear Glass	
MM- Metal Mesh Powder coated colour Colorbond SURFMIST (metal screens generally incl. pergola roof screen)		GL 2- Glass Grey Glass	
FC1- Fibre cement sheet 1 Fibre cement sheet painted to match Colorbond SURFMIST semi gloss finish		R- Roof Colourbond Steel SURFMIST	



FOOTPATH and DRIVEWAY paving  
paving slabs / decorative rock infill strips



East Elevation - Street Elevation

Elevations 1

New Residence

13 Ethel Street, Brunswick East

SCALE 1:100  
DATE May\_2018

Project No [2]1705  
Dwg: TP04.1 Rev D

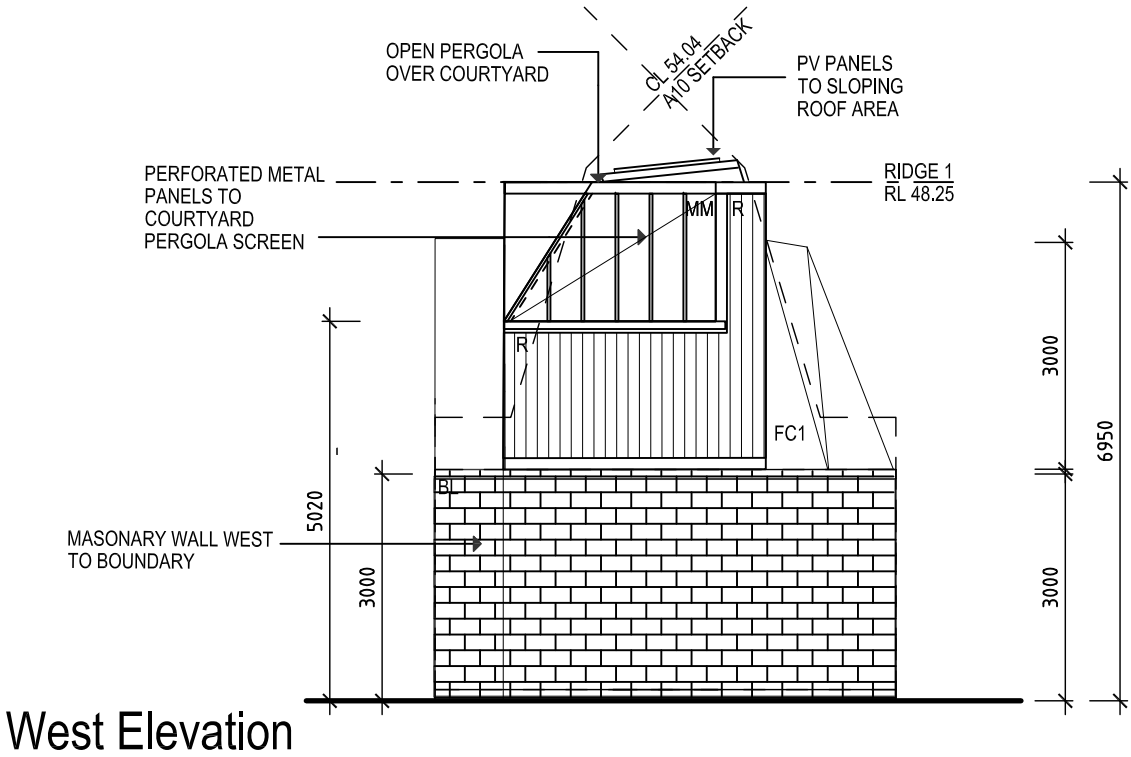
AMENDMENTS			
Rev	By	Date	Description
A	BC	05.18	AMENDMENT FOR COUNCIL
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement Issue

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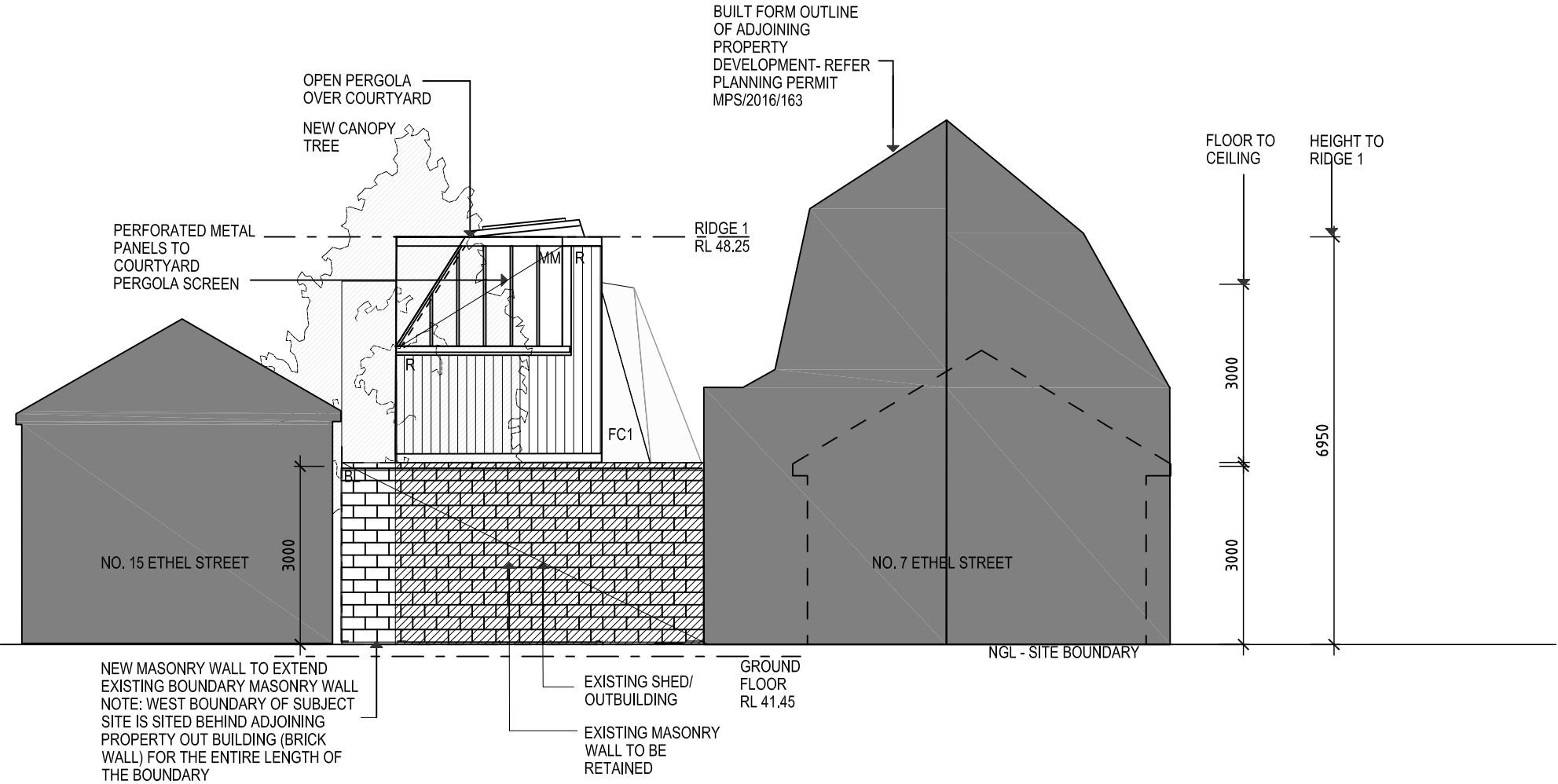
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ACN 120 090 691  
  
126 CROMWELL STREET  
COLLINGWOOD VIC 3066  
T: 03 9419 8366  
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E: info@dptoscanoarchitects.com



West Elevation



West Elevation  
site context

New Residence

13 Ethel Street, Brunswick East

SCALE 1:100  
DATE May\_2018

Project No [2]1705  
Dwg: TP04.2 Rev D

AMENDMENTS			
Rev	By	Date	Description
A	BC	05.18	AMENDMENT FOR COUNCIL
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
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Elevations 2

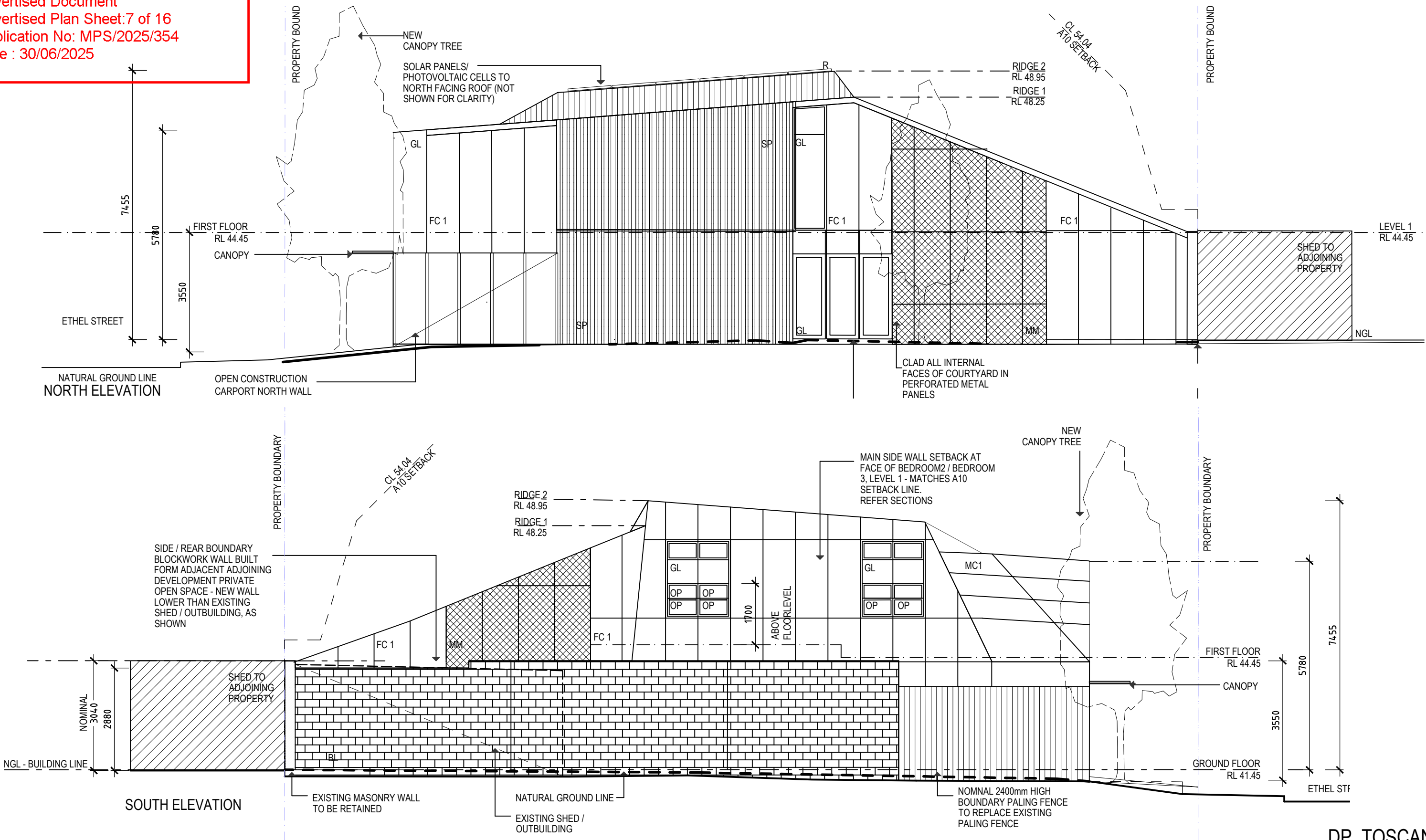
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ACN 120 090 691

126 CROMWELL STREET  
COLLINGWOOD VIC 3066  
T: 03 9419 8366  
F: 03 9419 8344  
E: info@dp toscano architects.com



Advertised Document  
Advertised Plan Sheet:7 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025



New Residence

13 Ethel Street, Brunswick East

SCALE 1:100  
DATE May\_2018

Project No [2]1705  
Dwg: TP05 Rev D

AMENDMENTS			
Rev	By	Date	Description
A	EF	15.05.18	Amendment for Council
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
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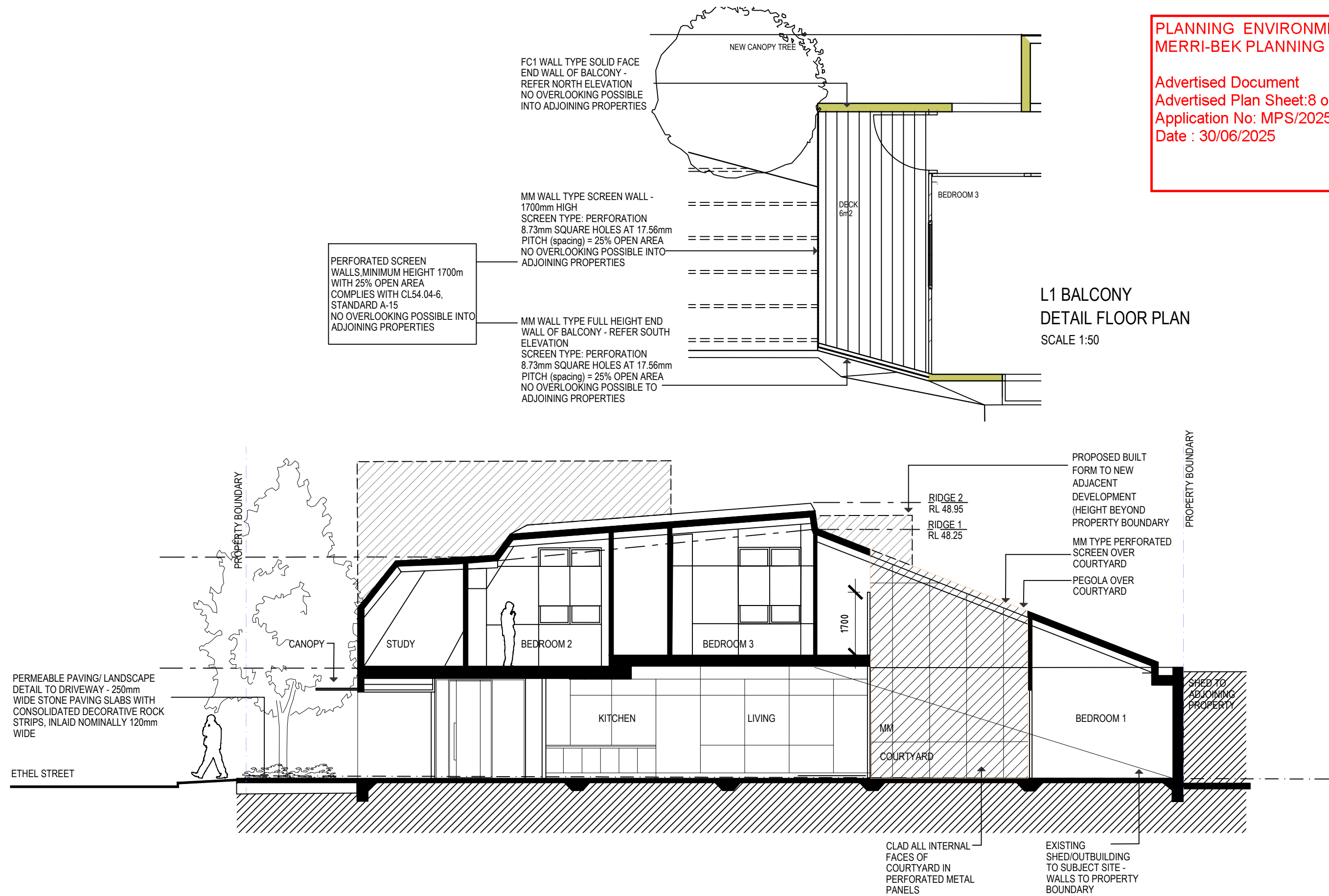
Elevations 3

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ACN 120 090 691  
  
126 CROMWELL STREET  
COLLINGWOOD VIC 3066  
T: 03 9419 8366  
F: 03 9419 8344  
E: info@dptoscanoarchitects.com

PLANNING ENVIRONMENT ACT 1987  
MERRI-BEK PLANNING SCHEME

Advertised Document  
Advertised Plan Sheet:8 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025



New Residence

13 Ethel Street, Brunswick East

SCALE 1:100  
DATE May\_2018  
Project No [2]1705  
Dwg: TP06 Rev D

AMENDMENTS			
Rev	By	Date	Description
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement Issue

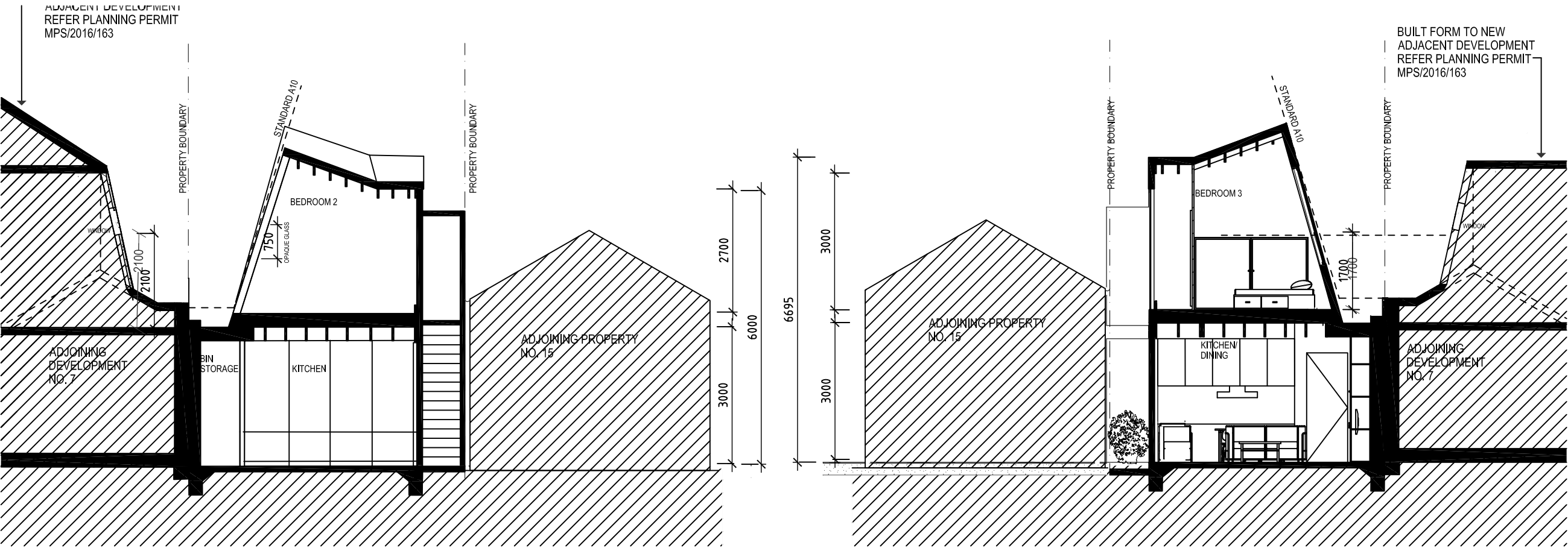
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ACN 120 090 691  
  
126 CROMWELL STREET  
COLLINGWOOD VIC 3066  
T: 03 9419 8366  
F: 03 9419 8344  
E: info@dp toscano architects.com





New Residence

13 Ethel Street, Brunswick East

SCALE 1:100  
DATE May\_2018

Project No [2]1705  
Dwg: TP07 Rev D

AMENDMENTS			
Rev	By	Date	Description
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement Issue

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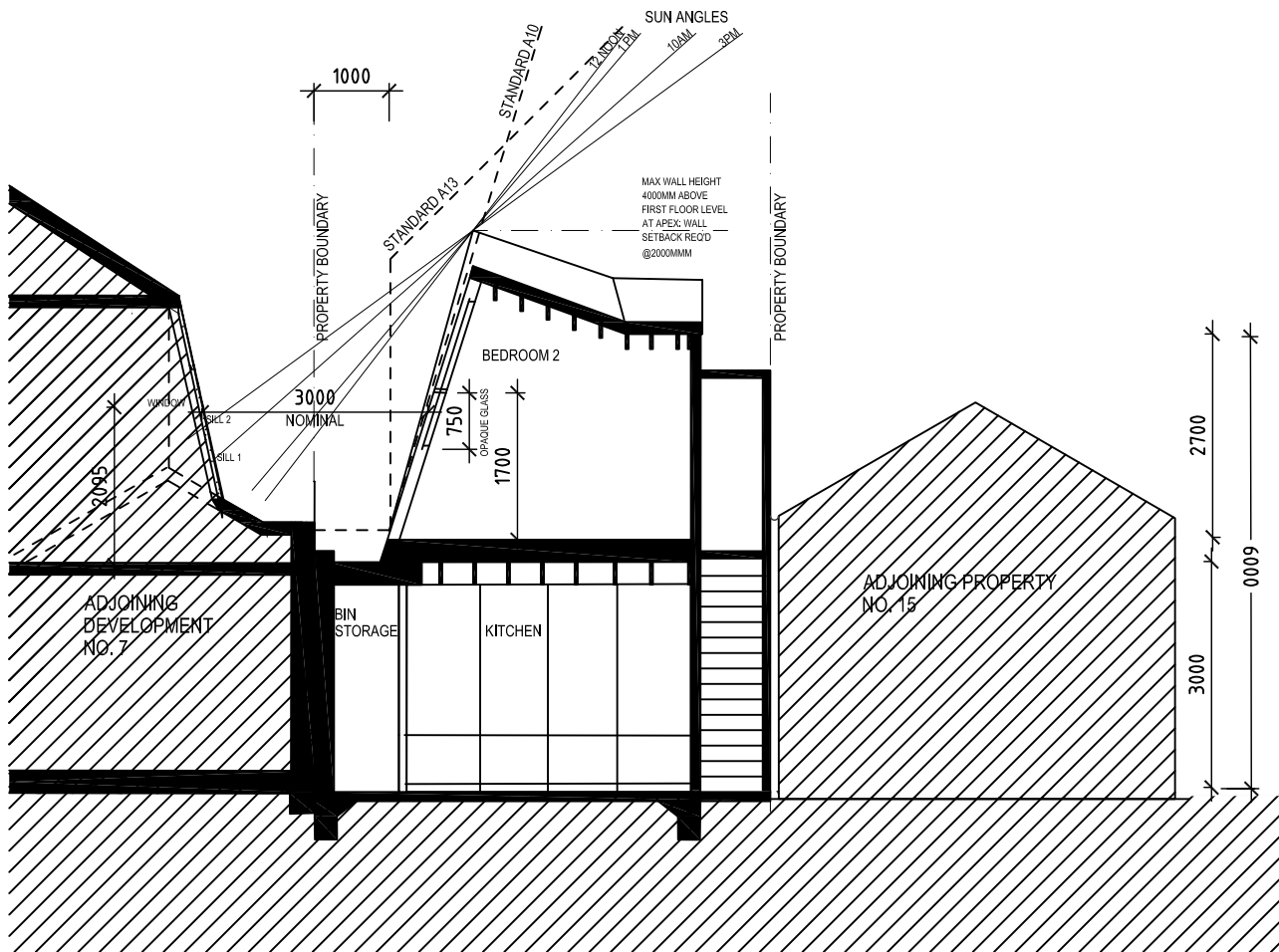
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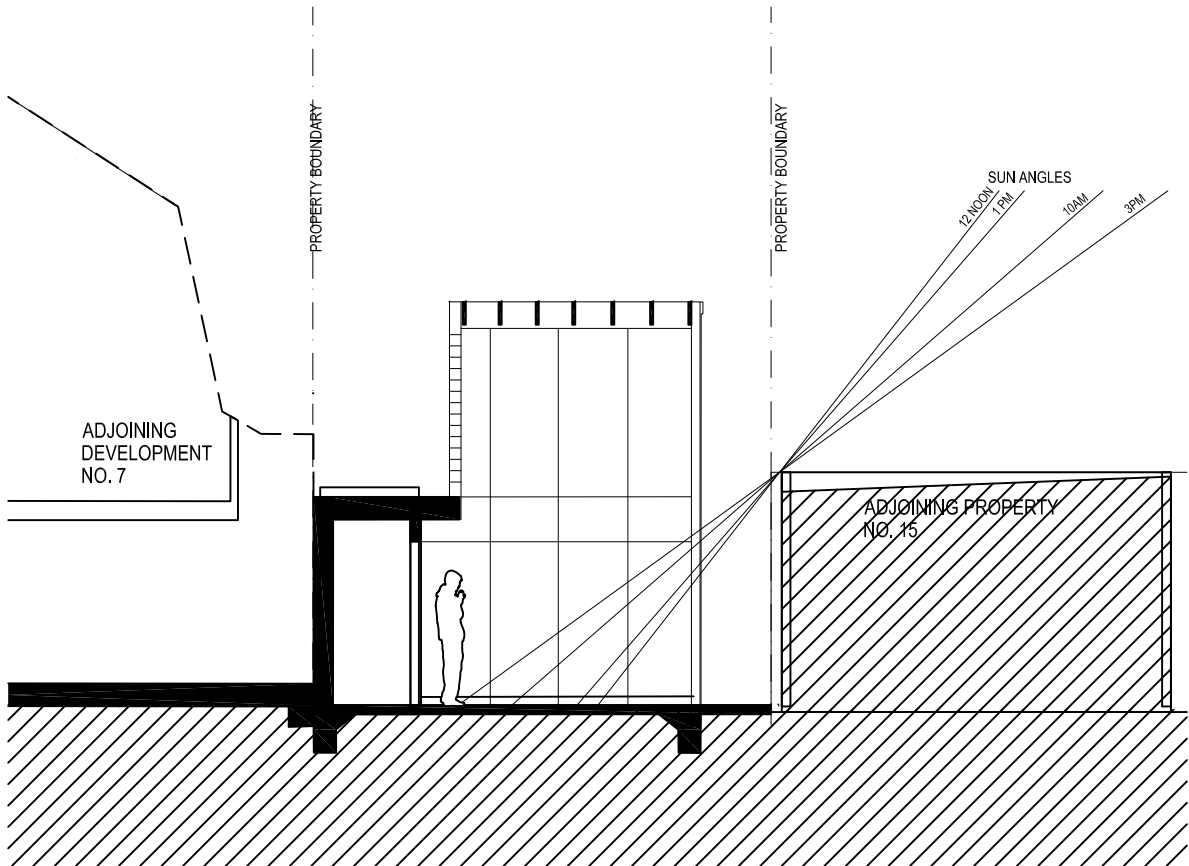
Sections 2

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T: 03 9419 8366  
F: 03 9419 8344  
E: info@dp toscano architects.com



Property boundary offset diagram



Sun penetration analysis diagram

New Residence

13 Ethel Street, Brunswick East

SCALE 1:100  
DATE May\_2018  
Project No [2]1705  
Dwg: TP08 Rev D

AMENDMENTS			
Rev	By	Date	Description
B	jt	27.11.18	Revised submission - increased frontage setback
C	jt	30.1.19	Revised Town Planning Issue
D		7.9.20	Town Planning Endorsement Issue

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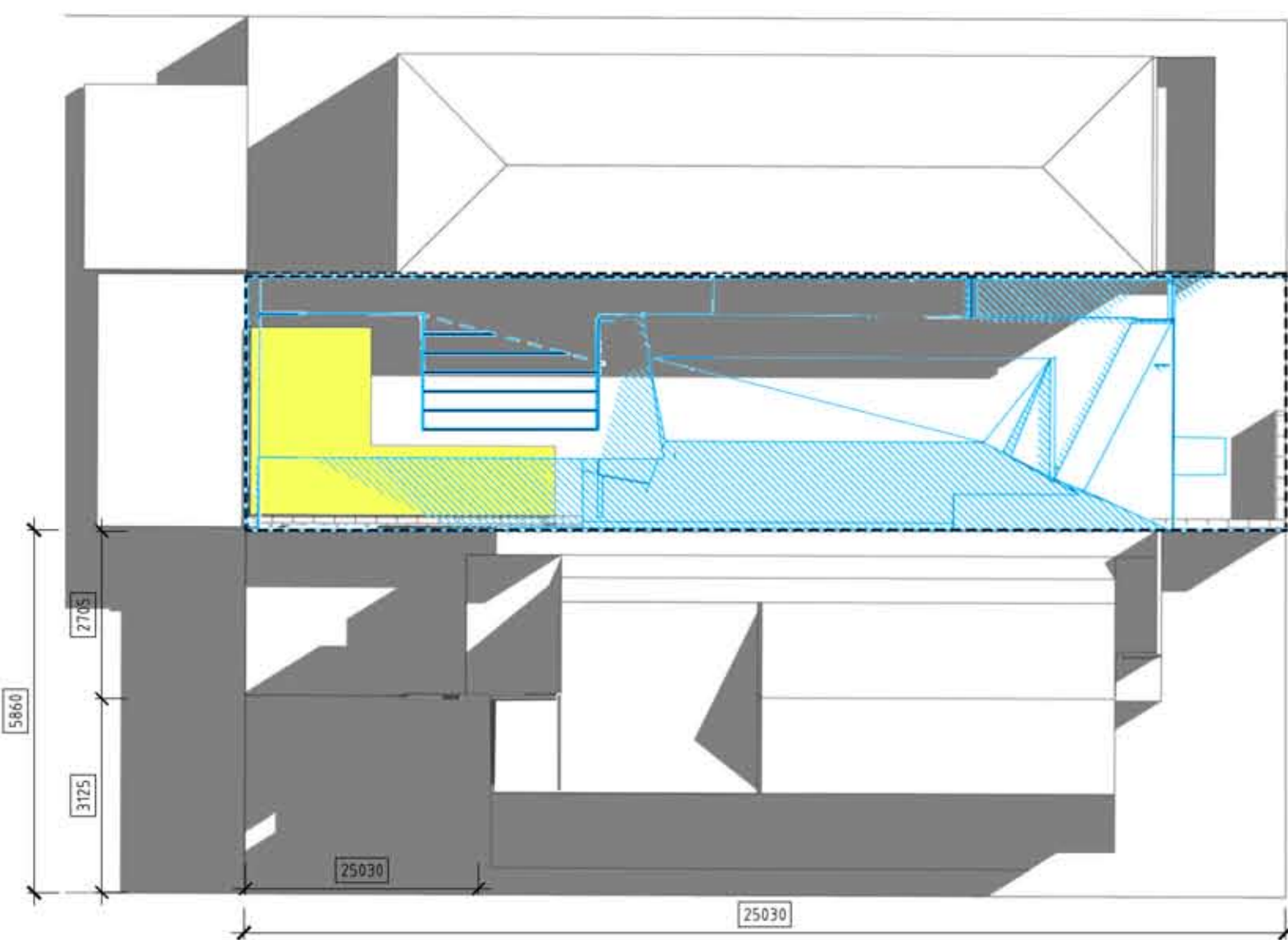
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Analytical Drawings

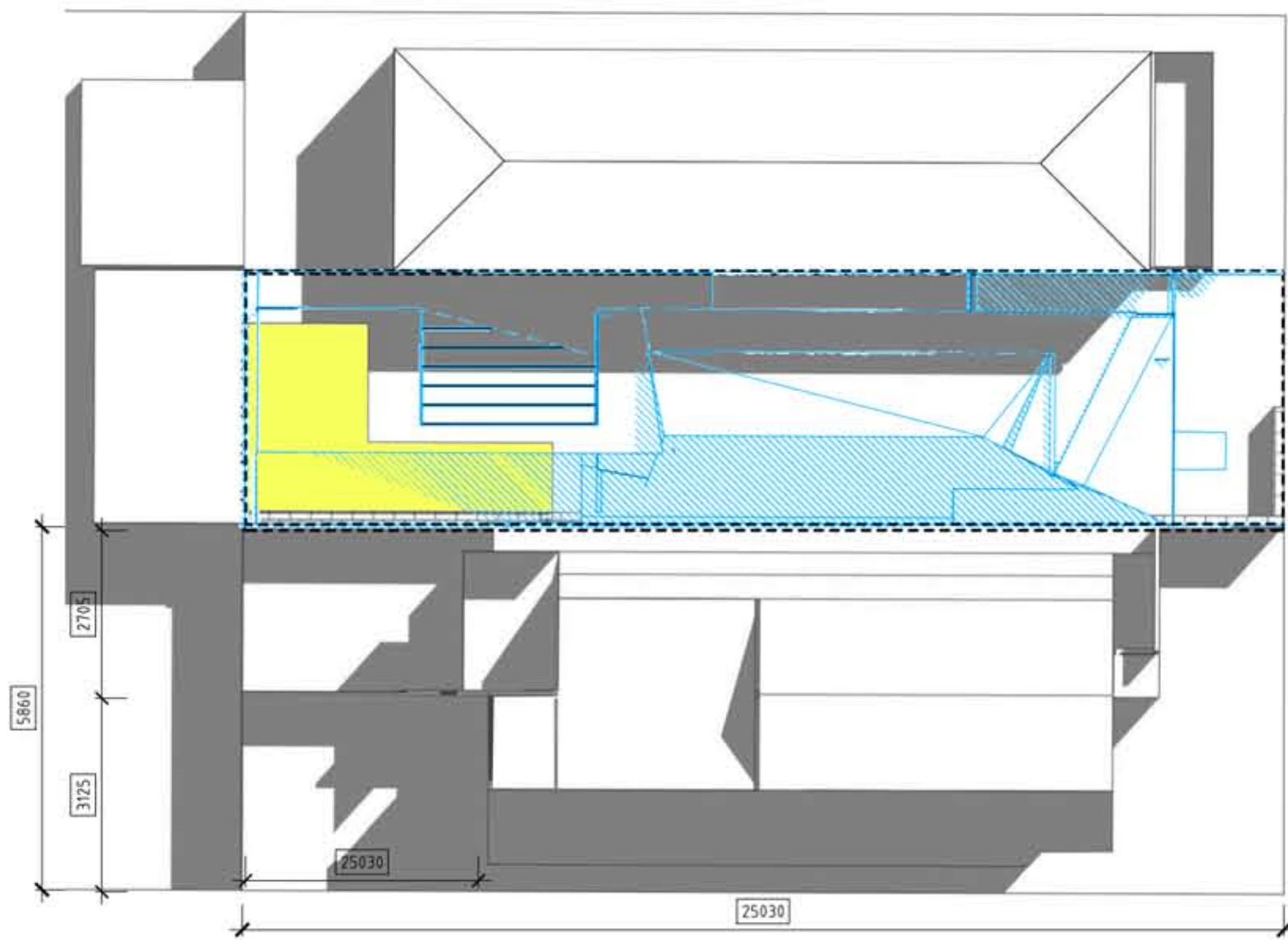
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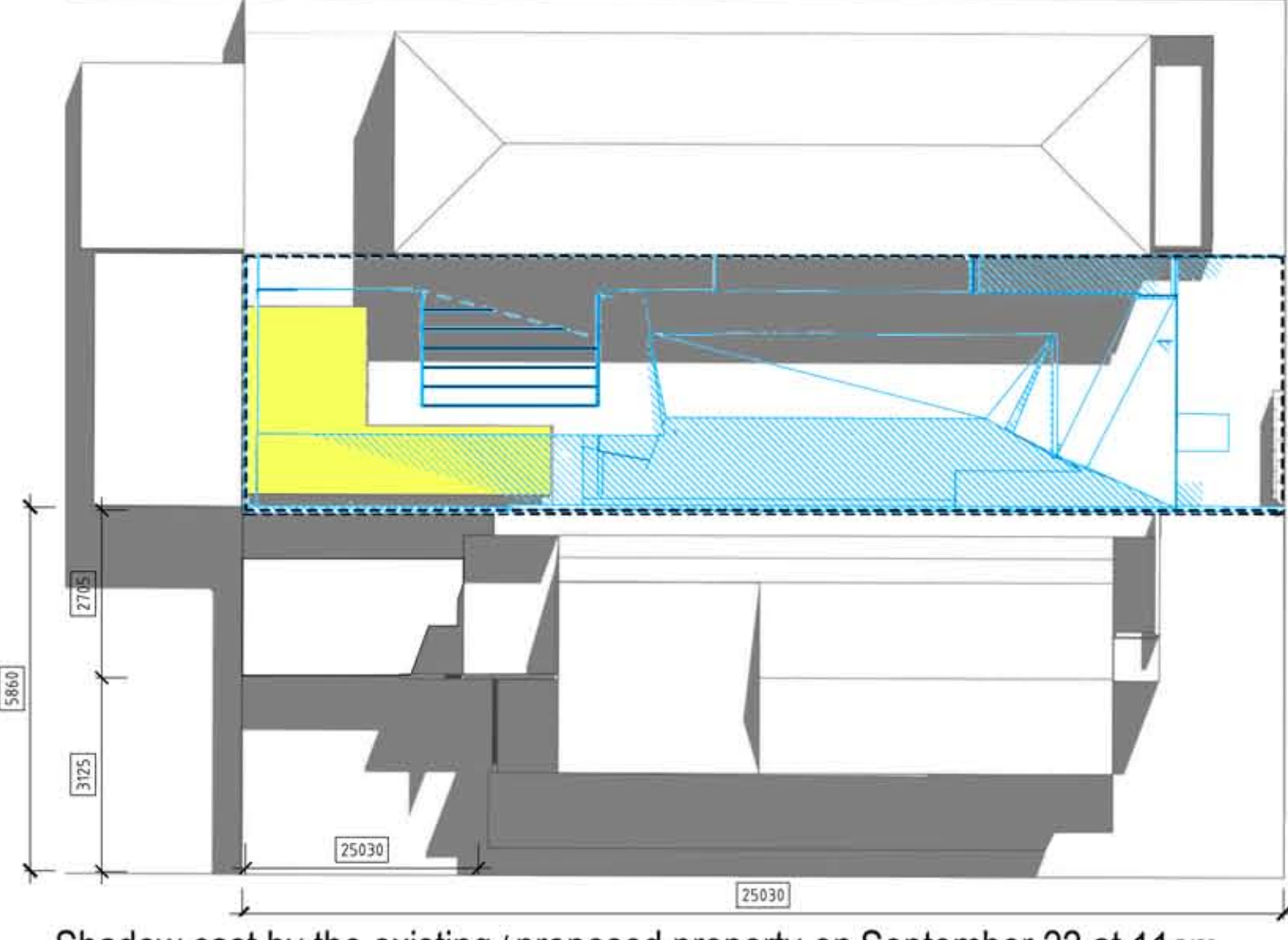




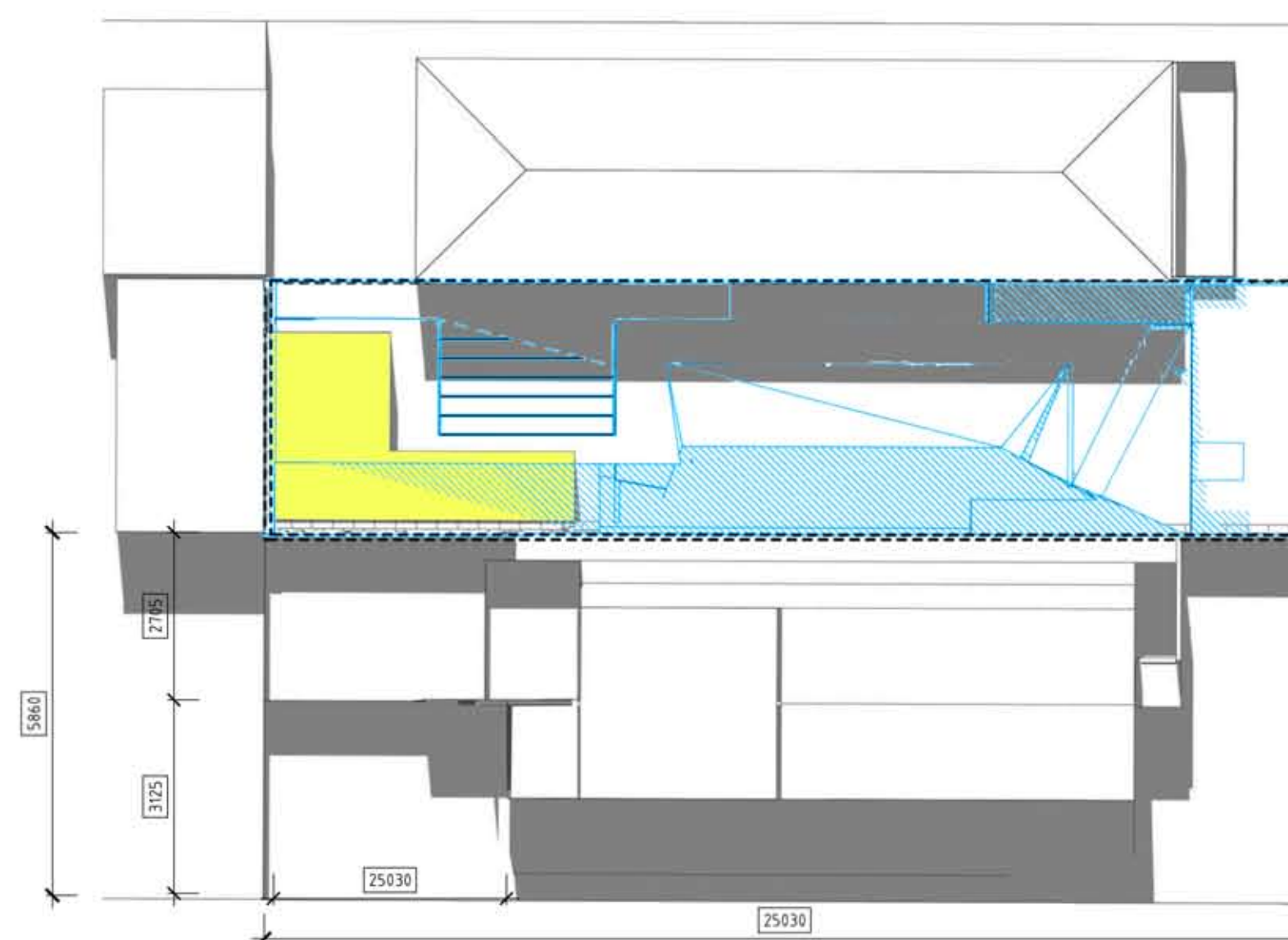
Shadow cast by the existing / proposed property on September 22 at 9am



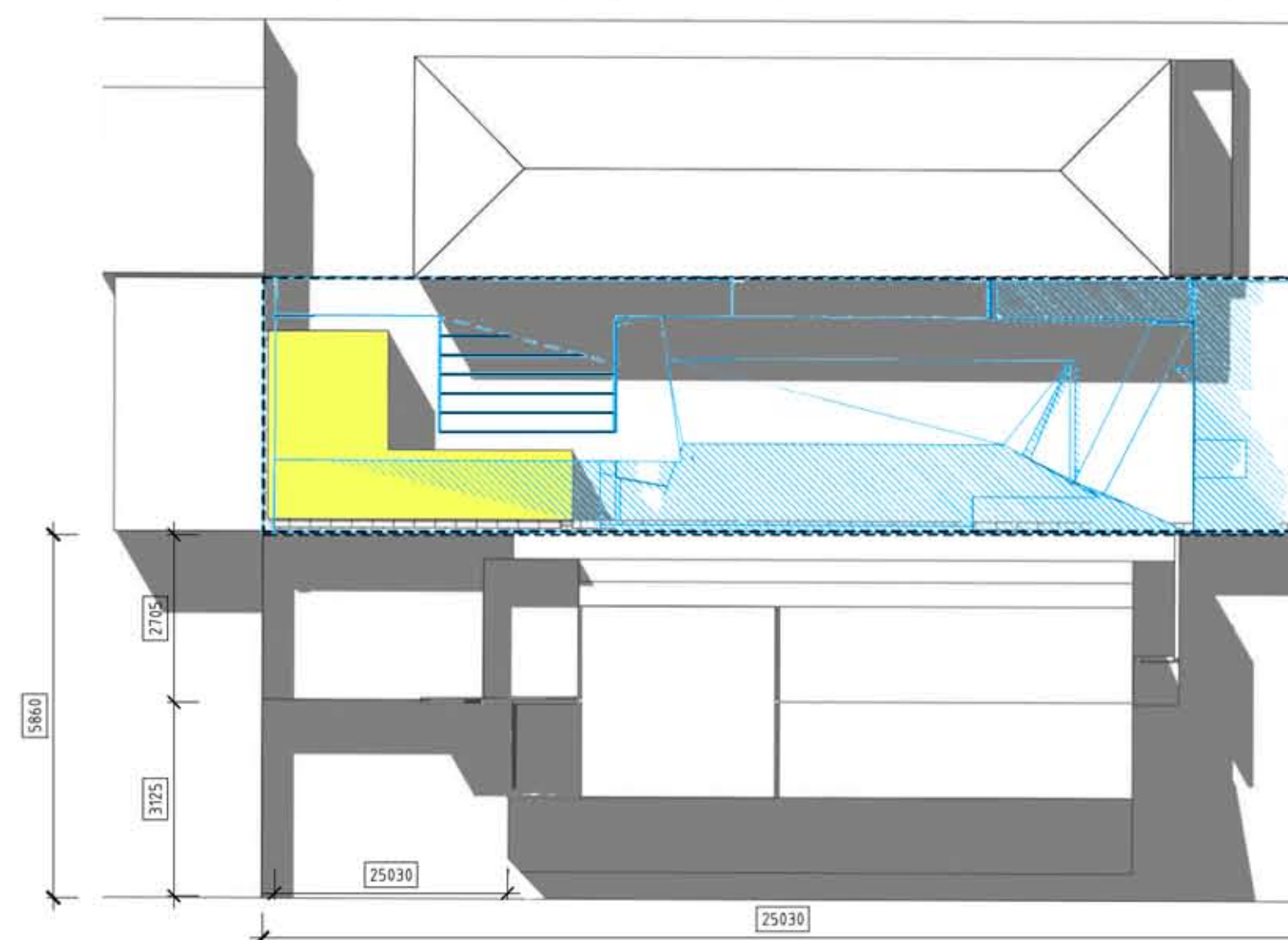
Shadow cast by the existing / proposed property on September 22 at 10am



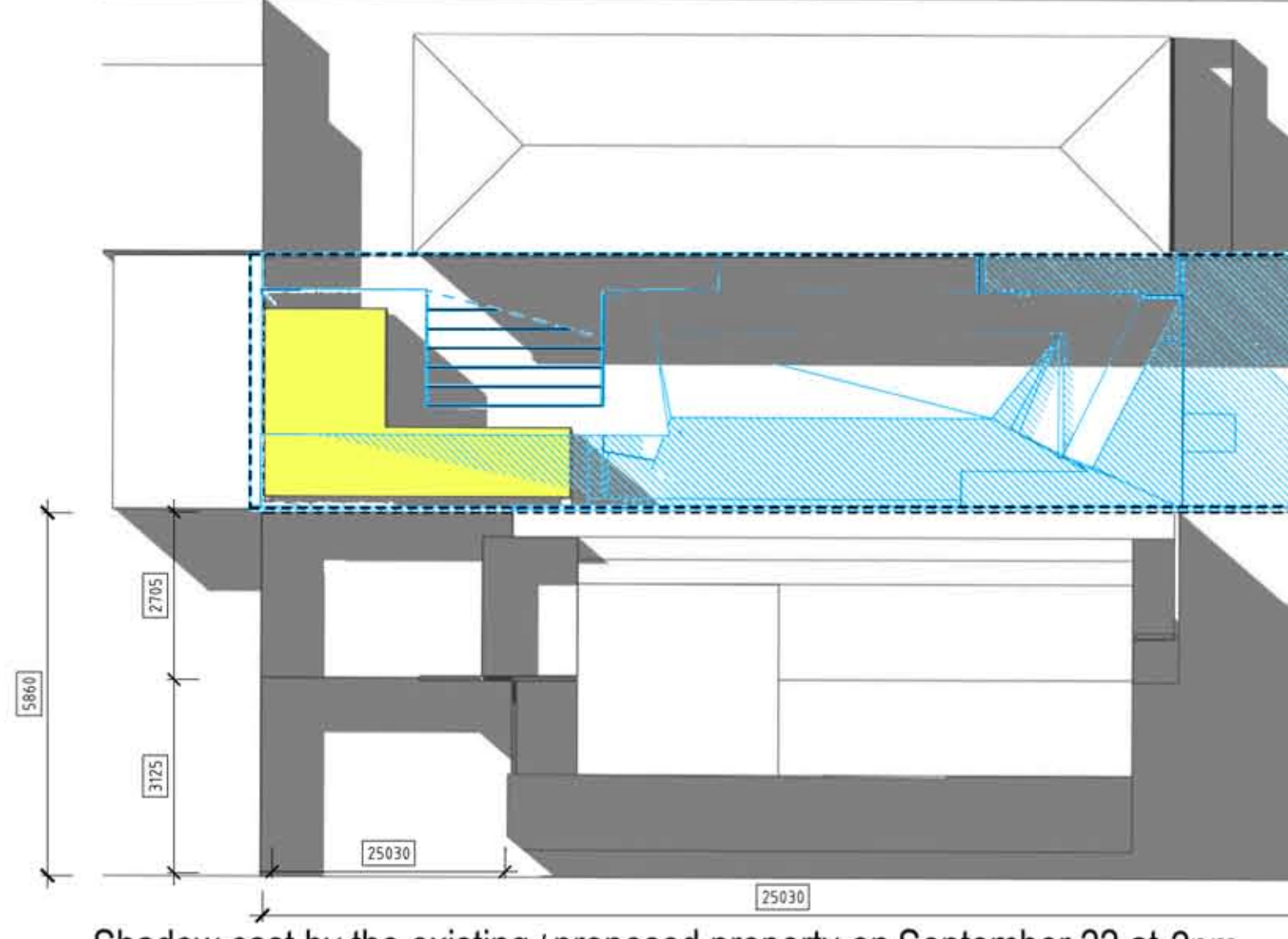
Shadow cast by the existing / proposed property on September 22 at 11am



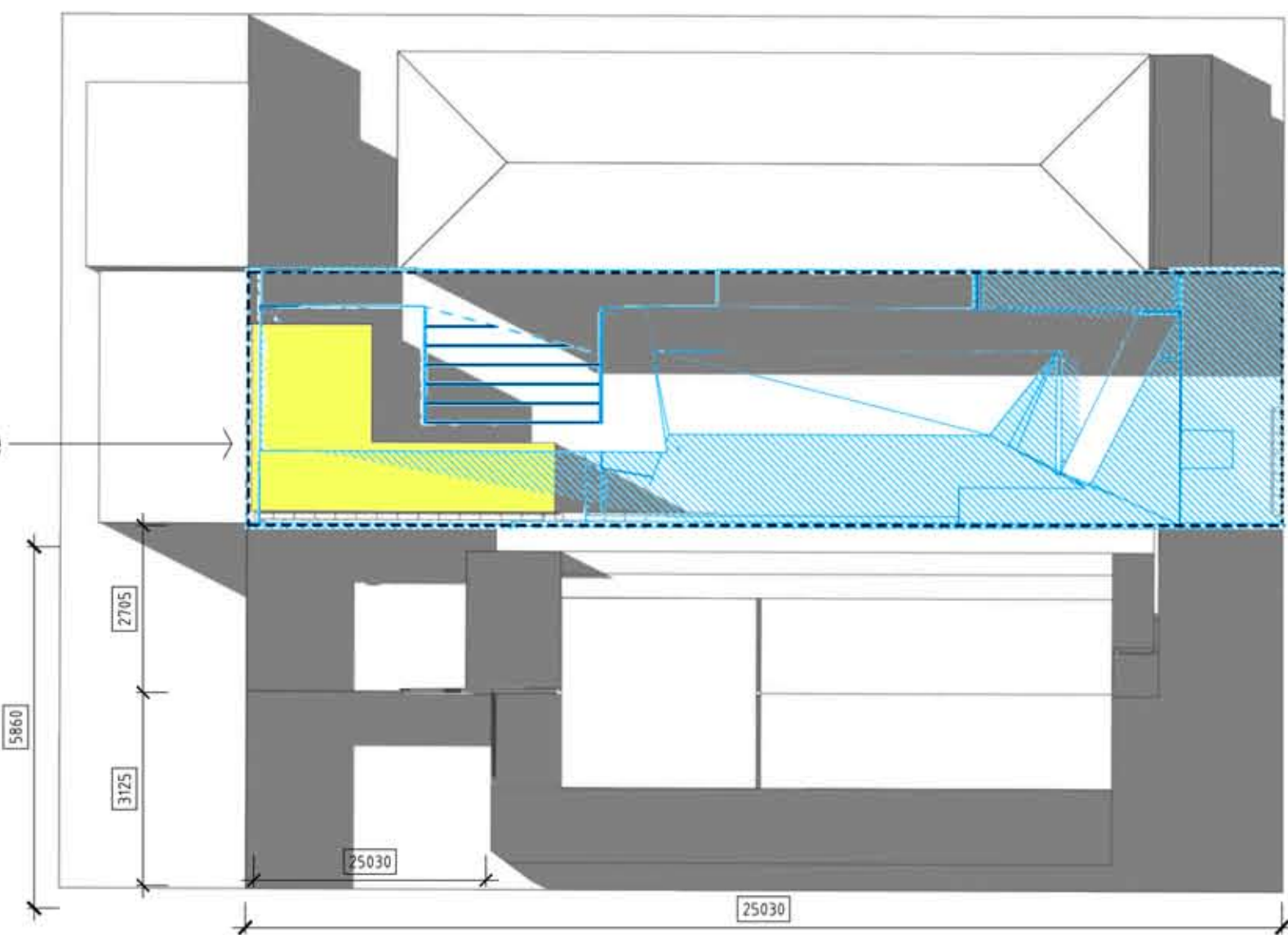
Shadow cast by the existing / proposed property on September 22 at 12pm



Shadow cast by the existing / proposed property on September 22 at 1pm



Shadow cast by the existing / proposed property on September 22 at 2pm



Shadow cast by the existing / proposed property on September 22 at 3pm

### 7 Ethel Street - Secluded private open space shadow area summary of proposed property

	Existing	Proposed	Existing	Proposed
9am	5.27m2 approx	5.27m2 approx	22%	22%
10am	9.5m2 approx	9.5m2 approx	41%	41%
11am	12.5m2 approx	12.5m2 approx	54%	54%
12pm	13.3m2 approx	13.3m2 approx	57%	57%
1pm	11.6m2 approx	11.6m2 approx	50%	50%
2pm	10m2 approx	10m2 approx	43%	43%
3pm	7.2m2 approx	7.2m2 approx	31%	31%

### Legend

- Existing out building
- Existing shadows
- Shading from proposed house

PLANNING ENVIRONMENT ACT 1987  
MERRI-BEK PLANNING SCHEME  
Advised Document  
Advised Plan Sheet: 11 of 16  
Application No: MPS/2025/354  
Date: 30/06/2025

## New Residence

13 Ethel Street, Brunswick East

SCALE 1:150  
DATE May 2018

Project No [2]1705  
Dwg: TP09

REVISION

### AMENDMENTS

Rev By Date Description  
A BC 15.05.18 Amendment for Council

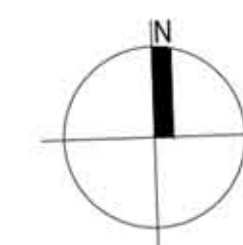
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## Shadow Diagrams- Existing

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DP\_TOSCANO ARCHITECTS Pty Ltd.  
ACN 120 090 691

126 CROMWELL STREET  
COLLINGWOOD VIC 3066  
T: 03 9419 8366  
F: 03 9419 8344  
E: info@dp toscano architects.com



NEIGHBOURHOOD CONTEXT

**Site Orientation**  
Typically narrow inner city residential site small workers style cottage houses prevalent.

**Materials**  
Significant heritage contributory buildings are typically weatherboard. Infill buildings are comprised of a range of materials including a significant number of brick dwellings. Refer TP02.

**Setbacks**  
Setbacks are often minimal due to the size and shape of the lots. Setbacks vary from small to some residents having zero frontage setback.

BUILT FORM

**Form**  
Typically detached repetitive small scale cottages. Recently contemporary developments have diverged from this form with more intense massing and double storey in height.

EXISTING FEATURES

**Existing Trees**  
The three existing trees on the site do not maintain any significance and are to be removed and replaced appropriately.

**Existing Building**  
The site currently remains inhabitable with a small shed to the rear and an adjacent toilet. The existing shed is to be demolished. As the site is generally clear land the current landscape does not conform with density and massing characteristics of the neighborhood context.

OVERLOOKING

**15 Ethel St**  
Potential overlooking issue to the north of the site that needs to be addressed  
**7 Ethel St**  
Potential overlooking issue to the south of the site that needs to be addressed

**SOLAR ACCESS**  
The site has parallel northern aspect. Potential to locate private open space to the north of the site. Preventing overlooking to the north while maximizing solar access will need to be addressed.

Neighbourhood Character  
Garage Analysis



Double storey modern development featuring garage and car port dominant to the street frontage



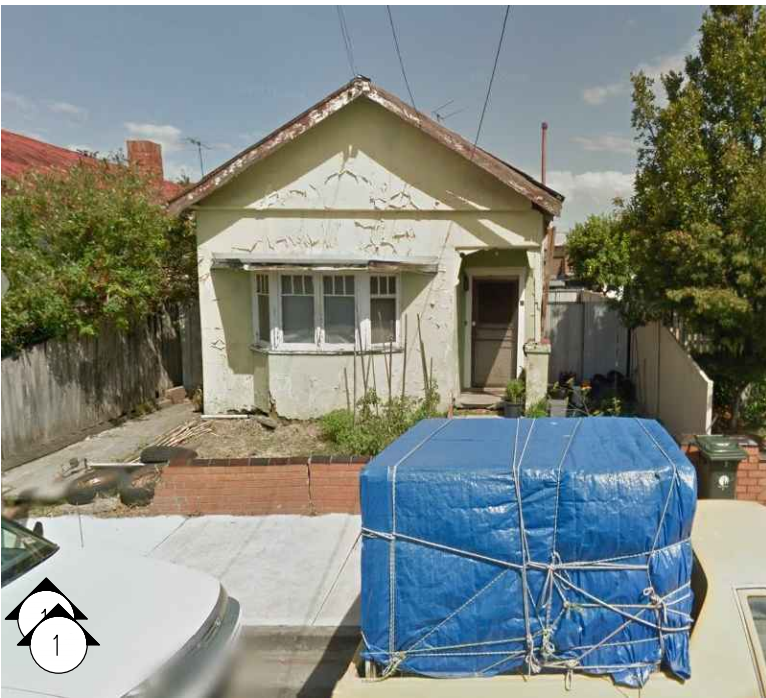
Double storey modern development featuring garage and car port dominant to the street frontage



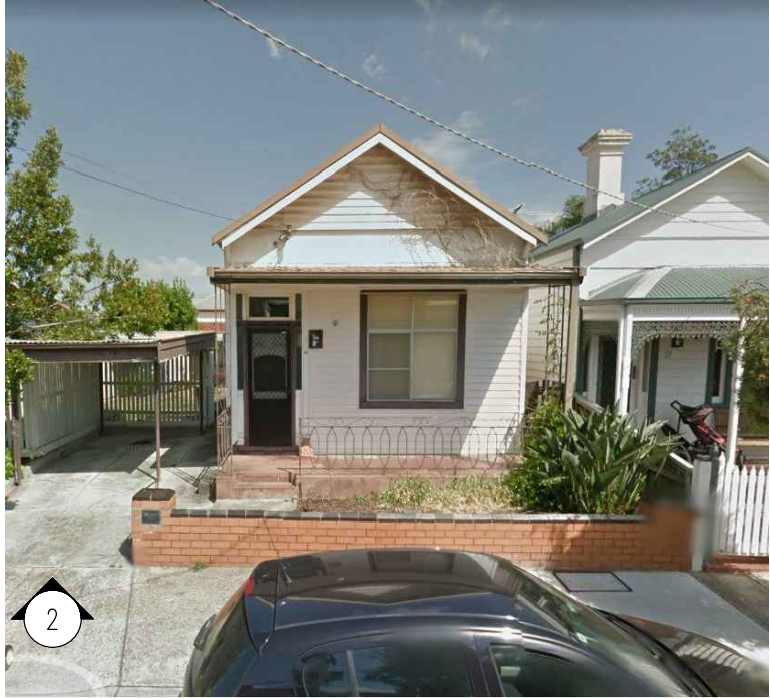
Double storey modern development featuring garage and car port dominant to the street frontage



High fence to open car garage to street frontage



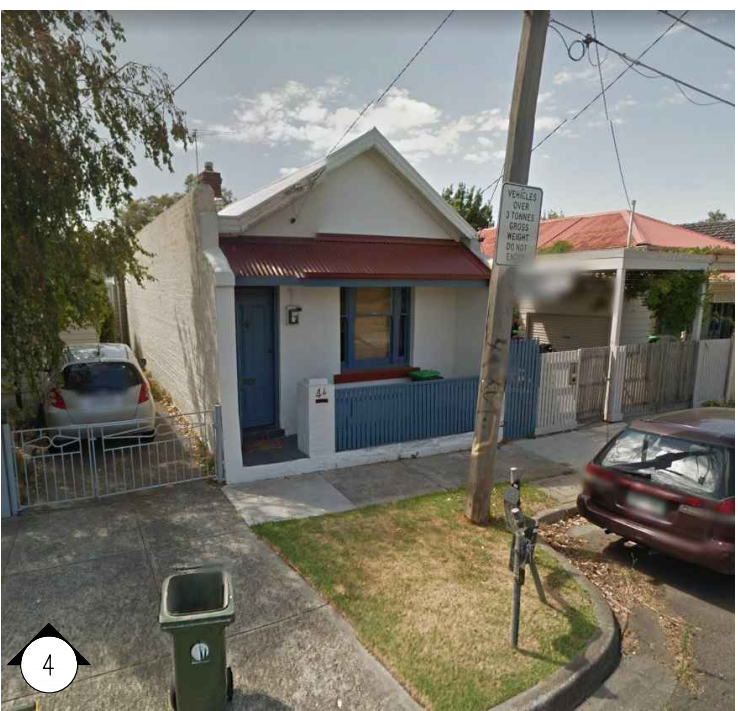
7 Ethel Street: Single storey weatherboard to be demolished and replaced with two unit development comprising of two double storey residence. MS/2016/163



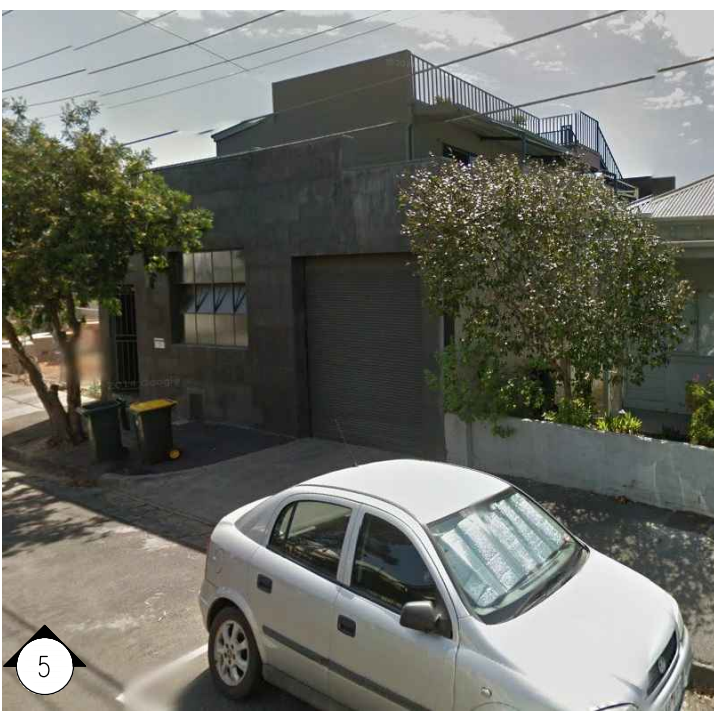
15 Ethel Street: Typical Single storey weatherboard dwelling



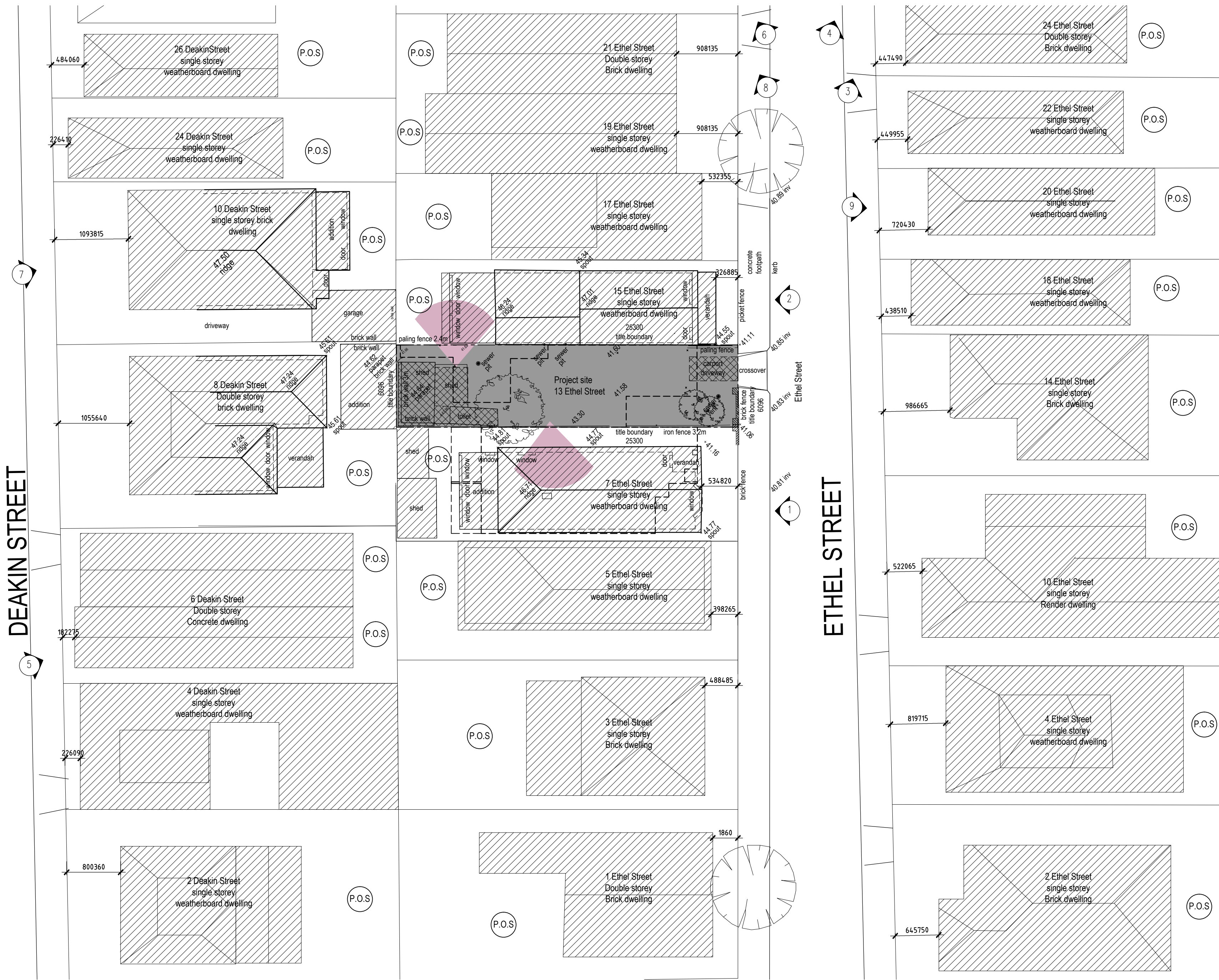
30 Ethel Street: Recent contemporary style new residence, double storey with minimum street frontage setback.



44 Ethel Street: Typical workers cottage prevalent in the area. Minimum street frontage setback, gable roof forms and blank side forms



6 Deakin Street: Double storey render finish dwelling built to boundary. Juxtaposition of heights and setbacks reflect the hybrid character of the area



**PARKING**  
Limited site access demands for private parking to be situated at the East Facade of 13 Ethel Street. Potential to locate parking onsite will alleviate demand for on-street parking. There is existing on street parking.

**SITE ACCESS**  
**13 Ethel Street**  
Only access to site via 13 Ethel Street from property frontage.

**CROSSOVERS**  
A simple carport structure exists on the land; a driveway leading to the carport is served by an existing street crossing onto Ethel St. In order to provide onsite parking to 13 Ethel Street the existing cross over to the site will remain and a garage on site will elivate the demand for on street parking

**LEGEND**

- Existing Surrounding Properties
- Secluded Private Open space
- Existing Property Structure
- Proposed Site
- Project Site
- Potential Overlooking Issue
- Site Photos

PLANNING ENVIRONMENT ACT 1987  
MERRI-BEK PLANNING SCHEME  
Advertised Document  
Advertised Plan Sheet: 12 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025

New Residence

13 Ethel Street, Brunswick East

SCALE 1:200  
DATE JUNE  
Project No [2]1705  
Dwg: TP10

AMENDMENTS			
Rev	By	Date	Description
B	BC	23.04.18	Revise extent of existing conditions
C	BC	07.06.18	Revise extent of existing conditions

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DP TOSCANO ARCHITECTS Pty Ltd.  
ACN 120 090 691  
  
126 CROMWELL STREET  
COLLINGWOOD VIC 3066  
T: 03 9419 8366  
F: 03 9419 8344  
E: info@dp toscano architects.com





Open car garage to the street frontage



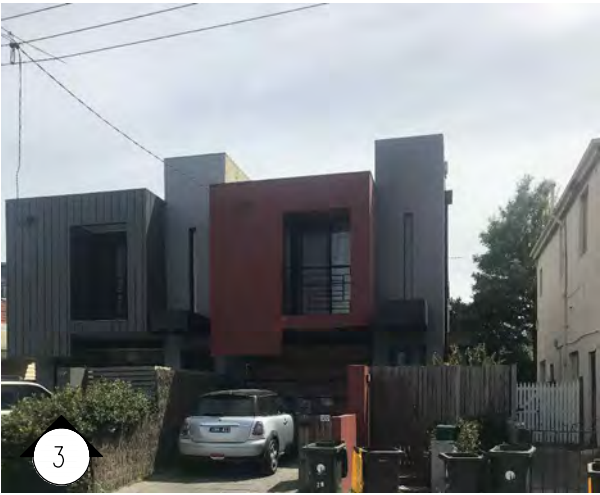
High fence to open car garage to street frontage



Double storey modern development featuring garage and car port dominant to the street frontage



High fence to open car garage to street frontage

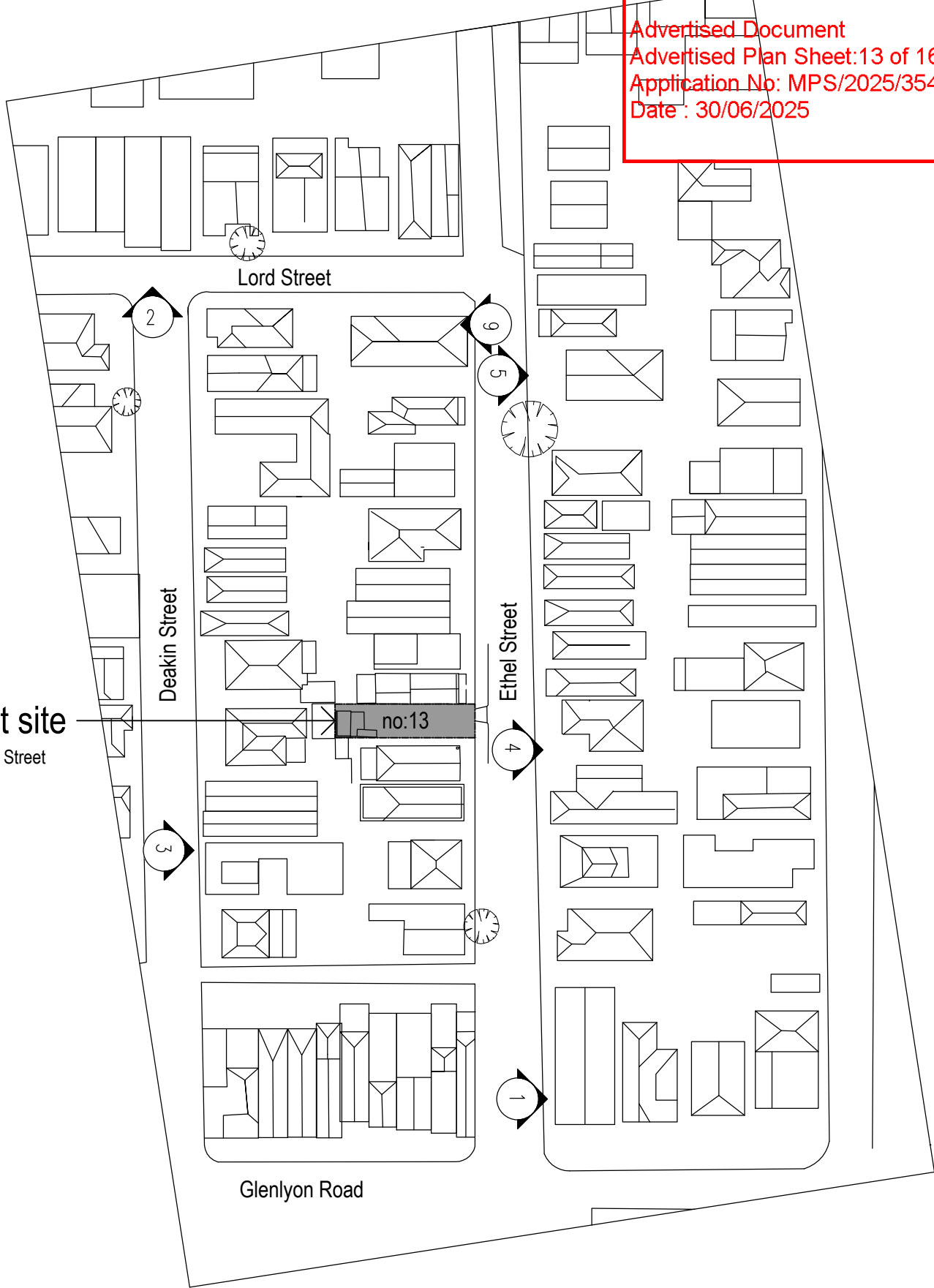


Double storey modern development featuring garage and car port dominant to the street frontage



Typical garage dominant to street frontage

project site  
no: 13 Ethel Street



PLANNING ENVIRONMENT ACT 1987  
MERRI-BEK PLANNING SCHEME  
Advertised Document  
Advertised Plan Sheet:13 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025

New Residence

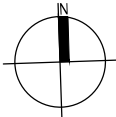
13 Ethel Street, Brunswick East

SCALE 1:1000  
DATE March\_2018  
Project No [2]1705  
Dwg: TP12

AMENDMENTS				
Rev	By	Date	Description	
A	BC	15.05.18	Amendment for Council	

NOTES  
Check and verify all dimensions prior to commencement of work. This drawing shall be read in conjunction with all other contract documents including those by other consultants, and including specifications. Seek clarification of inconsistencies / conflicts. Figured dimensions shall take precedence to scaled dimensions.  
  
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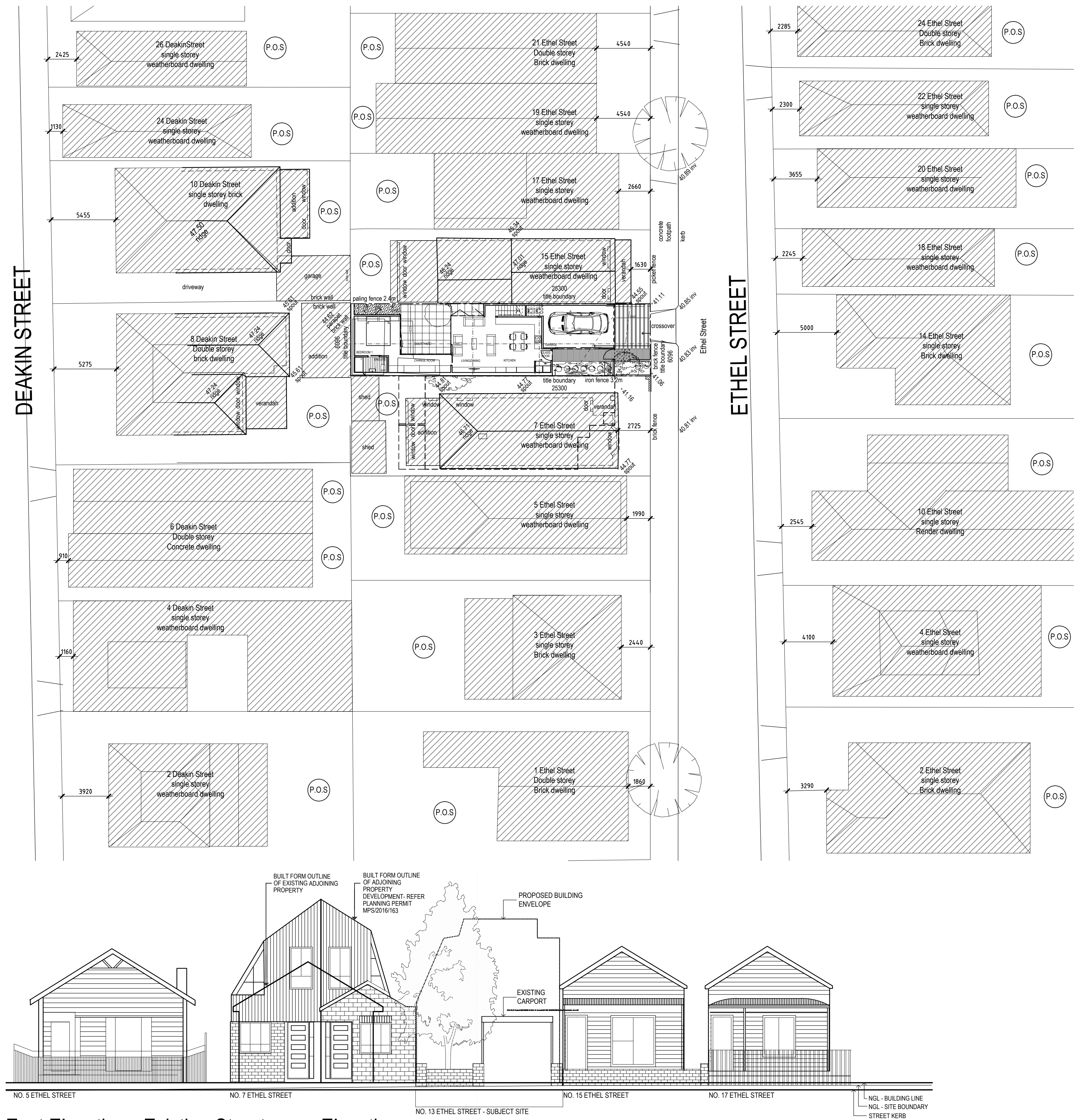
NOTES  
This permit application, inclusive of plans, elevations, sections, site analysis, shadow diagrams has been prepared generally in accordance with the as applicable requirements of Clause 54 or Clause 55 of the planning scheme and is submitted and assessed relative to the specific requirements of Clause 54 or Clause 55.



DP\_TOSCANO  
ARCHITECTS

DP TOSCANO ARCHITECTS Pty Ltd.  
ACN 120 090 691  
  
126 CROMWELL STREET  
COLLINGWOOD VIC 3066  
T: 03 9419 8366  
F: 03 9419 8344  
E: info@dploscanoarchitects.com





## East Elevation - Existing Streetscape Elevation

NOTE: Elevation Scale 1:100 at A1

### New Residence

13 Ethel Street, Brunswick East

SCALE 1:200  
DATE DATE

Project No [2]1705  
Dwg: TP12.2

#### AMENDMENTS

Rev	By	Date	Description
B	BC	23.04.18	Revise extent of existing conditions
C	BC	07.06.18	Revise extent of existing conditions

#### NOTES

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#### NOTES

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#### LEGEND

- Existing Surrounding Properties
- Secluded Private Open space
- Existing Property Structure
- Proposed Site

Note:  
Refer to Design Response 2 drawing sheet TP12.2  
for further Design Response assessment

DP\_TOSCANO  
ARCHITECTS

DP\_TOSCANO ARCHITECTS Pty Ltd.  
ACN 120 090 691

126 CROMWELL STREET  
COLLINGWOOD VIC 3066  
T: 03 9419 8366  
F: 03 9419 8344  
E: info@dp toscano architects.com



SEPARATE FORMS  
Articulate new form clear of  
existing timber cottage

SETBACK FORM  
New second level built form  
setback from shared property  
lines to respect adjoining built  
form of proposed development

WINDOWS . FIRST FLOOR  
Angled walls with windows  
inclined to skywards approx 75°  
to vertical

AREA SUMMARY	
Site Area	154.2m <sup>2</sup>
Site Coverage	96m <sup>2</sup> (62%)
Private Open Space	21m <sup>2</sup>
Level 1 Balcony	6m <sup>2</sup>
Permeable Area	49.8m <sup>2</sup> (32%)

FORM AND CONTEXT  
Reproduce form and rhythm of  
pitched roof cottage forms of the  
existing area



## SECTION: BUILT FORM

NORTHERN SUN  
Setback new form to allow north  
sun to courtyard

VIEWS AND LIGHT  
Courtyard allows good sunlight  
penetration to main rooms.  
Controls potential overlooking  
towards adjacent properties

BOUNDARY WALLS 1  
Existing built form of out building to adjacent  
properties encourages built form to response up to  
property boundaries

BOUNDARY WALLS 2  
New development to south approved to  
build shared property line. reciprocal form  
sought for subject site.

ADJOINING OPEN SPACE  
Boundary wall as proposed to single street forms a  
courtyard wall to private open space - single storey  
new form to minimize overshadowing of private open  
space

ADJOINING  
SITE  
PROPOSED  
DEVELOPMENT

ADJOINING  
PROPERTY  
GARAGE

ADJOINING  
PROPERTY  
SHED

EXISTING  
SHED TO  
BE  
DEMOLISHED

ADJOINING  
PROPERTY  
EXISTING  
SHEDS- TO BE  
DEMOLISHED

ADJOINING SINGLE STORY  
HOUSE

VERANDAH

SUBJECT SITE

PROPOSED DEVELOPMENT

7 Ethel Street

13 Ethel Street

15 Ethel Street

STREETSCAPE

SETBACK/GARDEN  
Encourages extra  
open space

BUILT FORM -  
NORTH  
Minimize extent of built  
form adjoining existing  
house

SET BACK  
Average setback  
to adjoining  
properties

STREETSCAPE  
Reproduce form and  
rhythm of pitched  
roof cottage forms of  
the existing area

ETHEL STREET

## New Residence

13 Ethel Street, Brunswick East

SCALE 1:125  
DATE May\_2018

Project No [2]1705  
Dwg: TP14

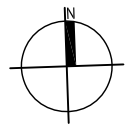
AMENDMENTS			
Rev	By	Date	Description
A	BC	15.05.18	Amendment for Council

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design response 2



DP\_TOSCANO  
ARCHITECTS

DP TOSCANO ARCHITECTS Pty Ltd.  
ACN 120 090 691  
126 CROMWELL STREET  
COLLINGWOOD VIC 3086  
T: 03 9419 8366  
F: 03 9419 8344  
E: info@dp toscano architects.com



LANDSCAPE CONCEPT PLAN.

PLANNING ENVIRONMENT ACT 1987  
MERRI-BEK PLANNING SCHEME  
  
Advised Document  
Advised Plan Sheet:16 of 16  
Application No: MPS/2025/354  
Date : 30/06/2025

LANDSCAPE SURFACES KEY

Permeable, decorative rock / gravel surface.  
Rock / gravel surface to be consolidated.

Permeable pavers installed as  
per manufacturer's guidelines surface.  
Colour: Finish to be in a neutral tone.

400mm x 400mm stone pavers set into a  
permeable, decorative rock / gravel surface.  
Rock / gravel surface to be consolidated.

Permeable paving - 250mm wide stone paving  
slabs with decorative consolidated rock gravel  
strips inlaid nominally at 120mm wide.

TREE TO BE REMOVED DETAIL.

Denotes existing trees  
to be removed.

**Eucalyptus cladocalyx  
Vintage Red**  
  
6- 8m H x 3 - 4m W  
  
Full sun to part shade.  
Stunning tree with beautiful foliage ranging  
from deep red, purple and grey. Dark red almost  
black stems mature to braches with smooth grey  
bark. Can be pruned to height and shape.

**Acacia cognata  
Limelight**  
  
80cm H x 80cm W  
  
Full sun to part shade.  
Compact shrub with a natural weeping habit.  
It's soft lime green foliage works well to soften  
the landscape. Drought tolerant.

**Hardenbergia violacea  
Happy Wanderer**  
  
2-3m H x 1.5m W  
  
Evergreen vigorous climber with brilliant  
green foliage and purple blooms from winter  
to spring. Full sun to part shade.

**Limonium perezii  
Sea Lavendar**  
  
45 - 60cm H x 45 -60cm W  
  
Full sun to part shade.  
Stunning leather like foliage with striking  
purple flowers in summer. Drought tolerant.

**Lomandra longifolia  
Lime Tuff**  
  
50cm H x 50cm W  
  
Full sun to part shade.  
Drought hardy grass perfect  
for mass planting to create impact.

**Myoporum parvifolium  
Yareena**  
  
10cm H x 1m W  
  
Full sun to part shade.  
Excellent ground cover very hardy  
with small white flowers in spring  
and summer.

	Plant List				
Code	Botanical Name	Common Name	Qty	Pot Size	H x W at Maturity
TREES and SHRUBS					
EC	Eucalyptus cladocalyx	Vintage Red (To be 2m high at planting)	2	50CM	6-8M x 3-4M
AC	Acacia cognata	Limelight	5	20CM	80CM x 80CM
GRASSES, STRAPPY LEAF and GROUND COVERS					
LL	Lomandra longifoila	Lime Tuff	10	14CM	50CM x 50CM
LP	Limonium perezii	Sea Lavendar		14CM	45 - 60CM x 45-60CM
MP	Myoporum parvifolium	Yareena	8	14CM	10CM x 1M
CLIMBING PLANTS					
HV	Hardenbergia violacea	Happy Wanderer	7	14CM	2-3M x 1.5M
TREES TO BE REMOVED					
ET1	Citrus limon	Lemon Tree	1		
ET2	Syzygium species	Lilly Pilly species	1		
ET3	Acer palmatum	Japanese Maple	1		

Top of root ball to be flush  
with the top surface of plant hole.

Stake trees with 38mm x 38mm x 1800mm  
hardwood stakes set vertical and clear of rootball.  
Secure with jute mat tied in a figure 8 and one third  
height of tree.

Leave a space between mulch and trunk.

Backfill with existing soil or quality  
well drained garden blend soil,  
firming progressively.

Excavate a sloping shallow planting hole 2 to 3  
times the width of the rootball.

Create a berm approximately  
75mm high to form a watering  
basin.

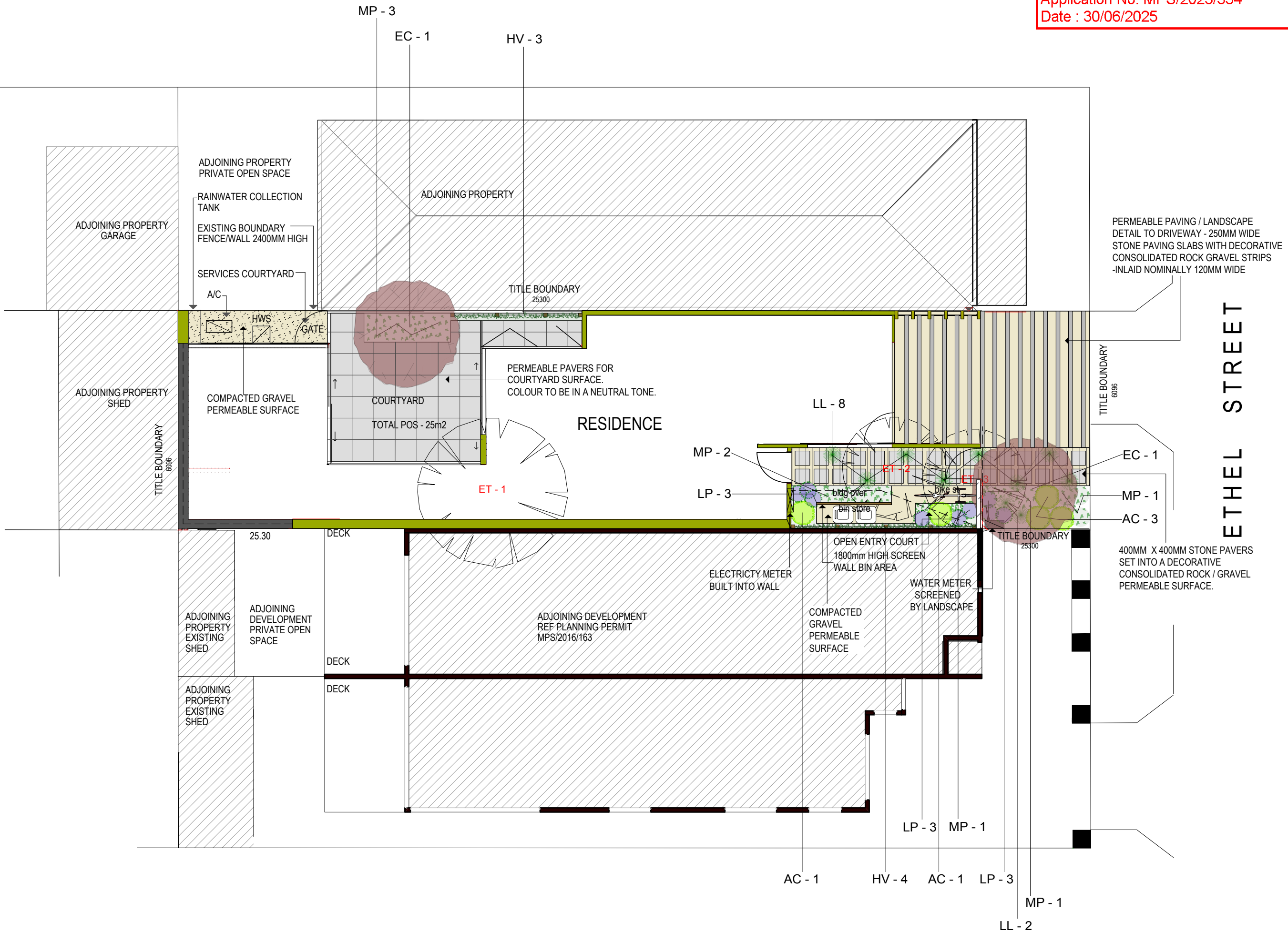
Depth of planting hole  
no deeper than the rootball

PLANTING, IRRIGATION AND GARDEN BED DETAILS

**Planting**  
Plant pot sizes were current at time of print. Plant stock to be true to botanical type with particular emphasis on correct cultivar, sub species and variety, to be non root bound in container and free of structural defect and disease.  
All plantings to be fertilized with sea mungus and a quality slow release pellet, water new plantings in well and apply a dose of Seasol at the recommended rates. Stake trees with 2 x hardwood stakes and jute mate tie. All plantings subject to seasonal availability.

**Irrigation**  
It is recommended that an automated irrigation system be installed using 2 litre per hour drip tube at 300mm spacing's for garden bed areas in accordance with the property water flow rate.  
System should be fitted with a rain sensor and back flow prevention. Mains connection and backflow prevention to be installed by a licensed plumber. Contractor to choose a suitable location for controller and valve boxes and to ensure provisional access under structures or surfaces are installed for later access at installation stage.

**Garden Bed Preparation**  
All garden bed areas to be cultivated to a minimum depth of 300mm and improved through the addition of a quality aged organic compost. Premium organic garden blend soil to be used if any imported soil is required.  
Cover beds with a 50mm - 70mm layer of quality organic mulch.



ANTHONY SCOTT  
LANDSCAPE DESIGN

8/136 Park Street  
St Kilda West 3182

Ph: 0419 000 617  
email: anthony@asld.net.au  
www.anthonyscottlandscapedesign.com.au

DP TOSCANO ARCHITECTS

RE: SITE ADDRESS  
13 ETHEL STREET,  
BRUNSWICK EAST 3057

LANDSCAPE CONCEPT PLAN

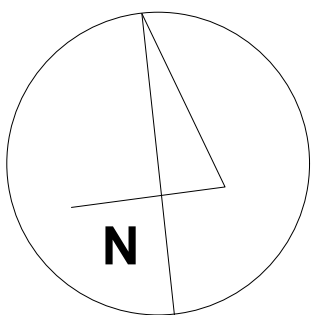
PAGE 1 OF 1

DOCUMENT: LCP - 01

DATE: REV SEP 2020

DRAWN BY A & P SCOTT

SCALE : 1:100 @ A1



This Drawing is the property of Anthony Scott Landscape Design and may only be used once final payment is made. It should be noted that this is a concept plan only and not working drawings. It is the responsibility of the contractor to specify construction methods to client. All measurements and heights should be checked prior to quotation. All structures including but not limited to pavements, pergolas, retaining walls etc. may require engineer's and council approval prior to commencement of works. It is the responsibility of the contractor to ensure the appropriate drainage is installed, this includes all drainage onsite.