

BLYTH STREET

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REVISIONS				
NO	DATE	AMENDMENTS		INIT
1	A	25.02.25	TOWNPLANNING SUBMISSION	BD
2	B	31.03.25	RFI 1 LETTER DATED THE 7TH OF MARCH 2025	BD

LEGEND

HW DENOTES HABITABLE ROOM WINDOWS
W DENOTES NON-HABITABLE WINDOWS



PLANNING ENVIRONMENT ACT 1987 MERRI-BEK PLANNING SCHEME

Advertised Document
Advertised Plan Sheet:1 of 8
Application No: MPS/2025/106
Date : 29/04/2025

EXISTING SITE PLAN

SCALE 1:200

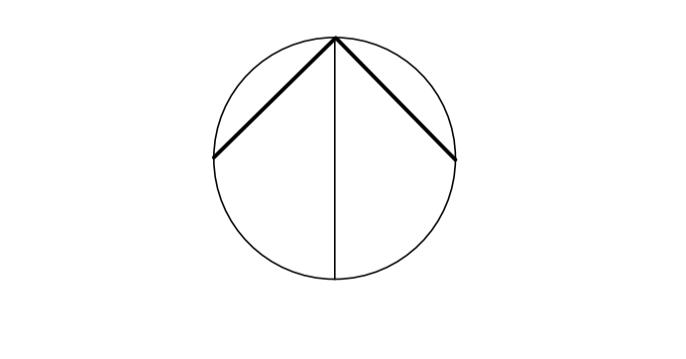


AERIAL VIEW



STALEY STREET VIEW

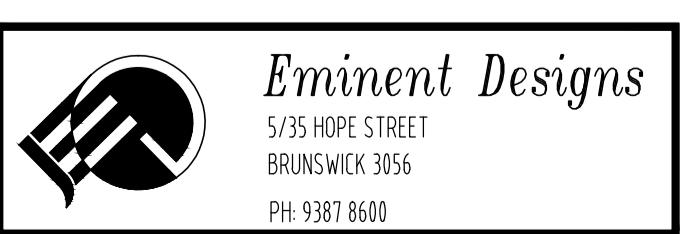
BARNINGHAM STREET VIEW



PROJECT TITLE
**PROPOSED ALTERATIONS &
EXTENSION AT:
NO.9 STALEY STREET,
BRUNSWICK**

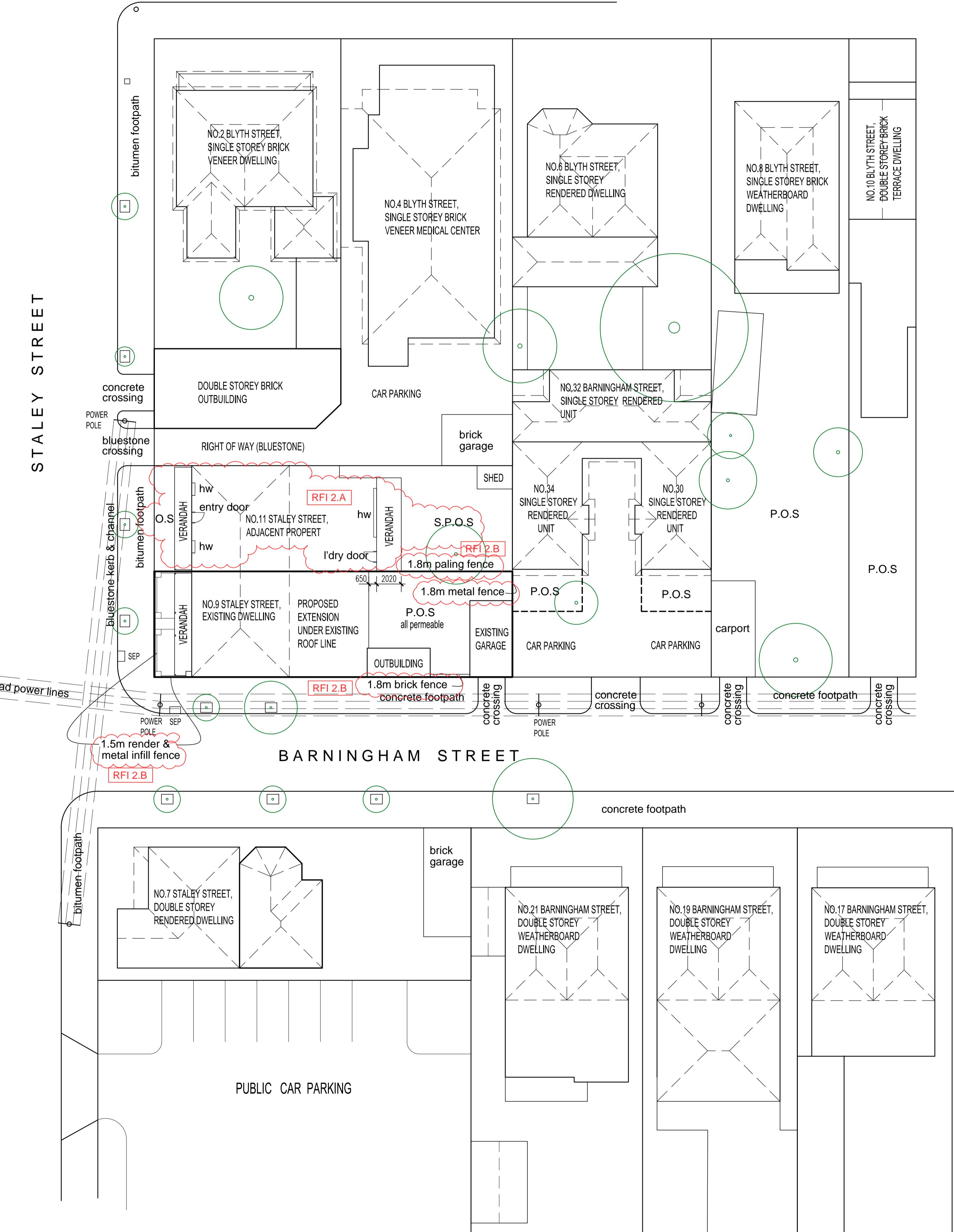
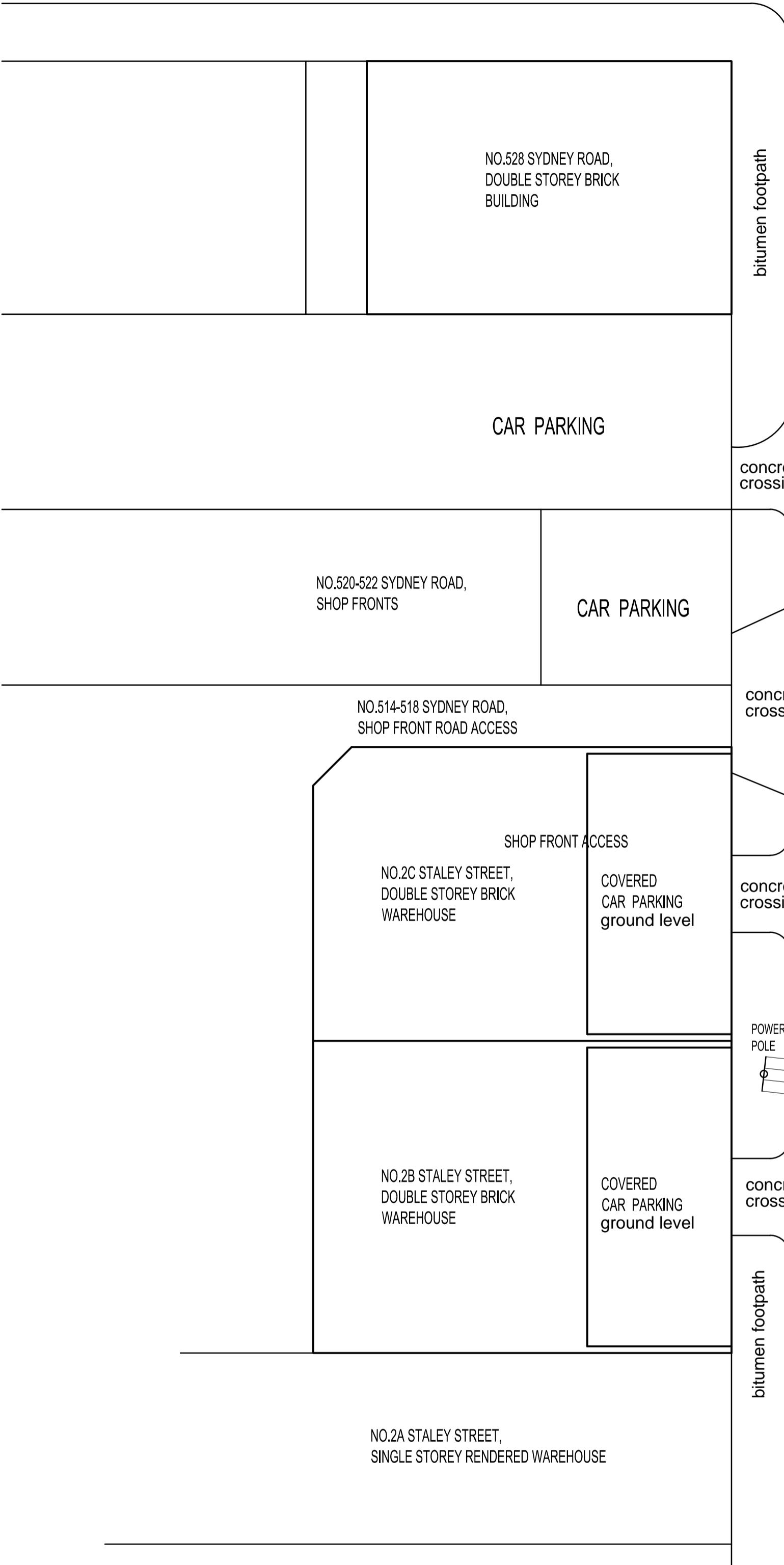
DRAWING TITLE

DRAWN	BD	CAD FILE NO.
SCALE	1:200	CHECKED VC
DRAWN DATE	FEB' 25	PLOT DATE / TIME
PROJECT NO.	25-004	DRAWING NO. 1 REVISION B



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BLYTH STREET

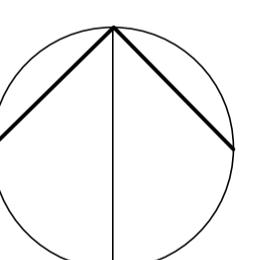


LEGEND

HW DENOTES HABITABLE ROOM WINDOWS
W DENOTES NON-HABITABLE WINDOWS



PLANNING ENVIRONMENT ACT 1987
MERRI-BEK PLANNING SCHEME
Advertised Document
Advertised Plan Sheet 2 of 8
Application No: MPS/2025/106
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PROJECT TITLE
**PROPOSED ALTERATIONS & EXTENSION AT:
NO.9 STALEY STREET,
BRUNSWICK**

PROPOSED SITE PLAN

DRAWN	BD	CAD FILE NO.	
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PROJECT NO.	25-004	DRAWING NO.	2

GENERAL NOTES

- TERMITIC TREATMENT TO SUB-FLOOR TO COMPLY WITH A.S.3660, AS REQUIRED BY LOCAL AUTHORITY.
- SUB-FLOOR VENTS AT 1000 MM MAX. CTRS. TO PROVIDE 6000mm² CLEAR AIR PASSAGE. SPACED EVENLY, MAX. 500 MM CTR.
- IN WET AREAS PROVIDE IMPERVIOUS WALL COVERINGS 300 ABOVE BATHS, VANITIES, BUCHS & SINKS, & 1800 HIGH IN SHOWER RECESSES. ENTIRE WET AREA FLOORS SHALL HAVE IMPERVIOUS COVERINGS.
- PLASTERBOARD INTERNAL LININGS UNLESS:
- PROVIDE SELF CONTAINED SMOKE ALARM CONNECTED DIRECTLY TO MAINS POWER WITH A 'STAND-BY' POWER SUPPLY AS REQUIRED BY NCC 22 VOL 2 INSTALLED STRICTLY AS PER MANUFACTURER'S SPECIFICATIONS
- STAIRS AND STEPS: CLEARANCE: 203mm MIN. TREADS: 240mm MIN. RISERS: 190mm MAX. HANDRAILS AND BALUSTRADES: 1000mm HIGH. BALUSTERS: 125mm SPACING BETWEEN
- MECHANICAL VENTILATION DUCTED TO EXHAUST FAN TO PROVIDE CLEAN AIR AT 25 LITRES/SEC.
- INSULATION AS PER ENERGY RATER'S REPORT.
- WINDOWS: ALUMINIUM AWNING U.N.O. GLAZING TO COMPLY WITH A.S. 1288-2021. ALL GLAZING THICKNESS TO BE DETERMINED FROM THE APPROPRIATE WIND TERRAIN CATEGORY SHELTERED SUBURBAN, EXPOSED SUBURBAN, OPEN RURAL CROSSING, CATEGORY ABOVE NOT APPLICABLE. SAFETY GLAZING TO A.S. 1288-2021 TO BE USED IN THE FOLLOWING CASES:
- ALL ROOMS WITHIN 500mm FROM FLOOR (HEIGHT) WITHIN 500mm FROM BATH/BASE (HEIGHT)
- SHOWERS, SHOWER SCREENS AND BATH ENCLOSURES LAUNDRY WITHIN 1200mm FROM FLOOR (HEIGHT) OR WITHIN 300mm MIN. FROM TROUGH (HEIGHT)
- DOORWAYS WITHIN 300mm FROM ALL DOORS (WIDTH)
- CHIMNEYS OR OPEN SOLID FUEL HEATERS ARE TO BE PROVIDED WITH DAMPER OR FLAP.
- ALL TIMBERS TO BE GRADED IN ACCORDANCE WITH A.S.3660-2017 TOP AND BOTTOM PLATES TO BE 90 x 45 F8 HWD WALL PLATES NOT TO BE TRENCHED. OTHER DETAILS OF TIMBER GRADES AND SIZES REFER TO DRAWINGS AND PROJECT SPECIFICATIONS.
- ALL MEASUREMENTS IN MILLIMETRES U.N.O.
- THESE DRAWINGS ARE TO BE USED AND READ IN CONJUNCTION WITH THE SPECIFIC, STRUCTURAL ENGINEERS DRAWINGS AND COMPUTATION, GEOTECHNICAL SITE INVESTIGATION REPORT, ANY OTHER WRITTEN INSTRUCTIONS AND OTHER RELEVANT DRAWING BY OTHER CONSULTANTS.
- DO NOT SCALE DRAWINGS – USE FIGURED DIMENSIONS ONLY.
- ALL WORK CARRIED OUT IS TO COMPLY WITH B.C.A., AUSTRALIAN STANDARDS, LOCAL AUTHORITY AND ALL RELEVANT AUTHORITIES REGULATIONS, STATUTORY REQUIREMENTS AND BY-LAWS.
- ALL EXCAVATION WORKS TO BE APPROVED BY THE BUILDING SURVEYOR PRIOR TO POURING CONCRETE.
- GROUND LEVELS SHOWN ARE APPROX. ONLY AND ARE TO BE CONFIRMED ON SITE.
- ANY PORCH OR STAIRS EXCEEDING 1000mm IN HEIGHT IS TO BE PROVIDED WITH 1000mm HIGH HANDRAILS AND OR BALUSTRADE.
- ALL BRICKWORK IS TO COMPLY WITH A.S. 3700 MASONRY CODE AND AMENDMENTS.
- PROVIDE EXPANSION JOINTS IN BRICKWORK TO MANUFACTURERS SPECIFICATION AND IN COMPLIANCE WITH GEOTECHNICAL SITE INVESTIGATION REPORT.
- WHERE FILLING IS RESTRAINED BY ANY WALL AND THE FILLING IS GREATER THAN 600mm IN DEPTH, THE WALL SHALL BE DESIGNED BY A QUALIFIED ENGINEER AS A RETAINING WALL.
- EXHAUST FAN DISCHARGED TO OUTSIDE AIR
- CHIMNEYS SHALL COMPLY WITH THE NCC 2022 VOL 2

NOTE:
1. ALL TIMBERS TO BE GRADED IN ACCORDANCE WITH A.S.3660-2017
2. TIMBER UNTILS OVER OPENINGS & STUDS @ END OF OPENINGS TO BE IN ACCORDANCE WITH A.S.3660-2017
3. WIND BRACING TO BE IN ACCORDANCE WITH A.S.3660-2017

FRAMING SCHEDULE

MEMBER	SIZE & TIMBER
WALL PLATES	90 x 45 F5 PINE
STUDS	90 x 45 F5 PINE
JAMB STUDS	90 x 45 F5 PINE
NOGGINGS	90 x 35 F5 PINE
BRACING	AS PER AS 1684
LINTELS	AS PER AS 1684

NOTES AND SPECIFICATIONS.

- WATERPROOFING SPECIFICATIONS IN ACCORDANCE WITH AS3740. SPECIFICATIONS ATTACHED TO INCLUDE ON THE DRAWINGS TO SATISFY THIS REQUIREMENT.
- SMOKE ALARMS TO COMPLY WITH AS.3786 AND NCC PART 9.5.1 AND 9.5.2. SMOKE ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS PROVIDED.
- MECHANICAL VENTILATION VENTILATING A SANITARY COMPARTMENT, LAUNDRY OR BATHROOM MUST BE DUCTED TO OUTSIDE AIR OR VENTILATED ROOF SPACE IN ACCORDANCE WITH N.C.C. PART 10.6.2, 10.6.3 & 10.8.3 EXHAUST FANS > 25L/S FOR A BATHROOM OR SANITARY COMPARTMENT & > 40L/S FOR A KITCHEN OR LAUNDRY TO COMPLY WITH N.C.C. PART 10.8.2
- "PROVIDE P4 (WET SURFACE) AND P3 (DRY SURFACE) CLASSIFICATION SLIP RESISTANCE TO LANDING EDGE STRIP, NOSING OR TREAD SURFACE IN ACCORDANCE WITH AS 4586."
- PROTECTION OF OPENABLE WINDOWS IN A BEDROOM WHERE THE FLOOR BELOW THE WINDOW IS 2M OR MORE ABOVE THE SURFACE BEHIND TO COMPLY WITH N.C.C. 11.3.7. PROTECTION OF OPENABLE WINDOWS OTHER THAN BEDROOMS WHERE THE FLOOR BELOW THE WINDOW IS 4M OR MORE ABOVE THE SURFACE BEHIND TO COMPLY WITH N.C.C. 11.3.8. WINDOWS TO BE PROVIDED WITH DEVICE WHICH RESTRICTS OPENING TO MAX. 125MM OR ALTERNATIVELY OPENABLE PANEL TO BE FIXED WITH A NON-REMOVABLE ROBUST SCREEN TO COMPLY WITH N.C.C. PART 11.3.6.

BUILDER IS TO CONFIRM ALL LEVELS & FLOOR LEVELS PRIOR TO COMMENCING WORKS

NOTE: A 10mm GAP IS REQUIRED WHEN AN ARTICULATION JOINT IS LOCATED NEXT TO A WINDOW

ALL WET AREAS INCLUDING ALL LAUNDRY'S, BATHROOMS, ENSUITES, TOILETS & POWDER ROOMS ARE TO BE TILED & WATERPROOFED IN ACCORDANCE WITH AS 3740

NOTES

- SMOKE DETECTORS TO BE HARD-WIRED & INTERCONNECTED IN ACCORDANCE WITH NCC 22 VOL 2 & AS 3786. PROVIDE 'SELF CONTAINED' SMOKE ALARM CONNECTED DIRECTLY TO MAINS POWER WITH A 'STAND-BY' POWER SUPPLY AS REQUIRED BY NCC 22 VOL 2 INSTALLED STRICTLY AS PER MANUFACTURER'S SPEC.
- EXHAUST FAN DISCHARGED TO OUTSIDE AIR
 - PROVIDE LIFT-OFF HINGES TO ALL WC DOORS
 - PROVIDE 6mm THICK LAMINATED SAFETY GLASS TO WINDOWS WITHIN 500mm OF FL. AS PER AS. 1288-2021
 - GLAZING ASSEMBLIES ARE TO BE IN ACCORDANCE WITH A.S.2047-2014
 - 'CJ' DENOTES BRICK CONTROL JOINTS AS PER SOIL REPORT & TM61 OF CEMENT AND CONCRETE ASSOCIATION
 - LINTELS OVER OPENING & STUDS @ SIDE OF OPENINGS AS PER A.S. 3660-2017
 - REFER TO ENGINEER'S DRAWINGS FOR SUPPORTING COLUMNS, DOUBLE STUDS, POSTS ETC UNDER POINT LOADS
- BUILDER TO INSTALL A 2000 LITRE MIN. CAPACITY RAINWATER TANK CONNECTED TO ALL TOILETS AND TO COLLECT STORMWATER FROM 50mm MIN. OF ROOF
- BUILDER SHALL REFER TO THE ENERGY RATING REPORT SUMMARY SHEET AND ADHERE TO ALL THE CONDITIONS AND REQUIREMENTS. i.e. INSULATION, WINDOW TYPES, SEALS TO DOORS, WINDOWS & GAPS, FAN REQUIREMENTS AND ANY OTHER SPECIFIED ITEM
- BUILDER SHALL REFER TO THE TOWN PLANNING PERMIT AND ENDORSED TOWN PLANNING DRAWINGS AND ADHERE TO ALL CONDITIONS AND DETAILS OF THE PLANNING
- RAILS = ALL WINDOWS WITH OPENINGS AT A HEIGHT OF LESS THAN 1.7M ABOVE FINISHED FLOOR MUST BE PROVIDED WITH A MINIMUM AWNING OPENING OF 125mm WHERE GROUND LINE BELOW IS MORE THAN 2.0METRES IN ACCORDANCE WITH THE NCC 2022 VOL 2
- STAIRS TO BE PROVIDED WITH 240mm MIN TREADS & 190mm MAX RISERS; SLIP CLASSIFICATION TO BE P3 OR R10 (DRY) FOR INTERNAL STAIRS PROVIDED TO ALL TREADS & LANDING NOSINGS; HANDRAIL PROVIDED TO ONE SIDE OF STAIR TO A HEIGHT OF 865mm MEASURED VERTICALLY ABOVE THE LINE OF THE NOSING OF THE STAIR TREADS; BALUSTRADES TO LANDINGS TO BE 1.0m MIN HEIGHT. BALUSTRADE TO BE CONTINUOUS; ALL GAPS BETWEEN RAILS ARE TO BE 125mm MIN. BALUSTRADES. IN ACCORDANCE WITH THE NCC 2022 VOL 2
- ALL EAVES LOCATED WITHIN 900mm OF ADJOINING EAVES OF ADJOINING GARAGE OR DWELLING OR WITHIN 900mm OF ANY POTENTIAL FUTURE TITLE BOUNDARY (ONCE THE PLANS ARE SUB-DIVIDED) MUST BE LINED WITH 13mm PYROFIRE PLASTER AGAINST THE UNDERSIDE OF THE EAVE FRAME, AND A LAYER OF 16mm PYROFIRE PLASTER TO THE UNDERSIDE OF THE 13mm PYROFIRE, AND LAYER OF 7.5mm FIBRE CEMENT SHEET BENEATH THE 16mm PYROFIRE AND MUST INCORPORATE A NON-COMBUSTIBLE FASCIA COVERING FOR A LENGTH OF 1800mm AWAY FROM THAT ADJOINING BUILDING OR FUTURE TITLE BOUNDARY

GENERAL REQUIREMENTS

DRAWINGS PREPARED FROM INFORMATION SUPPLIED BY THE OWNER &/OR BUILDER. ALL DIMENSIONS ARE IN MILLIMETRES & SHALL BE VERIFIED ON SITE.

DO NOT SCALE DRAWINGS

ALL DIMENSIONS & ALL FLOOR LEVELS PROVIDED ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY & SUITABILITY.

THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS

ALL STRUCTURAL ELEMENTS ARE TO BE DESIGNED BY A PRACTICING STRUCTURAL ENGINEER

ALL METAL FITTINGS USED IN STRUCTURAL TIMBER JOINTS & BRACING MUST HAVE CORROSION PROTECTION.

AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PRODUCT SPECIFICATION

NCC REFERS TO THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA – VOLUME 2 (NCC 2022)

ABC B REFERS TO AUSTRALIAN BUILDING CODES BOARD, (ABC B)

ALL CONSTRUCTION WORK MUST BE COMPLETED STRICTLY IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC 2022) VOLUME 2, NCC VOLUME 3 "PLUMBING CODE OF AUSTRALIA" & THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS ST&ARD.

STATUTORY REQUIREMENTS

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC, CONDITIONS IMPOSED BY THE LOCAL AUTHORITY & THE COMMITMENTS OUTLINED IN THE RELEVANT BASIX CERTIFICATE &/OR NATHER'S ASSESSMENT.

THE BUILDER IS TO COMPLY WITH THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTORITIES HAVING JURISDICTION OVER THE BUILDING WORKS & THE PROVISIONS OF THE HOME BUILDING ACT

PRIOR TO THE COMMENCEMENT OF BUILDING WORK, THE BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF SUBCONTRACTORS. WHERE THE LOCAL AUTHORITY REQUIRES THE TEMPORARY TOILET TO BE CONNECTED TO THE SEWER MAINS, THE ADDITIONAL COST SHALL BE BORNE BY THE OWNER. ON COMPLETION, THE BUILDER SHALL REMOVE THE AMENITY

NCC REQUIREMENTS – SECTION H CLASS 1 & 10 BUILDINGS.

PART H1 STRUCTURE:

A CLASS 1 OR 10 BUILDING'S STRUCTURAL RELIABILITY & RESISTANCE SHALL COMPLY WITH H1P1 OF NCCA CLASS 1 OR CLASS 10 BUILDING MUST BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2 (PARTS 2.1 & 2.2)

OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS, OR THE RELEVANT PROVISIONS OF H1D2, H1D3-H1D12 OF NCC FOR STRUCTURAL PROVISIONS OR ANY COMBINATION THEREOF

ALL SITE PREPARATION & EARTHWORKS SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS & H1D3 OF NCC & SECTION 3 (PARTS 3.1-3.4) & SECTION 4 (PART 4.2.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

ALL FOOTINGS & SLABS, EXCAVATIONS UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS & H1D4 & NSW H1D4(1) & H2D3 OF NCC & SECTION 4 (PARTS 4.1-4.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

ALL MASONRY SHALL COMPLY WITH H1D5 & H2D4 OF NCC & SECTION 5 (PARTS 5.1-5.7) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS. APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS

TIMBER FRAMEWORK SHALL COMPLY WITH H1D6 OF NCC, AS1684 & SECTION 6 (PARTS 6.1-6.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS

STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION & H1D6 OF NCC & SECTION 6 (PARTS 6.1-6.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS

ALL ROOF CLADDING & WALL CLADDING SHALL COMPLY WITH H1D7 & H2D6 OF NCC & SECTION 7 (PARTS 7.1-7.5) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS. & BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

ALL GLAZING SHALL COMPLY WITH H1D8 & H2D7 OF NCC & SECTION 8 (PARTS 8.1-8.4) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS

A CLASS 1 BUILDING CONSTRUCTED IN A FLOOD HAZARD AREA SHALL COMPLY WITH H1P2 & H1D10 OF NCC & CONSTRUCTED IN ACCORDANCE WITH THE AUSTRALIAN BUILDING CODES BOARD (ABC B) ST&ARD FOR CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS

SHALL BE IN ACCORDANCE WITH H1D11 OF NCC & SECTION 12 (PART 12.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS

SHALL BE IN ACCORDANCE WITH H1D11 OF NCC & SECTION 12 (PART 12.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS

SHALL BE IN ACCORDANCE WITH H1D12 OF NCC & IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS.

PILED FOOTINGS TO BE IN ACCORDANCE WITH H1D12 OF NCC & IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS.

PART H2 DAMP & WEATHERPROOFING:

RAINWATER MANAGEMENT, INCL. SURFACE WATER SHALL COMPLY WITH PART H2P1 OF NCC

WEATHERPROOFING OF A BUILDING SHALL COMPLY WITH PART H2P2 OF NCC

RISING DAMP SHALL COMPLY WITH PART H2P3 OF NCC & PART NSW H2P3(1) & (2)

DRAINAGE FOR SWIMMING POOLS SHALL COMPLY WITH PART H2P4 OF NCC

DRAINAGE SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH PART H2D2 OF NCC & SECTION 3 (PART 3.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS

SUBFLOOR VENTILATION TO BE IN ACCORDANCE WITH H2D5 & H2P3 OF NCC & SECTION 5 (PART 5.7) & SECTION 6 (PART 6.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

EXTERNAL WATERPROOFING FOR ROOFING SYSTEMS ON FLAT ROOFS, ROOF TERRACES, BALCONIES & TERRACES & OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH H2D8 OF NCC

PART H3 FIRE SAFETY:

A CLASS 1 BUILDING MUST BE PROTECTED FROM THE SPREAD OF FIRE IN ACCORDANCE WITH H3P1 OF NCC

ALL OCCUPANTS OF A CLASS 1 BUILDING MUST BE PROVIDED WITH AUTOMATIC WARNING ON THE DETECTION OF SMOKE IN ACCORDANCE WITH H3P2

CLASS 1 & 10 BUILDINGS WITHIN THE BUSHFIRE ZONE MUST BE CONSTRUCTED WITH MATERIALS CONTAINING FIRE HAZARD PROPERTIES & NON-COMBUSTIBLE ELEMENTS IN ACCORDANCE WITH H3D2 OF NCC

FIRE SEPARATION OF EXTERNAL WALLS MUST COMPLY WITH H3D3 OF NCC & PART 9.2 OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

FIRE PROTECTION OF SEPARATING WALLS & FLOORS MUST COMPLY WITH H3D4 OF NCC & PART 9.3 OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

FIRE SEPARATION OF GARAGE-TOP DWELLINGS MUST COMPLY WITH H3D5 & NSWH3D5 OF NCC & SECTION 9 (PARTS 9.3 & 9.4) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

SMOKE ALARMS & EVACUATION LIGHTING TO BE INSTALLED IN ACCORDANCE WITH H3D6 OF NCC & SECTION 9 (PART 9.5) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

PART H4. HEALTH & AMENITY:

WET AREAS TO BE CONSTRUCTED & WEATHERPROOFED IN ACCORDANCE WITH H4D2, H2P1 & H2D8 OF NCC & SECTION 10 (PART 10.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

MATERIALS & INSTALLATION OF WET AREA COMPONENTS & SYSTEMS MUST COMPLY WITH H4D3 OF NCC & SECTION 10 (PART 10.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

ROOM HEIGHTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH H4D4 & H4P2 OF NCC & SECTION 10 (PART 10.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

HEALTH & AMENITY FACILITIES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH H4D5 & H4P3 OF NCC & SECTION 10 (PART 10.4) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

LIGHT SHALL COMPLY WITH H4D6 & H4P4 OF NCC & SECTION 10 (PART 10.5) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

ARTIFICIAL LIGHTING IS TO BE INSTALLED IN ACCORDANCE WITH H4D6 OF NCC & SECTION 10 PART 10.5.2 TO ANY SANITARY COMPARTMENT, BATHROOM, SHOWER ROOM, ALROCK & LAUNDRIES IF NATURAL LIGHTING IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF PART 10.5.1 IS NOT AVAILABLE

VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH H4D7 & H4P5 OF NCC & SECTION 10 (PART 10.6) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS. & INSTALLED TO MANUFACTURERS SPECIFICATIONS

SOUND INSULATION IS TO BE INSTALLED IN ACCORDANCE WITH H4D8 & H4P6 OF NCC & SECTION 10 (PART 10.7) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS. & INSTALLED TO MANUFACTURERS SPECIFICATIONS

CONDENSATION & WATER VAPOUR MANAGEMENT SHALL COMPLY WITH H4D9 & H4P7 OF NCC & SECTION 10 (PART 10.8) OF THE AUSTRALIAN BUILDING CODES BOARD (ABC B) HOUSING PROVISIONS.

PART H5. SAFE MOVEMENT &

REVISIONS			
1	A	25.02.25	TOWNPLANNING SUBMISSION
2	B	31.03.25	RFI 1 LETTER DATED THE 7TH OF MARCH 2025

WALL LEGEND (SEE WALL DETAILS)	
■	EXISTING WALLS
—	PROPOSED WALLS

AREA ANALYSIS	
RESIDENCE	
EXISTING RESIDENCE including front verandah	113.32
GARAGE	22.0
REAR VERANDAH	28.0
OUTDOOR LAUNDRY	12.3
PROPOSED RESIDENCE within existing building footprint	147.22
GARAGE	22.0
S.P.O.S	27.4
TOTAL BUILT UP AREA	169.22
TOTAL SITE AREA	251.20
TOTAL SITE COVERAGE	67.3%
PERMEABILITY	32.6%

LEGEND

- SMOKE ALARM TO AS 3786
PROVIDE 'SELF CONTAINED' SMOKE ALARM CONNECTED DIRECTLY TO MAINS POWER WITH A STAND-BY POWER SUPPLY AS REQUIRED BY BCA VIC. E1.7.1 INSTALLED STRICTLY AS PER MANUFACTURER'S SPEC.
- EXHAUST FAN DISCHARGED DIRECTLY TO OUTSIDE AIR (WITH DRAFT STOPPERS)
- ◆ 11 WATT LED DOWNLIGHTS
- XX DOUBLE INTERNAL G.P.O.
- XXH DOUBLE INTERNAL G.P.O. 1200mm ABOVE FLOOR LEVEL MUST BE WATERPROOFED IN WET AREAS
- T TELEPHONE POINT
- TV TELEVISION POINT

ALLOW FOR G.P.O'S FOR THE FOLLOWING:
 DISHWASHER
 INSINKERATOR (LOCATED UNDER SINK) IF REQUIRED
 WALL OVEN & MICROWAVE OVEN
 REFRIGERATOR
 RANGEHOOD
 HOTPLATE
 HEATER IN LIVING ROOM & RUMPS RM IF REQUIRED
 DRYER IF REQUIRED
 WASHING MACHINE
 SPA PUMP IF REQUIRED
 AIR CONDITIONERS IF REQUIRED
 DUCTED HEATER IF REQUIRED
 GARAGE DOOR MOTOR
 DUCTED VACUUM & OUTLETS (LOCATION TO BE ADVISED) IF REQUIRED
AND ANY OTHER ELECTRICAL ITEM TO BE INSTALLED
 ALLOW FOR LIGHT & LIGHT SWITCH TO BE LOCATED NEAR ROOF/CEILING ACCESS

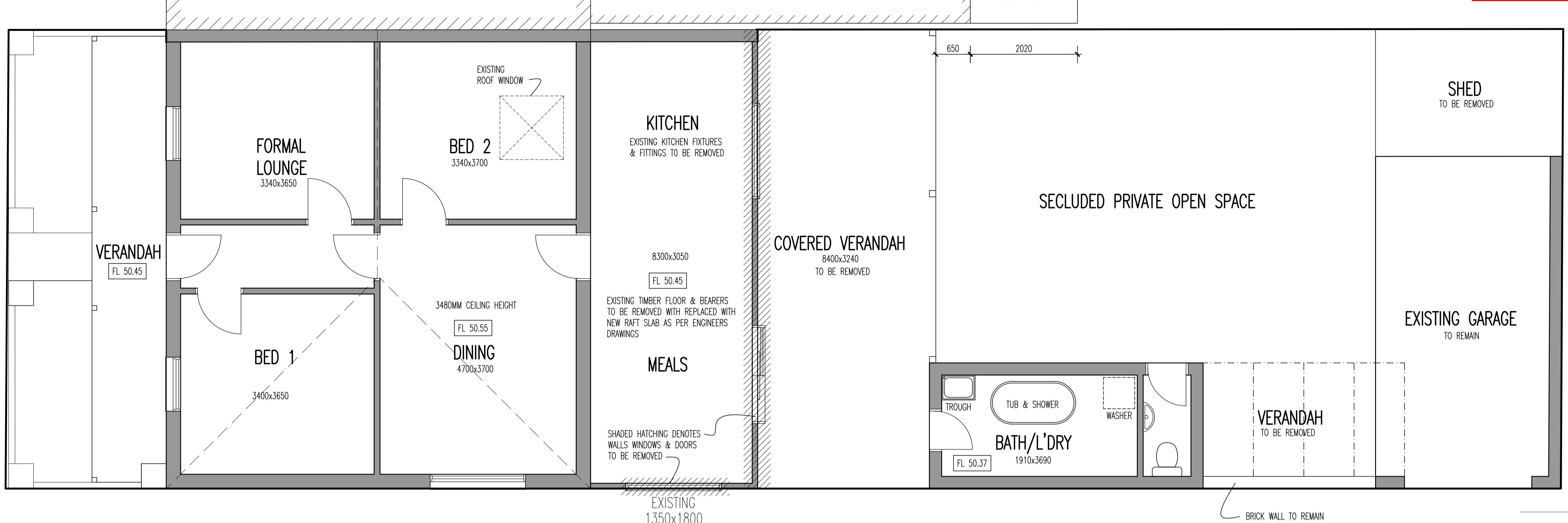
NOTE: ALLOW FOR SINGLE INTERNAL AND EXTERNAL G.P.O'S TO ALL ELECTRICAL FIXTURES

PROJECT TITLE
**PROPOSED ALTERATIONS & EXTENSION AT:
 NO.9 STALEY STREET,
 BRUNSWICK**

EXISTING & PROPOSED FLOOR PLANS

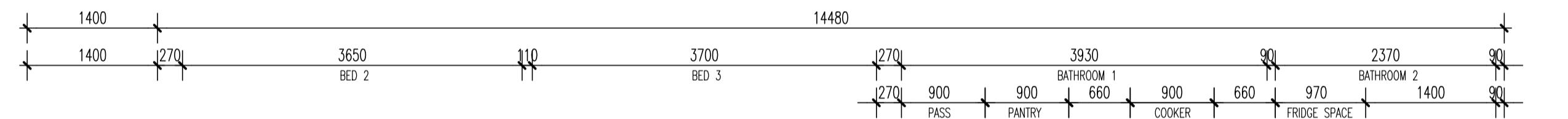
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PROJECT NO.	25-004	DRAWING NO.	4
		REVISION	B

EXISTING ADJACENT DWELLING



EXISTING FLOOR PLAN

SCALE - 1:50

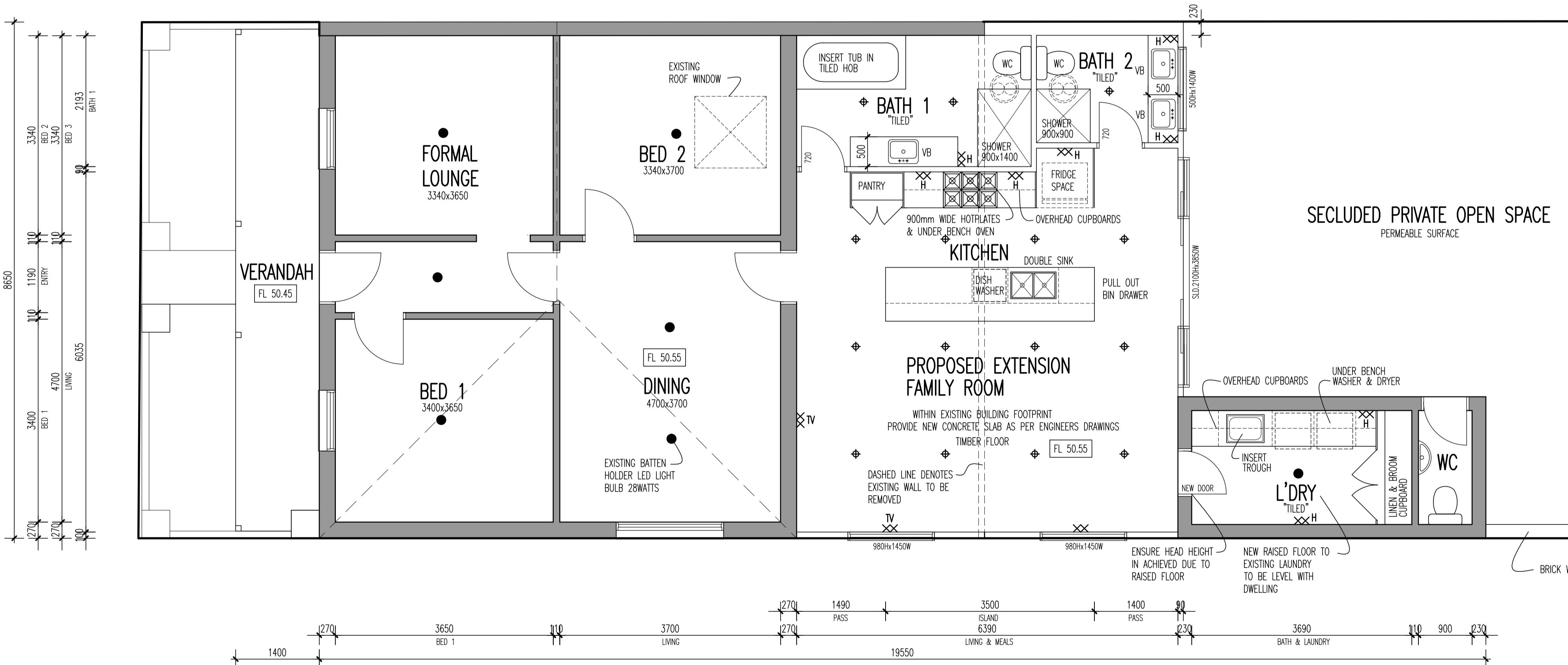


BCA ARTIFICIAL LIGHTING REQUIREMENTS (NAT)	
PROPOSED RESIDENCE	
TOTAL FLOOR AREA = 123.7m ²	
11 watt LED DOWNLIGHTS = 165	
28 watt LED BATTEN HOLDER = 168	
333watts/123.7m ² = 2.69w/m ²	
GARAGE FLOOR AREA = 22.00m ²	
36-40watt FLOURESCENT LIGHT = 1	
40watts/22.00m ² = 1.82w/m ²	

SECLUDED PRIVATE OPEN SPACE

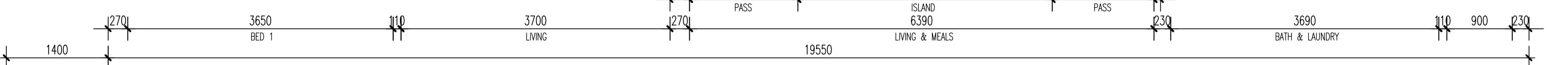
PERMEABLE SURFACE

EXISTING GARAGE
TO REMAIN



PROPOSED FLOOR PLAN

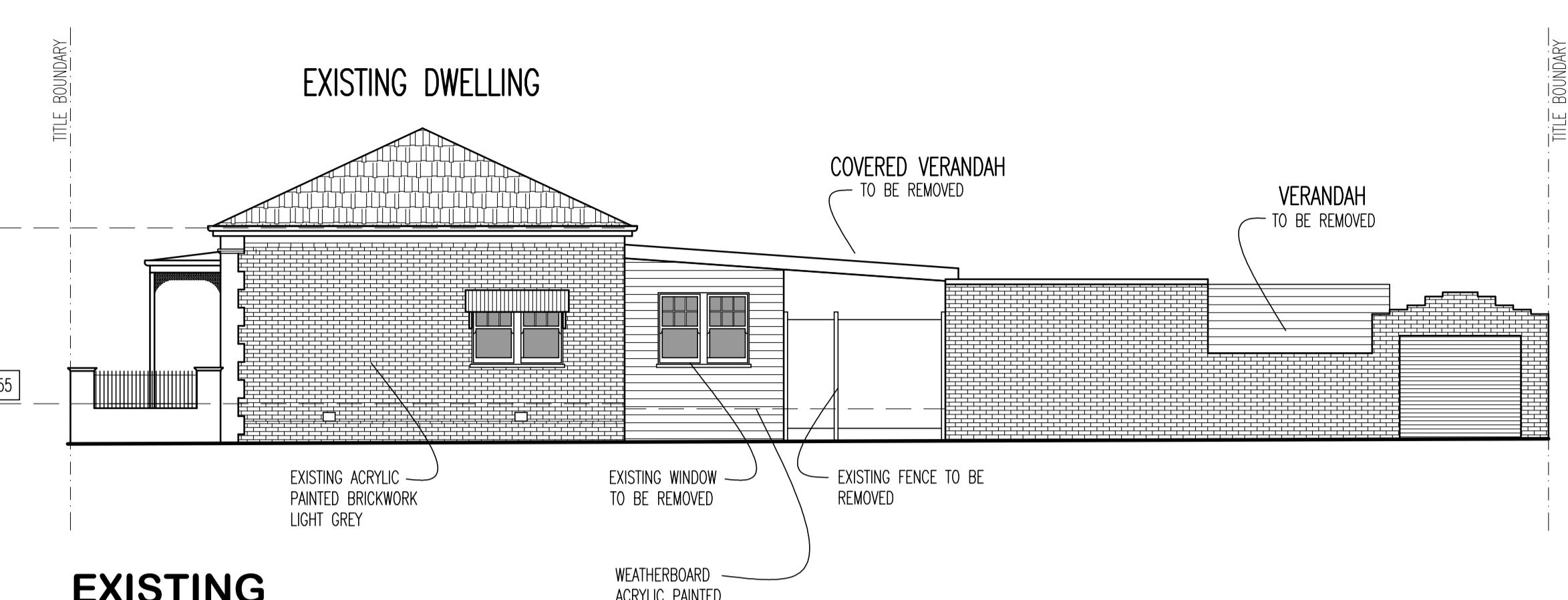
SCALE - 1:50





**EXISTING
WEST ELEVATION**

SCALE 1:100

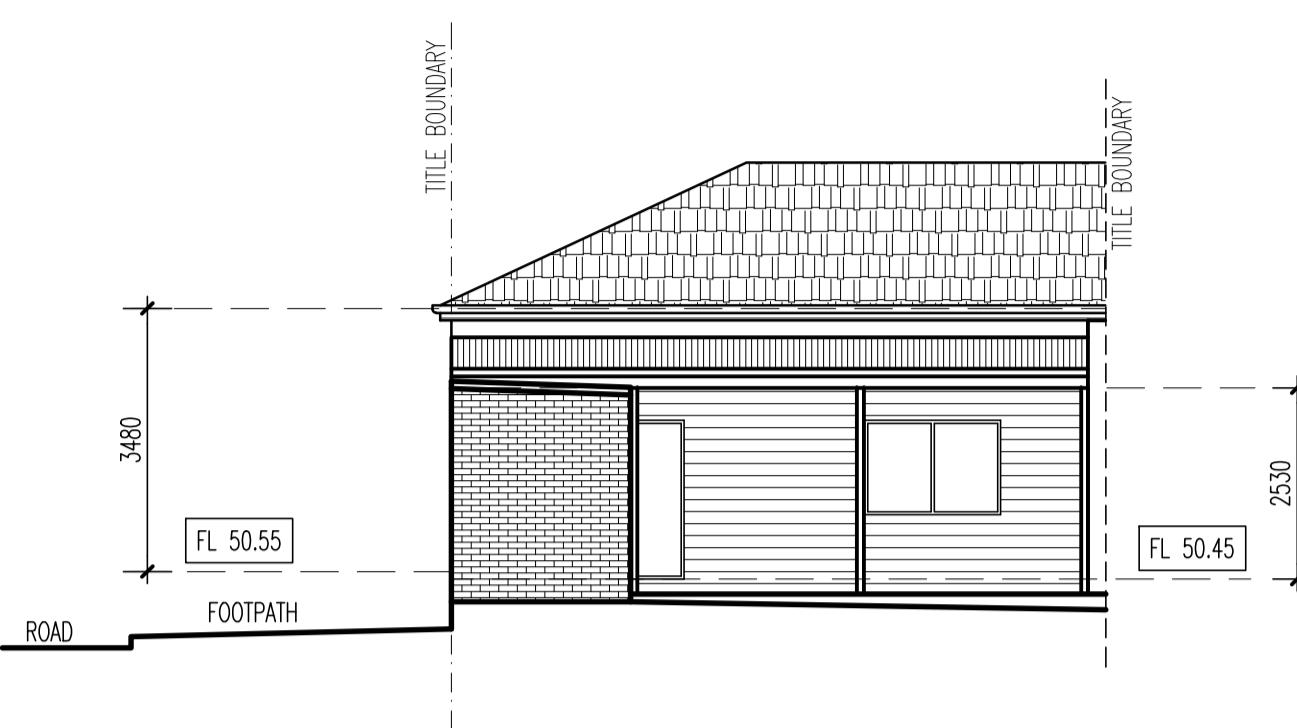


**EXISTING
SOUTH ELEVATION**

SCALE 1:100

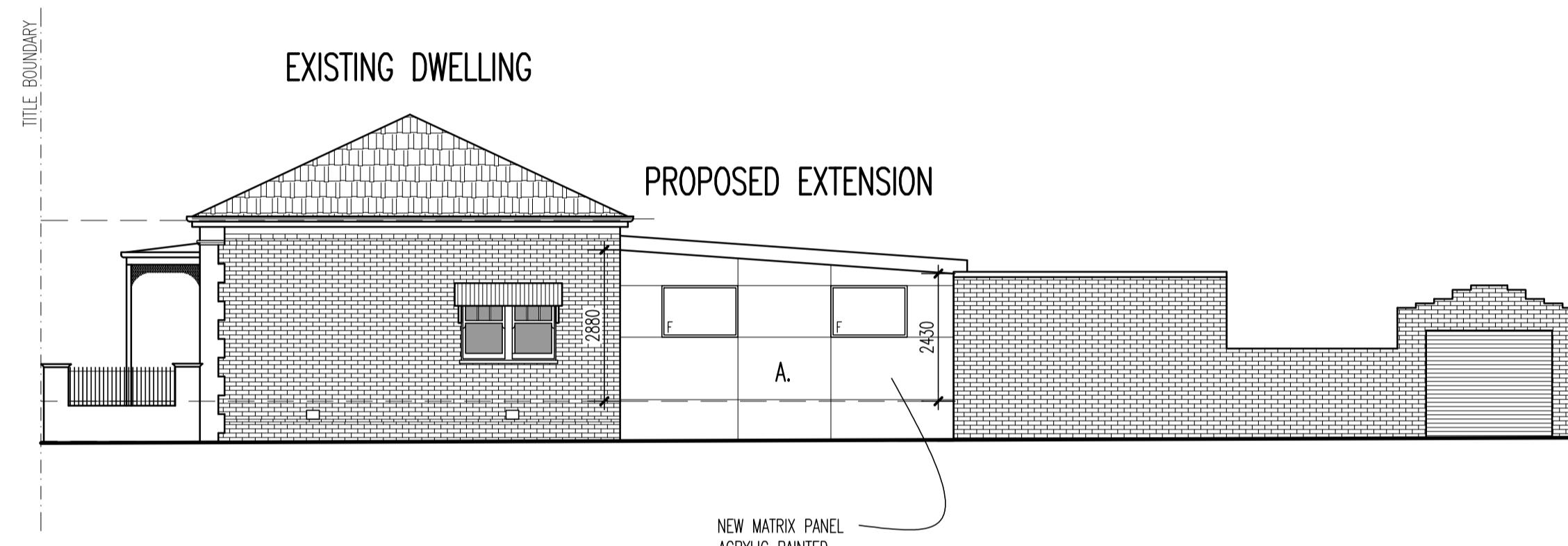
**PLANNING ENVIRONMENT ACT 1987
MERRI-BEK PLANNING SCHEME**
Advertised Document
Advertised Plan Sheet 5 of 8
Application No: MPS/2025/106
Date : 29/04/2025

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REVISIONS
NO DATE AMENDMENTS
1 A 25.02.25 TOWNPLANNING SUBMISSION BD
2 B 31.03.25 RFI 1 LETTER DATED THE 7TH OF MARCH 2025 BD



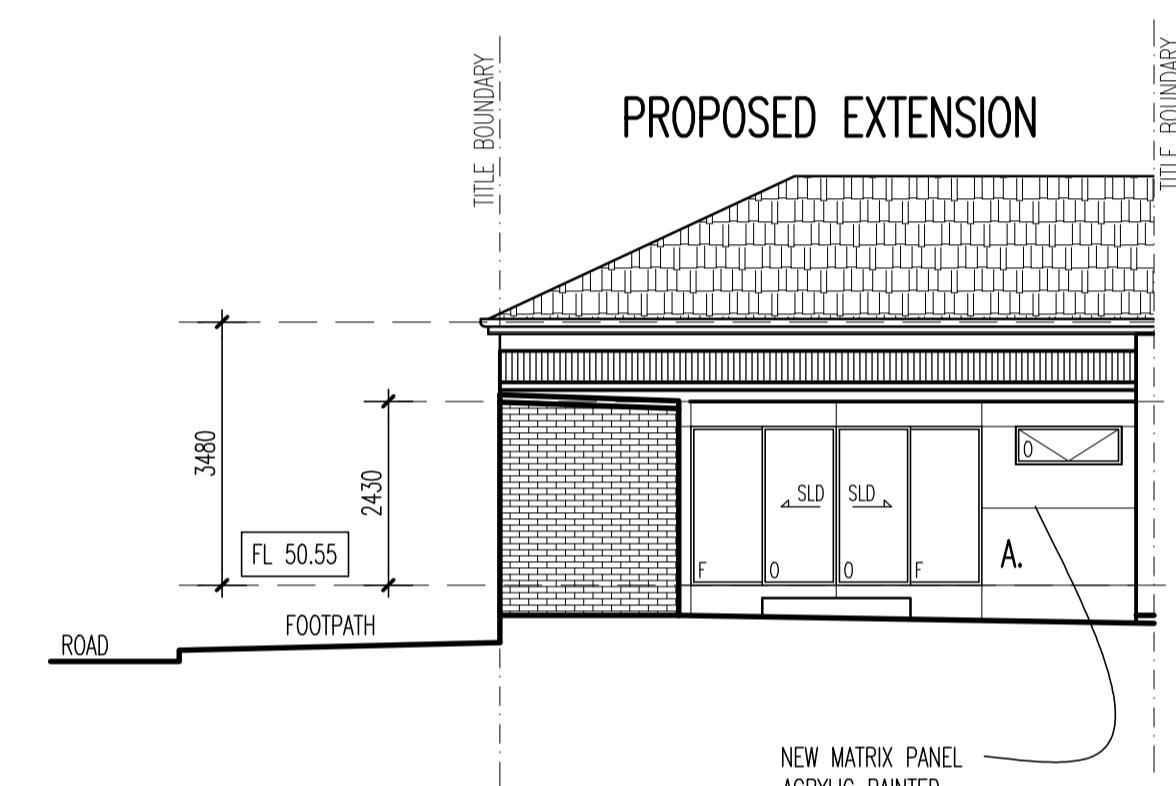
**EXISTING
EAST ELEVATION**

SCALE 1:100



**PROPOSED
SOUTH ELEVATION**

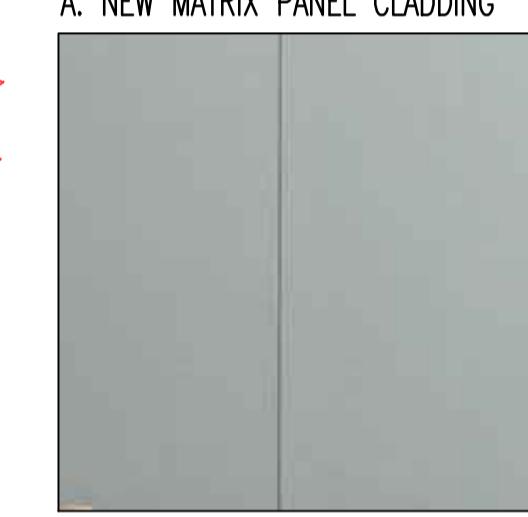
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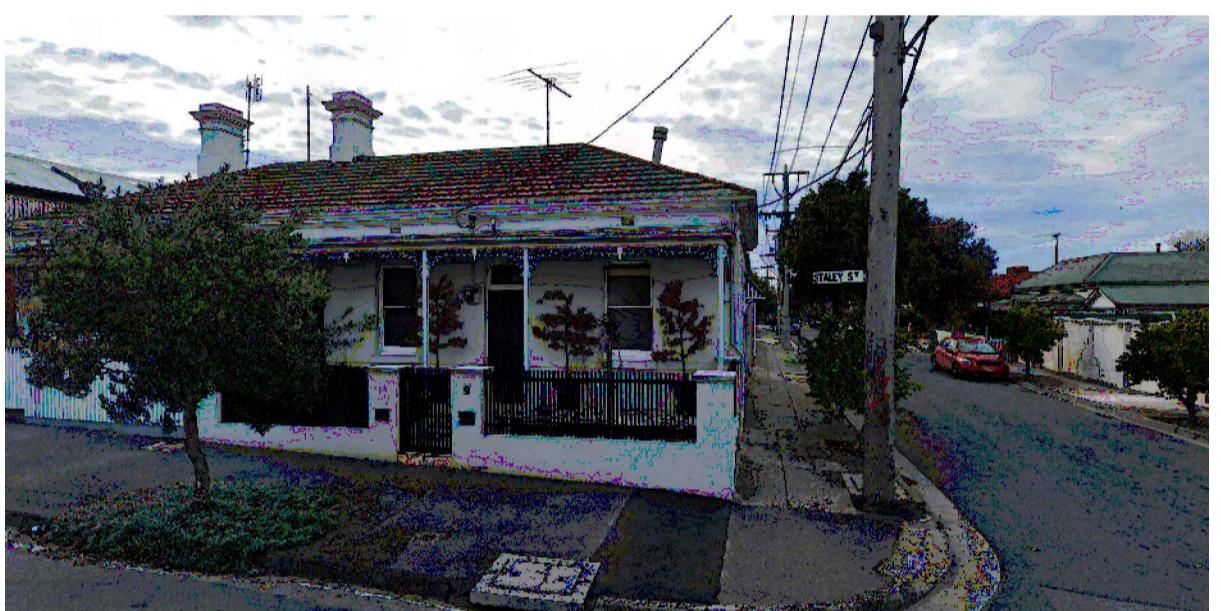
**PROPOSED
EAST ELEVATION**

SCALE 1:100

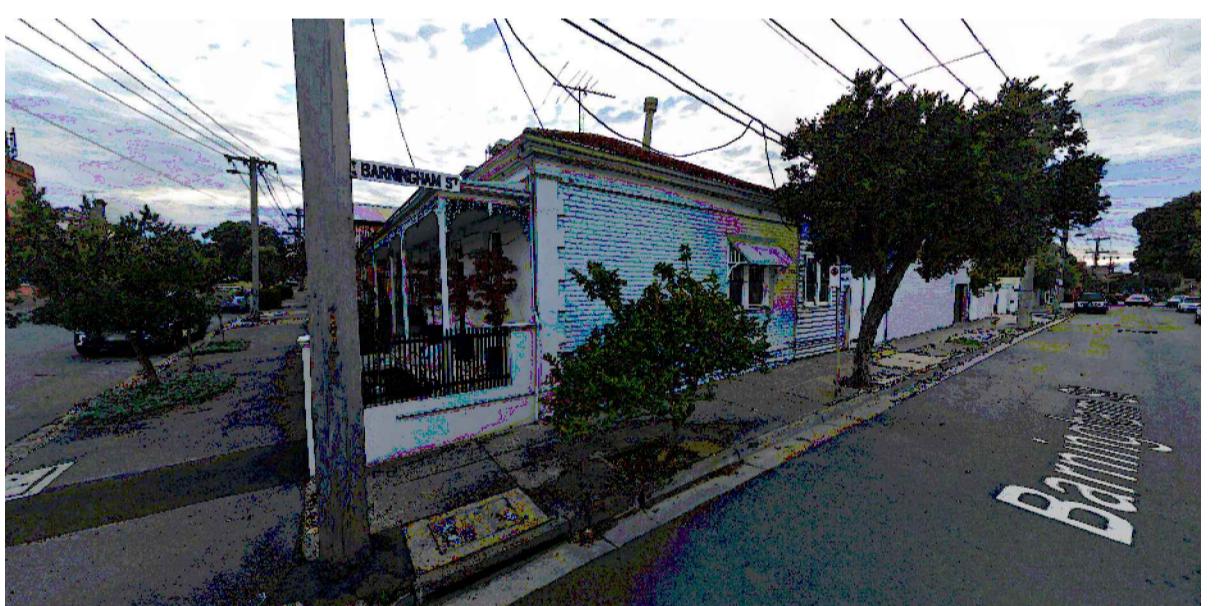
RFI 2D
COLOURS & MATERIALS



ALUMINIUM FRAMED WINDOWS & DOORS



STALEY STREET VIEW

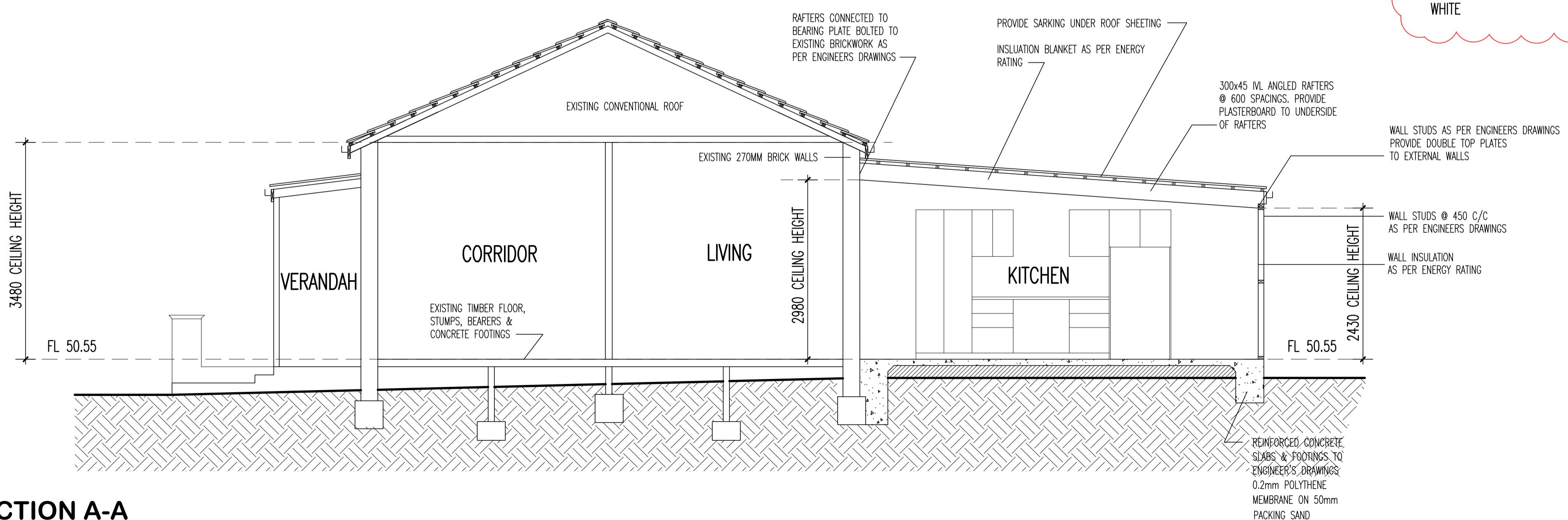


BARNINGHAM STREET VIEW

PROJECT TITLE
**PROPOSED ALTERATIONS &
EXTENSION AT:
NO.9 STALEY STREET,
BRUNSWICK**

DRAWING TITLE
**EXISTING & PROPOSED ELEVATIONS
SECTION A-A**

DRAWN	BD	CAD FILE NO.
SCALE	1:100	CHECKED
DRAWN DATE	FEB 25	PLOT DATE / TIME
PROJECT NO.	25-004	DRAWING NO.
	5	REVISION
		B

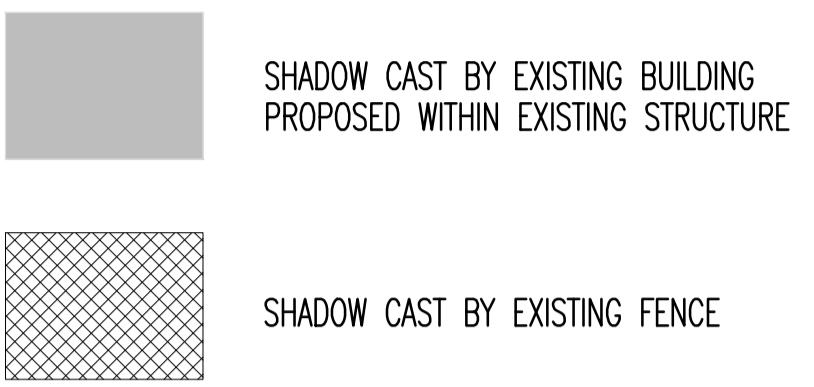


SECTION A-A

SCALE 1:50

NO	DATE	AMENDMENTS	INIT
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2	B 31.03.25	RFI 1 LETTER DATED THE 7TH OF MARCH 2025	BD

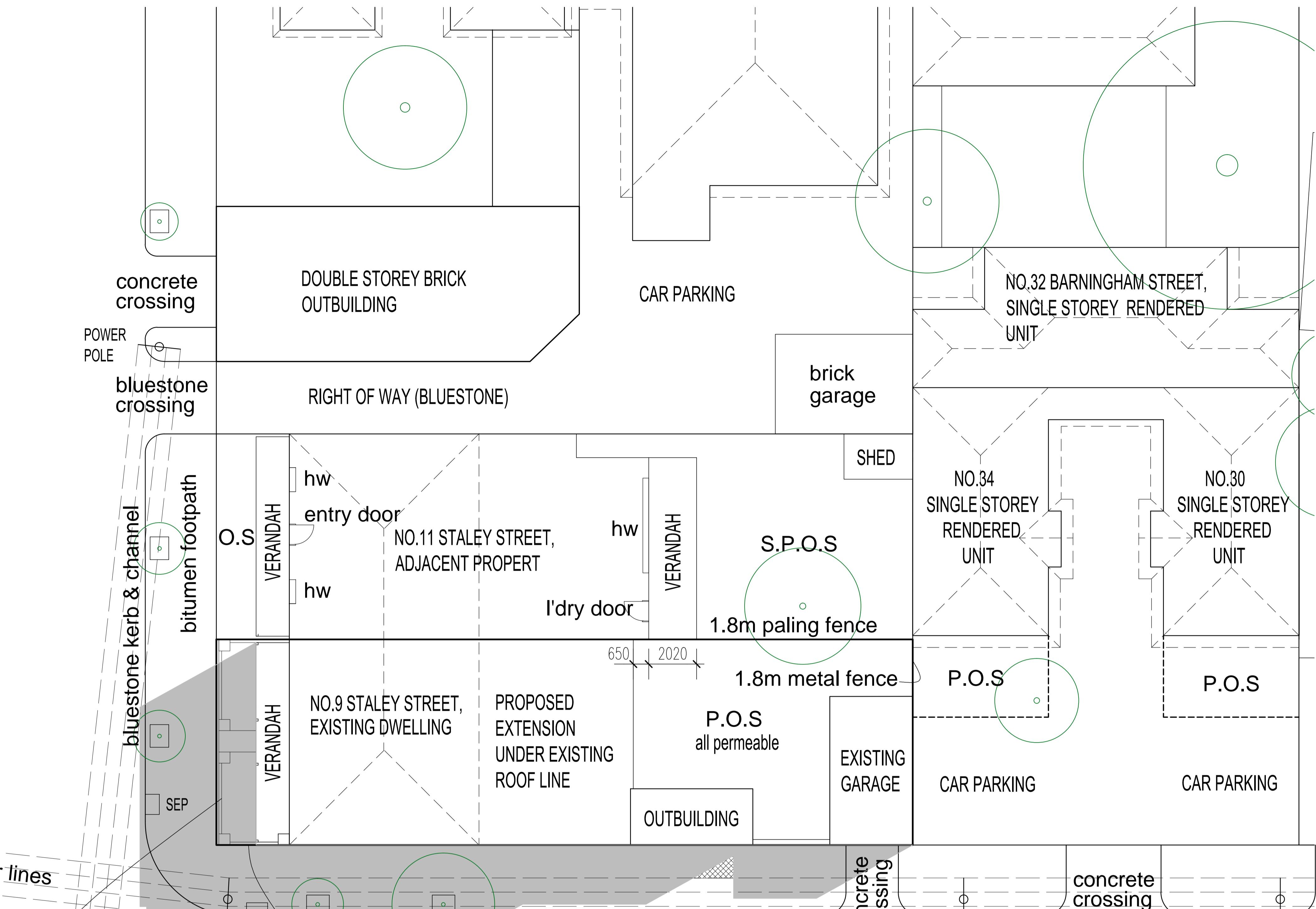
SHADOW PLANS @ 9.00AM



SHADOW PLANS @ 9.00AM
SEPTEMBER 22 - AZI 304 ALT 36 - MELB LAT 38 STH

PLANNING ENVIRONMENT ACT 1987
MERRI-BEK PLANNING SCHEME
Advertised Document
Advertised Plan Sheet:6 of 8
Application No: MPS/2025/106
Date : 29/04/2025

STALEY STREET



BARNINGHAM STREET

concrete footpath

PROJECT TITLE
PROPOSED ALTERATIONS &
EXTENSION AT:
NO.9 STALEY STREET,
BRUNSWICK

9:AM SHADOW PLAN

DRAWN	BD	CAD FILE NO.
SCALE	1:200	CHECKED
DRAWN DATE	FEB' 25	PLOT DATE / TIME
PROJECT NO.	25-004	DRAWING NO.

RFI 3

9:AM SHADOW PLAN

SCALE 1:100

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REVISIONS		
NO	DATE	AMENDMENTS
1	A 25.02.25	TOWNPLANNING SUBMISSION
2	B 31.03.25	RFI 1 LETTER DATED THE 7TH OF MARCH 2025
		BD

SHADOW PLANS @ 9.00AM

SHADOW CAST BY EXISTING BUILDING
PROPOSED WITHIN EXISTING STRUCTURE

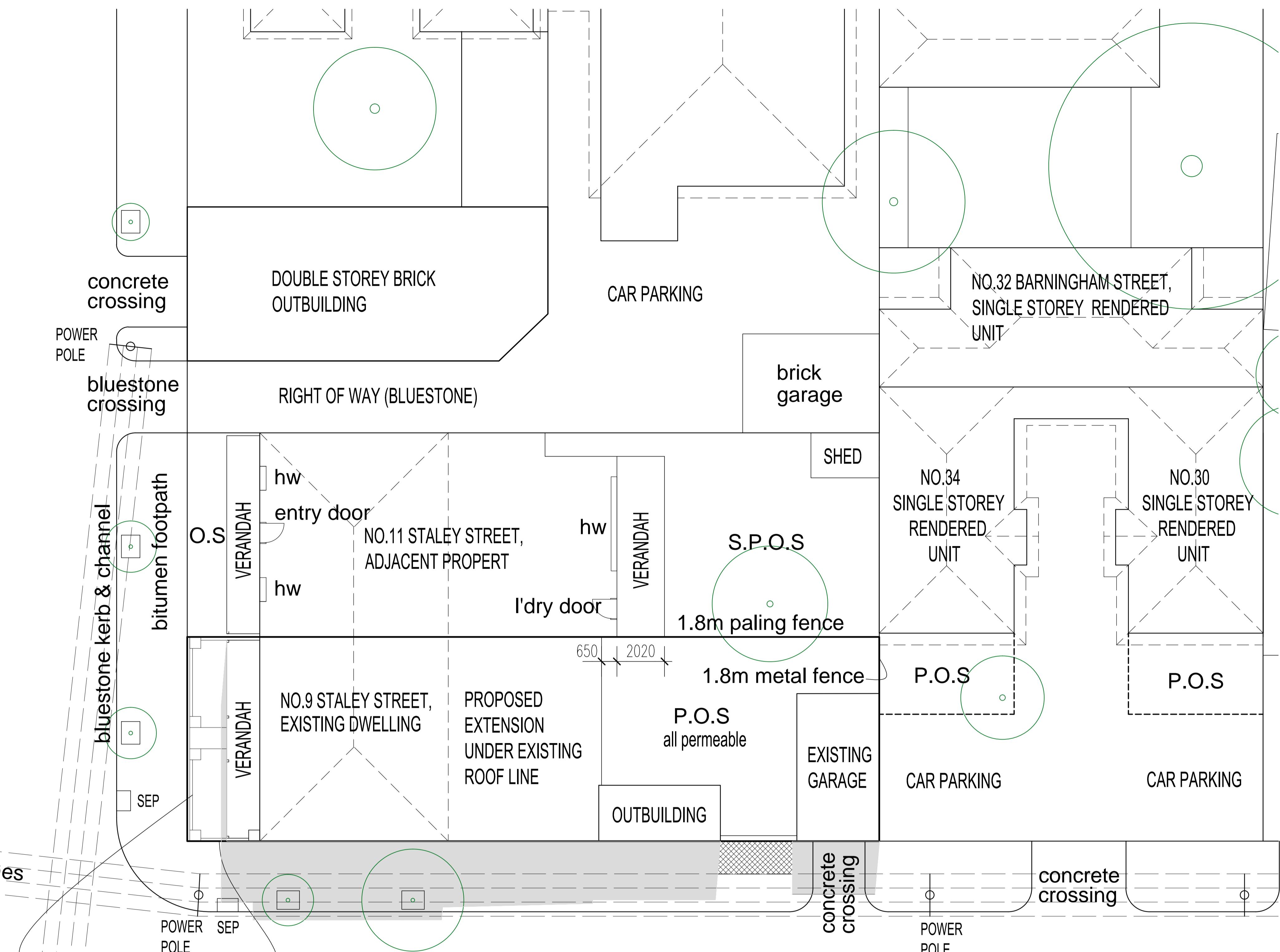
SHADOW CAST BY EXISTING FENCE

SHADOW PLANS @ 9.00AM
SEPTEMBER 22 - AZI 304 ALT 36 - MELB LAT 38 STH

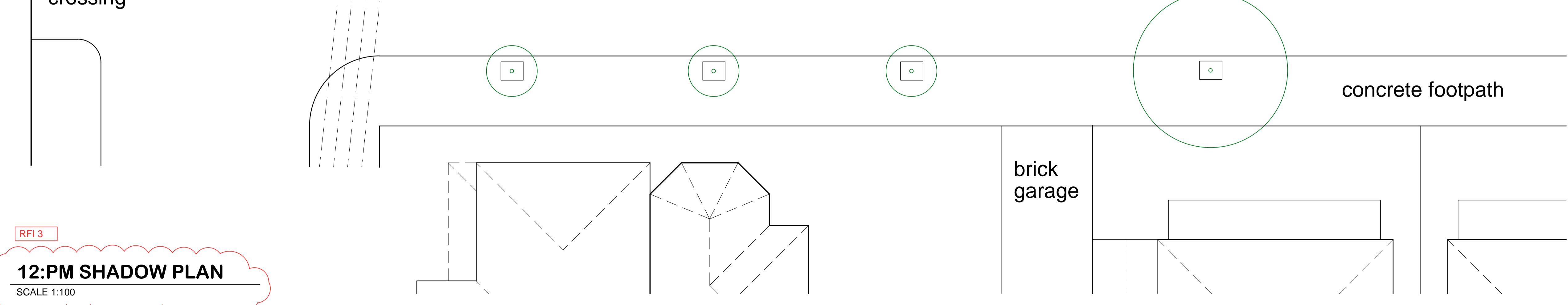
PLANNING ENVIRONMENT ACT 1987
MERRI-BEK PLANNING SCHEME

Advertised Document
Advertised Plan Sheet:7 of 8
Application No: MPS/2025/106
Date : 29/04/2025

STALEY STREET



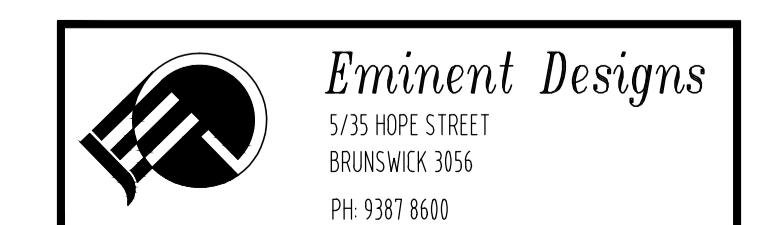
BARNINGHAM STREET



PROJECT TITLE
PROPOSED ALTERATIONS & EXTENSION AT:
NO.9 STALEY STREET,
BRUNSWICK

DRAWING TITLE
12:PM SHADOW PLAN

DRAWN	BD	CAD FILE NO.
SCALE	1:200	CHECKED VC
DRAWN DATE	FEB 25	PLOT DATE / TIME
PROJECT NO.	25-004	DRAWING NO. 7
		REVISION B



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REVISIONS		
NO	DATE	AMENDMENTS
1	A 25.02.25	TOWNPLANNING SUBMISSION
2	B 31.03.25	RFI 1 LETTER DATED THE 7TH OF MARCH 2025
		BD

SHADOW PLANS @ 9.00AM

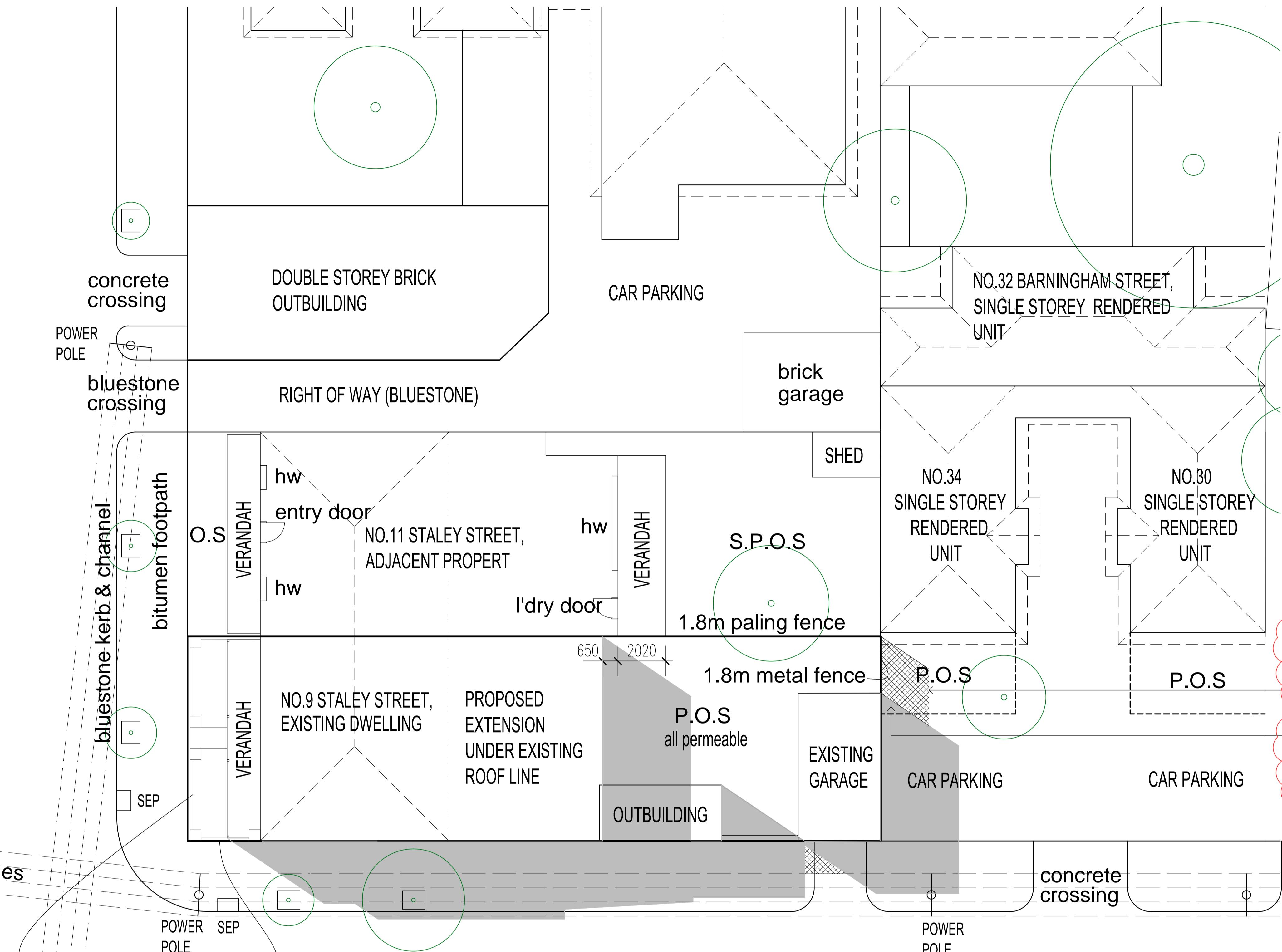
SHADOW CAST BY EXISTING BUILDING
PROPOSED WITHIN EXISTING STRUCTURE

SHADOW CAST BY EXISTING FENCE

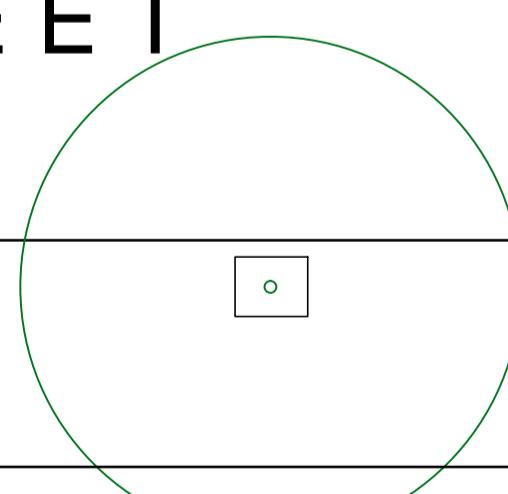
SHADOW PLANS @ 9.00AM
SEPTEMBER 22 - AZI 304 ALT 36 - MELB LAT 38 STH

PLANNING ENVIRONMENT ACT 1987
MERRI-BEK PLANNING SCHEME
Advertised Document
Advertised Plan Sheet 8 of 8
Application No: MPS/2025/106
Date: 29/04/2025

STALEY STREET



BARNINGHAM STREET



concrete footpath

PROJECT TITLE
PROPOSED ALTERATIONS &
EXTENSION AT:
NO.9 STALEY STREET,
BRUNSWICK

DRAWING TITLE
3:PM SHADOW PLAN

DRAWN	BD	CAD FILE NO.
SCALE	1:200	CHECKED VC
DRAWN DATE	FEB 25	PLOT DATE / TIME
PROJECT NO.	25-004	DRAWING NO. 8
		REVISION B

RFI 3

3:PM SHADOW PLAN

SCALE 1:100