

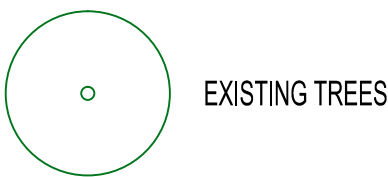
BLYTH STREET

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REVISIONS			
NO	DATE	AMENDMENTS	INT
1	A	25.02.25 TOWNPLANNING SUBMISSION	BD
2	B	31.03.25 RFI 1 LETTER DATED THE 7TH OF MARCH 2025	BD

LEGEND

- HW DENOTES HABITABLE ROOM WINDOWS
- W DENOTES NON-HABITABLE WINDOWS

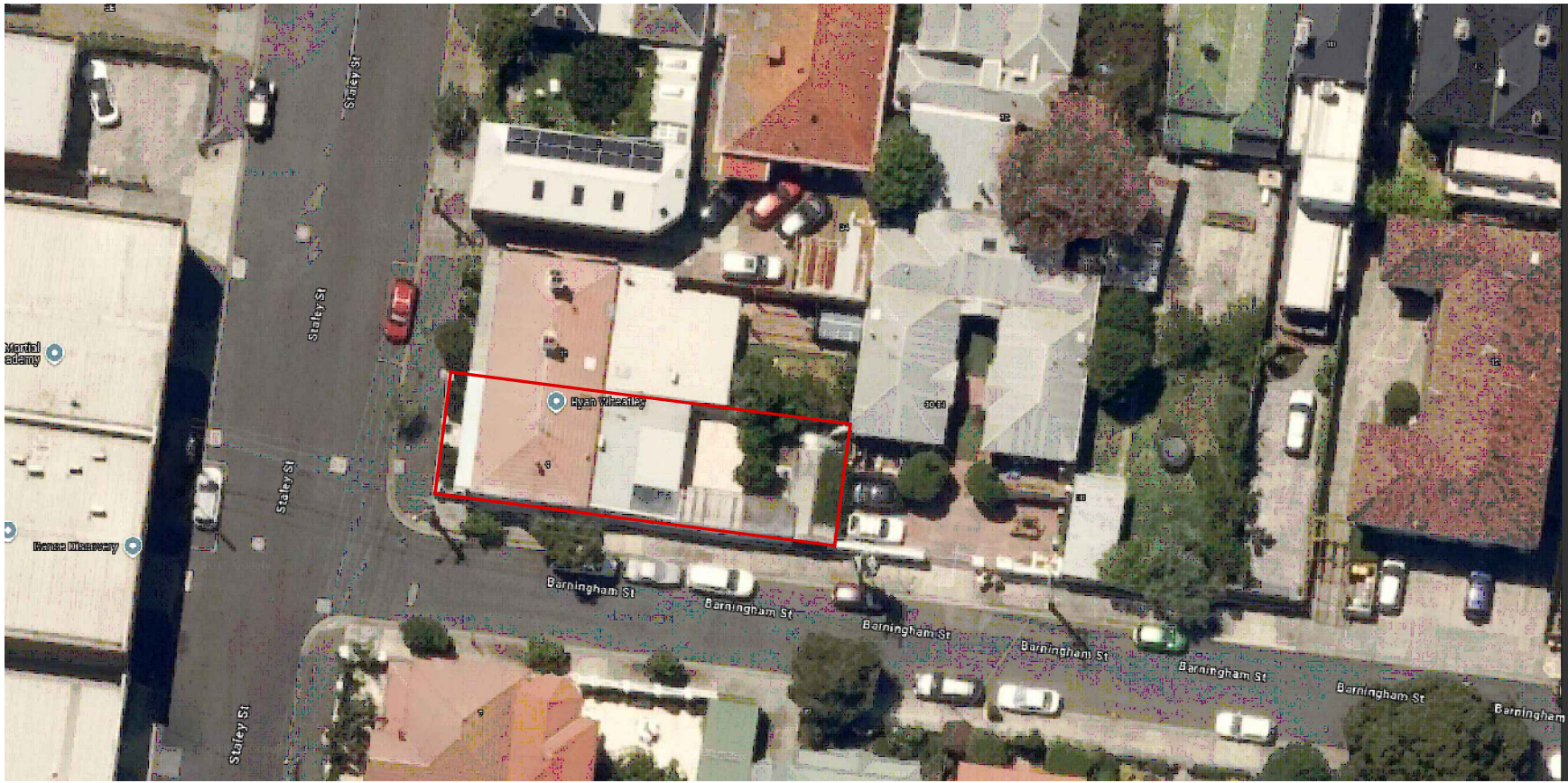


PLANNING ENVIRONMENT ACT 1987
 MERRI-BEK PLANNING SCHEME

Advertised Document
 Advertised Plan Sheet: 1 of 8
 Application No: MPS/2025/106
 Date : 29/04/2025

EXISTING SITE PLAN

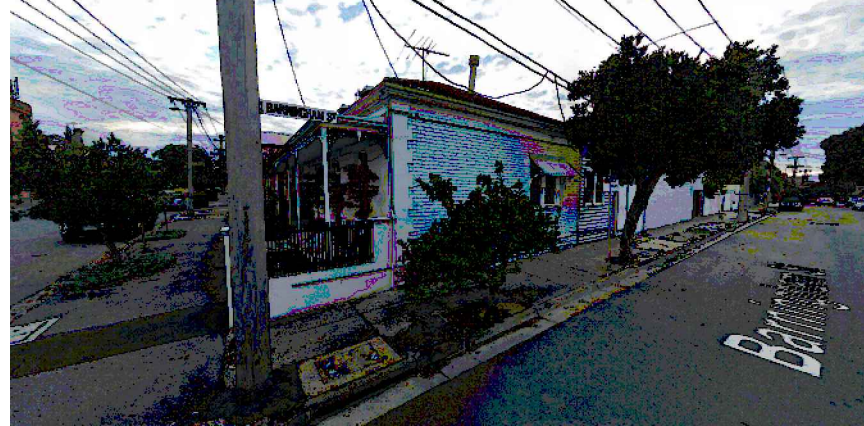
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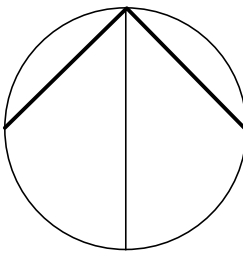
AERIAL VIEW



STALEY STREET VIEW




BARNINGHAM STREET VIEW



PROPOSED ALTERATIONS &
 EXTENSION AT:
 NO.9 STALEY STREET,
 BRUNSWICK

EXISTING SITE PLAN

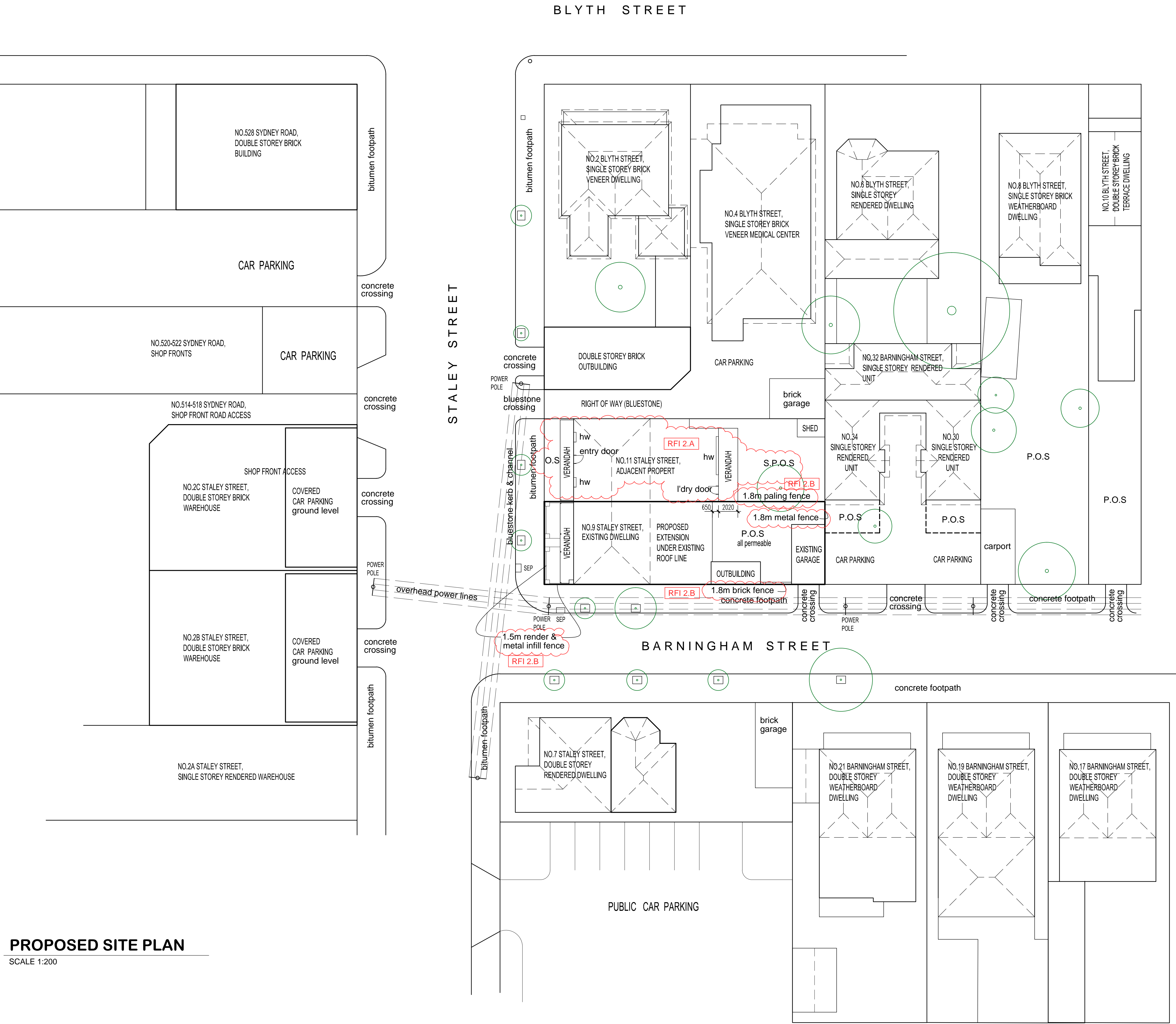
DRAWN	BD	CAD FILE NO.	
SCALE	1:200	CHECKED	VC
DRAWN DATE	FEB' 25	PLOT DATE / TIME	
PROJECT NO.	25-004	DRAWING NO.	1
		REVISION	B



Eminent Designs

5/35 HOPE STREET
BRUNSWICK 3056

PH: 9387 8600



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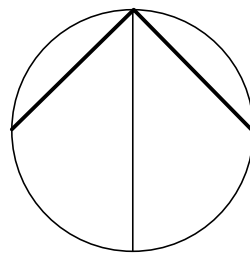
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PLANNING ENVIRONMENT ACT 1987
MERRI-BEK PLANNING SCHEME

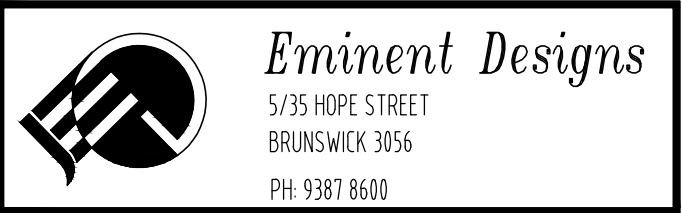
Advised Document
Advised Plan Sheet: 2 of 8
Application No: MPS/2025/106
Date : 29/04/2025



PROJECT TITLE
**PROPOSED ALTERATIONS &
EXTENSION AT:
NO.9 STALEY STREET,
BRUNSWICK**

DRAWING TITLE
PROPOSED SITE PLAN

DRAWN	BD	CAD FILE NO.	
SCALE	1:200	CHECKED	VC
DRAWN DATE	FEB' 25	PLOT DATE / TIME	
PROJECT NO.	25-004	DRAWING NO.	2
		REVISION	B



GENERAL NOTES

- 1: TERMITES TREATMENT TO SUB-FLOOR TO COMPLY WITH A.S.3660, AS REQUIRED BY LOCAL AUTHORITY.
- 2: SUB-FLOOR VENTS AT 1000 MAX. CTRS. TO PROVIDE 6000mm/m2 CLEAR AIR PASSAGE. SPACED EVENLY, MAX. 500 AT CORNERS.
- 3: IN WET AREAS PROVIDE IMPERVIOUS WALL COVERINGS 300 ABOVE BATHS, VANITIES, TROUGHS & SINKS, & 1800 HIGH IN SHOWER RECESSES. ENTIRE WET AREA FLOORS SHALL HAVE IMPERVIOUS COVERINGS.
- 4: PLASTERBOARD INTERNAL LININGS U.N.O.
- 5: PROVIDE "SELF CONTAINED" SMOKE ALARM CONNECTED DIRECTLY TO MAINS POWER WITH A "STAND-BY" POWER SUPPLY TO COMPLY WITH NCC 2022 VOL 2
- 6: STAIRS AND STEPS: CLEARANCE 2030mm MIN. TREADS: 240mm MIN. RISERS: 190mm MAX. HANDRAILS AND BALUSTRADES: 1000mm HIGH. BALUSTERS: 125mm SPACING BETWEEN
- 7: MECHANICAL VENTILATION DUCTED TO EXHAUST FAN TO PROVIDE CLEAN AIR AT 25 LITRES/SEC. INSULATION AS PER ENERGY RATER'S REPORT.
- 9: WINDOWS: ALUMINIUM AWNING U.N.O. GLAZING TO COMPLY WITH A.S. 1288-2021. ALL GLAZING THICKNESS TO BE DETERMINED FROM THE APPROPRIATE WIND TERRAIN CATEGORY SHELTERED SUBURBAN, EXPOSED SUBURBAN, OPEN RURAL CROSS OUT CATEGORY ABOVE NOT APPLICABLE. SAFETY GLAZING TO A.S. 1288-2021 TO BE USED IN THE FOLLOWING CASES:
ALL ROOMS WITHIN 500mm FROM FLOOR (HEIGHT)
BATHROOMS WITHIN 2000mm FROM BATH BASE (HEIGHT) WITHIN 500mm FROM BATH/SHOWER (WIDTH)
SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURES
LAUNDRY WITHIN 1200mm FROM FLOOR (HEIGHT) OR WITHIN 300mm MIN. FROM TROUGH (HEIGHT)
DOORWAYS WITHIN 300mm FROM ALL DOORS (WIDTH)
- 10: NCC 2022 VOL.2 CHIMNEYS AND FLUES. CHIMNEYS OR OPEN SOLID FUEL HEATERS ARE TO BE PROVIDED WITH DAMPER OR FLAP.
- 11: ALL TIMBERS TO BE GRADED IN ACCORDANCE WITH A.S.3660-2017 TOP AND BOTTOM PLATES TO BE 90 X 45 F8 HWD WALL PLATES NOT TO BE TRENCHED.
OTHER DETAILS OF TIMBER GRADES AND SIZES REFER TO DRAWINGS AND PROJECT SPECIFICATIONS.
- 12: ALL MEASUREMENTS IN MILLIMETRES U.N.O.
- 13: THESE DRAWINGS ARE TO BE USED AND READ IN CONJUNCTION WITH THE SPECIFICATIONS, STRUCTURAL ENGINEERS DRAWINGS AND COMPUTATION, GEOTECHNICAL SITE INVESTIGATION REPORT,ANY OTHER WRITTEN INSTRUCTIONS AND OTHER RELEVANT DRAWING BY OTHER CONSULTANTS.
- 14: DO NOT SCALE DRAWINGS – USE FIGURED DIMENSIONS ONLY.
- 15: ALL WORK CARRIED OUT IS TO COMPLY WITH B.C.A., AUSTRALIAN STANDARDS, LOCAL AUTHORITY AND ALL RELEVANT AUTHORITIES REGULATIONS, STATUTORY REQUIREMENTS AND BY-LAWS.
- 16: ALL EXCAVATION WORKS TO BE APPROVED BY THE BUILDING SURVEYOR PRIOR TO POURING CONCRETE.
- 17: GROUND LEVELS SHOWN ARE APPROX. ONLY AND ARE TO BE CONFIRMED ON SITE.
- 18: ANY PORCH OR STAIRS EXCEEDING 1000mm IN HEIGHT IS TO BE PROVIDED WITH 1000mm HIGH HANDRAILS AND OR BALUSTRADE.
- 19: ALL BRICKWORK IS TO COMPLY WITH A.S. 3700 MASONRY CODE AND AMENDMENTS.
- 20: PROVIDE EXPANSION JOINTS IN BRICKWORK TO MANUFACTURERS SPECIFICATION AND IN COMPLIANCE WITH GEOTECHNICAL SITE INVESTIGATION REPORT.
- 21: WHERE FILLING IS RESTRAINED BY ANY WALL AND THE FILLING IS GREATER THAN 600mm IN DEPTH, THE WALL SHALL BE DESIGNED BY A QUALIFIED ENGINEER AS A RETAINING WALL.
- 22: EXHAUST FAN DISCHARGED TO OUTSIDE AIR
- 22: CHIMNEYS SHALL COMPLY WITH THE NCC 2022 VOL 2

- NOTE:
1. ALL TIMBERS TO BE GRADED IN ACCORDANCE WITH A.S.3660-2017
2. TIMBER LINTELS OVER OPENINGS & STUDS @ END OF OPENINGS TO BE IN ACCORDANCE WITH A.S.3660-2017
3. WIND BRACING TO BE IN ACCORDANCE WITH A.S.3660-2017

FRAMING SCHEDULE

MEMBER	SIZE & TIMBER
WALL PLATES	90 x 45 F5 PINE
STUDS	90 x 45 F5 PINE
JAMB STUDS	90 x 45 F5 PINE
NOGGINGS	90 x 35 F5 PINE
BRACING	AS PER AS 1684
LINTELS	AS PER AS 1684

BUILDER IS TO CONFIRM ALL LEVELS & FLOOR LEVELS PRIOR TO COMMENCING WORKS

NOTE: A 10mm GAP IS REQUIRED WHEN AN ARTICULATION JOINT IS LOCATED NEXT TO A WINDOW

ALL WET AREAS INCLUDING ALL LAUNDRY'S, BATHROOMS, ENSUITES, TOILETS & POWDER ROOMS ARE TO BE TILED & WATERPROOFED IN ACCORDANCE WITH AS 3740

NOTES

- SMOKE DETECTORS TO BE HARD-WIRED & INTERCONNECTED IN ACCORDANCE WITH NCC 22 VOL 2 & AS 3786. PROVIDE "SELF CONTAINED" SMOKE ALARM CONNECTED DIRECTLY TO MAINS POWER WITH A "STAND-BY" POWER SUPPLY AS REQUIRED BY NCC 22 VOL 2 NSTALLD STRICTLY AS PER MANUFACTURER'S SPEC.
- EXHAUST FAN DISCHARGED TO OUTSIDE AIR
- PROVIDE LIFT-OFF HINGES TO ALL WC DOORS
- PROVIDE 6mm THICK LAMINATED SAFETY GLASS TO WINDOWS WITHIN 500mm OF FL AS PER AS. 1288-2021
- GLAZING ASSEMBLIES ARE TO BE IN ACCORDANCE WITH A.S.2047-2014
- 'CJ' DENOTES BRICK CONTROL JOINTS AS PER SOIL REPORT & TN61 OF CEMENT AND CONCRETE ASSOCIATION
- LINTELS OVER OPENING & STUDS @ SIDE OF OPENINGS AS PER A.S. 3660-2017

REFER TO ENGINEER'S DRAWINGS FOR SUPPORTING COLUMNS, DOUBLE STUDS, POSTS ETC UNDER POINT LOADS

BUILDER TO INSTALL A 2000 LT MIN. CAPACITY RAINWATER TANK CONNECTED TO ALL TOILETS AND TO COLLECT STORMWATER FROM 50m2 MIN. OF ROOF

BUILDER SHALL REFER TO THE ENERGY RATING REPORT SUMMARY SHEET AND ADHERE TO ALL THE CONDITIONS AND REQUIREMENTS. i.e. INSULATION, WINDOW TYPES, SEALS TO DOORS, WINDOWS & GAPS, FAN REQUIREMENTS AND ANY OTHER SPECIFIED ITEM

BUILDER SHALL REFER TO THE TOWN PLANNING PERMIT AND ENDORSED TOWN PLANNING DRAWINGS AND ADHERE TO ALL CONDITIONS AND DETAILS OF THE PLANNING

RA = ALL WINDOWS WITH OPENINGS AT A HEIGHT OF LESS THEN 1.7M ABOVE FINISHED FLOOR MUST BE PROVIDED WITH A MINIMUM AWNING OPENING OF 125mm WHERE GROUND LINE BELOW IS MORE THEN 2.0METRES IN ACCORDANCE WITH THE NCC 2022 VOL 2

STAIRS TO BE PROVIDED WITH 240mm MIN TREADS & 190mm MAX RISERS; SLIP CLASSIFICATION TO BE P3 OR R10 (DRY) FOR INTERNAL STAIRS PROVIDED TO ALL TREADS & LANDING NOSINGS; HANDRAIL PROVIDED TO ONE SIDE OF STAIR TO A HEIGHT OF 865mm MEASURED VERTICALLY ABOVE THE LINE OF THE NOSING OF THE STAIR TREADS; BALUSTRADES TO LANDINGS TO BE 1.0m MIN HEIGHT. BALUSTRAING TO BE CONTINUOUS; ALL GAPS BETWEEN RAILS ARE TO BE 125mm MIN. BALUSTRADES. IN ACCORDANCE WITH THE NCC 2022 VOL 2

ALL EAVES LOCATED WITHIN 900mm OF ADJOINING EAVES OF ADJOINING GARAGE OR DWELLING OR WITHIN 900mm OF ANY POTENTIAL FUTURE TITLE BOUNDARY (ONCE THE PLANS ARE SUB-DIVIDED) MUST BE LINED WITH 13mm FYROCHEK PLASTER AGAINST THE UNDERSIDE OF THE EAVE FRAME, AND A LAYER OF 16mm FYROCHEK PLASTER TO THE UNDERSIDE OF THE 13mm FYROCHEK, AND LAYER OF 7.5mm FIBRE CEMENT SHEET BENEATH THE 16mm FYROCHEK AND MUST INCORPORATE A NON-COMBUSTIBLE FASCIA COVERING FOR A LENGTH OF 1800mm AWAY FROM THAT ADJOINING BUILDING OR FUTURE TITLE BOUNDARY

NOTES AND SPECIFICATIONS.

- WATERPROOFING SPECIFICATIONS IN ACCORDANCE WITH AS3740. SPECIFICATIONS ATTACHED TO INCLUDE ON THE DRAWINGS TO IDENTIFY THIS REQUIREMENT.
- SMOKE ALARMS TO COMPLY WITH AS.3786 AND NCC PART 9.5.1 AND 9.5.2. SMOKE ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS SUPPLIED.
- MECHANICAL VENTILATION VENTILATING A SANITARY COMPARTMENT, LAUNDRY OR BATHROOM MUST BE DUCTED TO OUTSIDE AIR OR VENTILATED ROOF SPACE IN ACCORDANCE WITH N.C.C. PART 10.6.2, 10.6.3 & 10.8.3 EXHAUST FANS > 25L/S FOR A BATHROOM OR SANITARY COMPARTMENT & > 40L/S FOR A KITCHEN OR LAUNDRY TO COMPLY WITH N.C.C. PART 10.8.2
- "PROVIDE P4 (WET SURFACE) AND P3 (DRY SURFACE) CLASSIFICATION SLIP RESISTANCE TO LANDING EDGE STRIP, NOSING OR TREAD SURFACE IN ACCORDANCE WITH AS 4586."
- PROTECTION OF OPENIBLE WINDOWS IN A BEDROOM WHERE THE FLOOR BELOW THE WINDOW IS 2M OR MORE ABOVE THE SURFACE BENEATH TO COMPLY WITH N.C.C. 11.3.7. PROTECTION OF OPENABLE WINDOWS OTHER THAN BEDROOMS WHERE THE FLOOR BELOW THE WINDOW IS 4M OR MORE ABOVE THE SURFACE BENEATH TO COMPLY WITH N.C.C. 11.3.8. WINDOWS TO BE PROVIDED WITH DEVICE WHICH RESTRICTS OPENING TO MAX. 125MM OR ALTERNATIVELY OPENABLE PANEL TO BE FIXED WITH A NON-REMOVABLE ROBUST SCREEN TO COMPLY WITH N.C.C. PART 11.3.6.

GENERAL REQUIREMENTS

DRAWINGS PREPARED FROM INFORMATION SUPPLIED BY THE OWNER &/OR BUILDER ALL DIMENSIONS ARE IN MILLIMETRES & SHALL BE VERIFIED ON SITE

DO NOT SCALE FROM DRAWING
ALL DIMENSIONS & ALL FLOOR LEVELS PROVIDED ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION
IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY & SUITABILITY

THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS

ALL STRUCTURAL ELEMENTS ARE TO BE DESIGNED BY A PRACTICING STRUCTURAL ENGINEER

ALL METAL FITTINGS USED IN STRUCTURAL TIMBER JOINTS & BRACING MUST HAVE CORROSION PROTECTION.

AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PRODUCT SPECIFICATION

NCC REFERS TO THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA – VOLUME 2 (NCC 2022)

ABCB REFERS TO AUSTRALIAN BUILDING CODES BOARD, (ABCB)

ALL CONSTRUCTION WORK MUST BE COMPLETED STRICTLY IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC 2022) VOLUME 2, NCC VOLUME 3 'PLUMBING CODE OF AUSTRALIA' & THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS ST&ARD.

STATUTORY REQUIREMENTS

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC, CONDITIONS IMPOSED BY THE LOCAL AUTHORITY & THE COMMITMENTS OUTLINED IN THE RELEVANT BASIX CERTIFICATE &/OR NATHER'S ASSESSMENT.

THE BUILDER IS TO COMPLY WITH THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER THE BUILDING WORKS & THE PROVISIONS OF THE HOME BUILDING ACT

PRIOR TO THE COMMENCEMENT OF BUILDING WORK, THE BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF SUBCONTRACTORS. WHERE THE LOCAL AUTHORITY REQUIRES THE TEMPORARY TOILET TO BE CONNECTED TO THE SEWER MAINS, THE ADDITIONAL COST SHALL BE BORNE BY THE OWNER. ON COMPLETION, THE BULDER SHALL REMOVE THE AMENITY

NCC REQUIREMENTS – SECTION H CLASS 1 & 10 BUILDINGS.

PART H1 STRUCTURE:

A CLASS 1 OR 10 BUILDING'S STRUCTURAL RELIABILITY & RESISTANCE SHALL COMPLY WITH H1P1 OF NCCA CLASS 1 OR CLASS 10 BUILDING MUST BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2 (PARTS 2.1 & 2.2)
OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS, OR THE RELEVANT PROVISIONS OF H1D2, H1D3-H1D12 OF NCC FOR STRUCTURAL PROVISIONS OR ANY COMBINATION THEREOF
ALL SITE PREPERATION & EARTHWORKS SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS & H1D3 OF NCC & SECTION 3 (PARTS 3.1-3.4) & SECTION 4 (PART 4.2.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.
ALL FOOTINGS & SLABS, EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS & H1D4 & NSW H1D4(1) & H2D3 OF NCC & SECTION 4 (PARTS 4.1-4.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.
ALL MASONRY SHALL COMPLY WITH H1D5 & H2D4 OF NCC & SECTION 5 (PARTS 5.1-5.7) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS. APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS
TIMBER FRAMEWORK SHALL COMPLY WITH H1D6 OF NCC, AS1684 & SECTION 6 (PARTS 6.1-6.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS
STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION & H1D6 OF NCC & SECTION 6 (PARTS 6.16.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS
ALL ROOF CLADDING & WALL CLADDING SHALL COMPLY WITH H1D7 & H2D6 OF NCC & SECTION 7 (PARTS 7.1-7.5) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS. & BE INSTALLED
IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
ALL GLAZING SHALL COMPLY WITH H1D8 & H2D7 OF NCC & SECTION 8 (PARTS 8.1-8.4) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS
A CLASS 1 BUILDING CONSTRUCTED IN A FLOOD HAZARD AREA SHALL COMPLY WITH H1P2 & H1D10 OF NCC & CONSTRUCTED IN ACCORDANCE WITH THE AUSTRALIAN BUILDING CODES BOARD (ABCB) ST&ARD FOR CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS
ATTACHMENT OF FRAMED DECKS & BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE
SHALL BE IN ACCORDANCE WITH H1D11 OF NCC & SECTION 12 (PART 12.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS
PILED FOOTINGS TO BE IN ACCORDANCE WITH H1D12 OF NCC & IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS.

PART H2 DAMP & WEATHERPROOFING:

RAINWATER MANAGEMENT, INCL. SURFACE WATER SHALL COMPLY WITH PART H2P1 OF NCC

WEATHERPROOFING OF A BUILDING SHALL COMPLY WITH PART H2P2 OF NCC

RIISING DAMP SHALL COMPLY WITH PART H2P3 OF NCC & PART NSW H2P3(1) & (2)

DRAINAGE FOR SWIMMING POOLS SHALL COMPLY WITH PART H2P4 OF NCC
DRAINAGE SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WTH PART H2D2 OF NCC & SECTION 3 (PART 3.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS

SUBFLOOR VENTILATION TO BE IN ACCORDANCE WITH H2D5 & H2P3 OF NCC & SECTION 5 (PART 5.7) & SECTION 6 (PART 6.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS. EXTERNAL WATERPROOFING FOR ROOFING SYSTEMS ON FLAT ROOFS, ROOF TERRACES, BALCONIES & TERRACES & OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH H2D8 OF NCC

PART H3 FIRE SAFETY:

A CLASS 1 BUILDING MUST BE PROTECTED FROM THE SPREAD OF FIRE IN ACCORDANCE WITH H3P1 OF NCC

ALL OCCUPANTS OF A CLASS 1 BUILDING MUST BE PROVIDED WITH AUTOMATIC WARNING ON THE DETECTION OF SMOKE IN ACCORDANCE WITH H3P2

CLASS 1 & 10 BUILDINGS WITHIN THE BUSHFIRE ZONE MUST BE CONSTRUCTED WITH MATERIALS CONTAINING FIRE HAZARD PROPERTIES & NON-COMBUSTIBLE ELEMENTS IN ACCORDANCE WITH H3D2 OF NCC

FIRE SEPARATION OF EXTERNAL WALLS MUST COMPLY WITH H3D3 OF NCC & PART 9.2 OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

FIRE PROTECTION OF SEPARATING WALLS & FLOORS MUST COMPLY WITH H3D4 OF NCC & PART 9.3 OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.
FIRE SEPARATION OF GARAGE-TOP DWELLINGS MUST COMPLY WITH H3D5 & NSWHS305 OF NCC & SECTION 9 (PARTS 9.3 & 9.4) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

SMOKE ALARMS & EVACUATION LIGHTING TO BE INSTALLED IN ACCORDANCE WITH H3D6 OF NCC & SECTION 9 (PART 9.5) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

PART H4 HEALTH & AMENITY:

WET AREAS TO BE CONSTRUCTED & WEATHERPROOFED IN ACCORDANCE WITH H4D2, H2P1 & H2D8 OF NCC & SECTION 10 (PART 10.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

MATERIALS & INSTALLATION OF WET AREA COMPONENTS & SYSTEMS MUST COMPLY WITH H4D3 OF NCC & SECTION 10 (PART 10.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ROOM HEIGHTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH H4D4 & H4P2 OF NCC & SECTION 10 (PART 10.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

HEALTH & AMENITY FACILITIES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH H4D5 & H4P3 OF NCC & SECTION 10 (PART 10.4) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

LIGHT SHALL COMPLY WITH H4D6 & H4P4 OF NCC & SECTION 10 (PART 10.5) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ARTIFICIAL LIGHTING IS TO BE INSTALLED IN ACCORDANCE WITH H4D6 OF NCC & SECTION 10 PART 10.5.2 TO ANY SANITARY COMPARTMENT, BATHROOM, SHOWER ROOM, AIRLOCK & LAUNDRIES IF NATURAL LIGHTING IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF PART 10.5.1 IS NOT AVAILABLE

VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH H4D7 & H4P5 OF NCC & SECTION 10 (PART 10.6) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS. & INSTALLED TO MANUFACTURERS SPECIFICATIONS

SOUND INSULATION IS TO BE INSTALLED IN ACCORDANCE WITH H4D8 & H4P6 OF NCC & SECTION 10 (PART 10.7) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS. & INSTALLED TO MANUFACTURERS SPECIFICATIONS

CONDENSATION & WATER VAPOUR MANAGEMENT SHALL COMPLY WITH H4D9 & H4P7 OF NCC & SECTION 10 (PART 10.8) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

PART H5 SAFE MOVEMENT & ACCESS:

CLASS 1 & 10 BUILDINGS MUST BE CONSTRUCTED IN ACCORDANCE WITH H5P1 OF NCC

STAIRWAYS & RAMPS MUST BE CONSTRUCTED IN ACCORDANCE WITH H5D2 OF NCC & SECTION 11 (PART 11.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

BARRIERS & H&RAILS MUST BE INSTALLED IN ACCORDANCE WITH H5D3 & H5P2 OF NCC & SECTION 11 (PART 11.3) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

PART H6 ENERGY EFFICIENCY

THERMAL PERFORMANCE OF A CLASS 1 & 10 BUILDING SHALL COMPLY WITH H6D2 & H6P1 OF NCC & SECTION 13 (PARTS 13.213.5) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

THE ENERGY VALUE &/OR USAGE OF A BUILDING'S DOMESTIC SERVICES MUST COMPLY WITH H6D2 & H6P2 OF NCC & SECTION

13 (PARTS 13.6-13.7) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

PART H7 ANCILLARY PROVISIONS & ADDITIONAL CONSTRUCTION REQUIREMENTS

SWIMMING POOLS, INCLUDING POOL DEPTHS, SAFETY BARRIERS & WATER RETICULATION SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH H7D2 & NSWH7D2(1) & H7P1 & H7P2 OF NCC. SWIMMING POOL DRAINAGE IS TO COMPLY WITH H2P4 OF NCC

ALL CLASS 1 & 10 BUILDINGS LOCATED IN ALPINE AREAS MUST COMPLY WITH H7D3 & H7P4 OF NCC & SECTION 12 (PART 12.2) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ALL CLASS 1 & 10 BUILDINGS LOCATED IN BUSHFIRE PRONE AREAS MUST COMPLY WITH H7D4 & NSWHTD4 & H7P5

A PRIVATE BUSHFIRE SHELTER IS TO BE CONSTRUCTED IN ACCORDANCE WITH H7P6 OF NCC FOR CLASS 10C BUILDINGS LOCATED IN A BUSHFIRE PRONE AREA ONLY

HEATING APPLIANCES, FIREPLACES, CHIMNEYS & FLUES ARE TO BE INSTALLED IN ACCORDANCE WITH H7D5 & H7P3 & SECTION 12 (PART 12.4) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB HOUSING PROVISIONS.

3.8.7.3 FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS

- (A) AN EXHAUST SYSTEM INSTALLED IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOWRATE OF--
(i) 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND
(ii) 40 L/S FOR A KITCHEN OR LAUNDRY.
- (B) EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED--
(i) DIRECTLY OR VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR
(ii) TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

3.7.5.4 LOCATION – CLASS 1B BUILDINGS
IN A CLASS 1B BUILDING, SMOKE ALARMS MUST BE LOCATED IN--

- (A) EVERY BEDROOM; AND
(B) EVERY CORRIDOR OR HALLWAY ASSOCIATED WITH A BEDROOM, OR IF THERE IS NO CORRIDOR OR HALLWAY, IN AN AREA BETWEEN THE BEDROOMS AND THE REMAINDER OF THE BUILDING; AND
(C) EACH OTHER STOREY.

3.7.5.5 INSTALLATION OF SMOKE ALARMS
SMOKE ALARMS REQUIRED BY 3.7.5.3 AND 3.7.5.4 MUST BE INSTALLED ON OR NEAR THE CEILING, IN ACCORDANCE WITH THE FOLLOWING:

- (A) WHERE A SMOKE ALARM IS LOCATED ON THE CEILING IT MUST BE--
(i) A MINIMUM OF 300 MM AWAY FROM THE CORNER JUNCTION OF THE WALL AND CEILING; AND
(ii) BETWEEN 500 MM AND 1500 MM AWAY FROM THE HIGH POINT AND APEXES OF THE CEILING, IF THE ROOM HAS A SLOPING CEILING.
- (B) WHERE (A) IS NOT POSSIBLE, THE SMOKE ALARM MAY BE INSTALLED ON THE WALL, AND LOCATED A MINIMUM OF 300 MM AND A MAXIMUM OF 500 MM OFF THE CEILING AT THE JUNCTION WITH THE WALL.

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TECHNICAL FACT SHEET
NCC 2022
WINDOW FLASHING

The National Construction Code (NCC) of 2022 and, subject to state and territory transitional arrangements, adopted on the 1st May 2022.
One of the most notable additions to the NCC affecting the window and door industry is the new provisions for weatherproofing of openings, specifically flashings to windows and doors. Two new Acceptable Construction Practices (ACPs) provide guidance for masonry veneer, and light-weight (clad) construction.

- TIMBER AND COMPOSITE WALL CLADDING
Clause 3.5.4.6 requires that flashing must be provided to the tops, sides and bottoms (head, jamb and sill) of an opening and;
(i) extend at least 110 mm on each side of the opening,
(ii) be attached to the window and wall framing, and
(iii) drain to the outside face of the wall or cladding at the top and bottom of the opening, and
(iv) be securely fixed at least 25 mm under the cladding and extend over the ends and edges of the framing of the opening.
Joins in the flashing must
(i) overlap by not less than 75 mm in the direction of flow,
(ii) be securely fastened at intervals of not more than 40 mm, and
(iii) have sealant installed between laps.


PLANNING ENVIRONMENT ACT 1987
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PROPOSED ALTERATIONS & EXTENSION AT:
NO.9 STALEY STREET,
BRUNSWICK

GENERAL NOTES 1

DRAWN			FILE NO.
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PROJECT NO.		DRAWING NO.	REVISION
25-004		3	B



Eminent Designs
5/35 HOPE STREET
BRUNSWICK 3056
PH 9387 8600

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WALL LEGEND (SEE WALL DETAILS)	
	EXISTING WALLS
	PROPOSED WALLS

AREA ANALYSIS		m2
RESIDENCE		
EXISTING RESIDENCE		113.32
including front verandah		
GARAGE		22.0
REAR VERANDAH		29.0
OUTDOOR LAUNDRY		12.3
PROPOSED RESIDENCE		147.22
within existing building footprint		
GARAGE		22.0
S.P.O.S		27.4
TOTAL BUILT UP AREA		169.22
TOTAL SITE AREA		251.20
TOTAL SITE COVERAGE		67.3%
PERMEABILITY		32.6%

LEGEND

- SMOKE ALARM TO A.S. 3786
PROVIDE 'SELF CONTAINED' SMOKE ALARM CONNECTED DIRECTLY TO MAINS POWER WITH A 'STAND-BY' POWER SUPPLY AS REQUIRED BY BCA VIC. E1.7.1 INSTALLED STRICTLY AS PER MANUFACTURER'S SPEC.
- EXHAUST FAN DISCHARGED DIRECTLY TO OUTSIDE AIR (WITH DRAFT STOPPERS)
- 11 WATT LED DOWNLIGHTS
- DOUBLE INTERNAL G.P.O.
- DOUBLE INTERNAL G.P.O. 1200mm ABOVE FLOOR LEVEL MUST BE WATERPROOFED IN WET AREAS
- TELEPHONE POINT
- TELEVISION POINT

ALLOW FOR GPO'S FOR THE FOLLOWING:

DISHWASHER
DISINTEGRATOR (LOCATED UNDER SINK) IF REQUIRED
WALL OVEN & MICROWAVE OVEN
REFRIGERATOR
RANGEHOOD
HOTPLATE
HEATER IN LIVING ROOM & RUMPUS RM IF REQUIRED
DRYER IF REQUIRED
WASHING MACHINE
SPA PUMP IF REQUIRED
AIR CONDITIONERS IF REQUIRED
DUCTED HEATER IF REQUIRED
GARAGE DOOR MOTOR

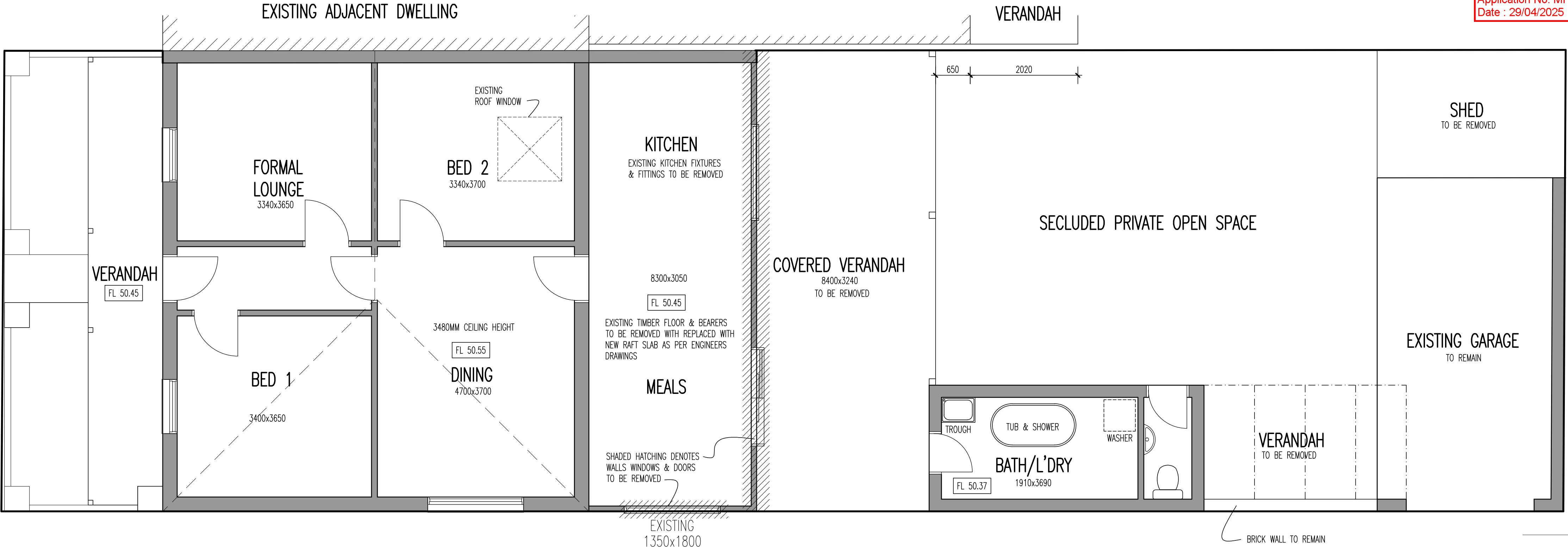
DUCTED VACUUM & OUTLETS (LOCATION TO BE ADVISED) IF REQUIRED
....AND ANY OTHER ELECTRICAL ITEM TO BE INSTALLED
ALLOW FOR LIGHT & LIGHT SWITCH TO BE LOCATED NEAR ROOF/CEILING ACCESS

*NOTE: ALLOW FOR SINGLE INTERNAL AND EXTERNAL G.P.O.'S TO ALL ELECTRICAL FIXTURES

PROPOSED ALTERATIONS & EXTENSION AT: NO.9 STALEY STREET, BRUNSWICK

EXISTING & PROPOSED FLOOR PLANS

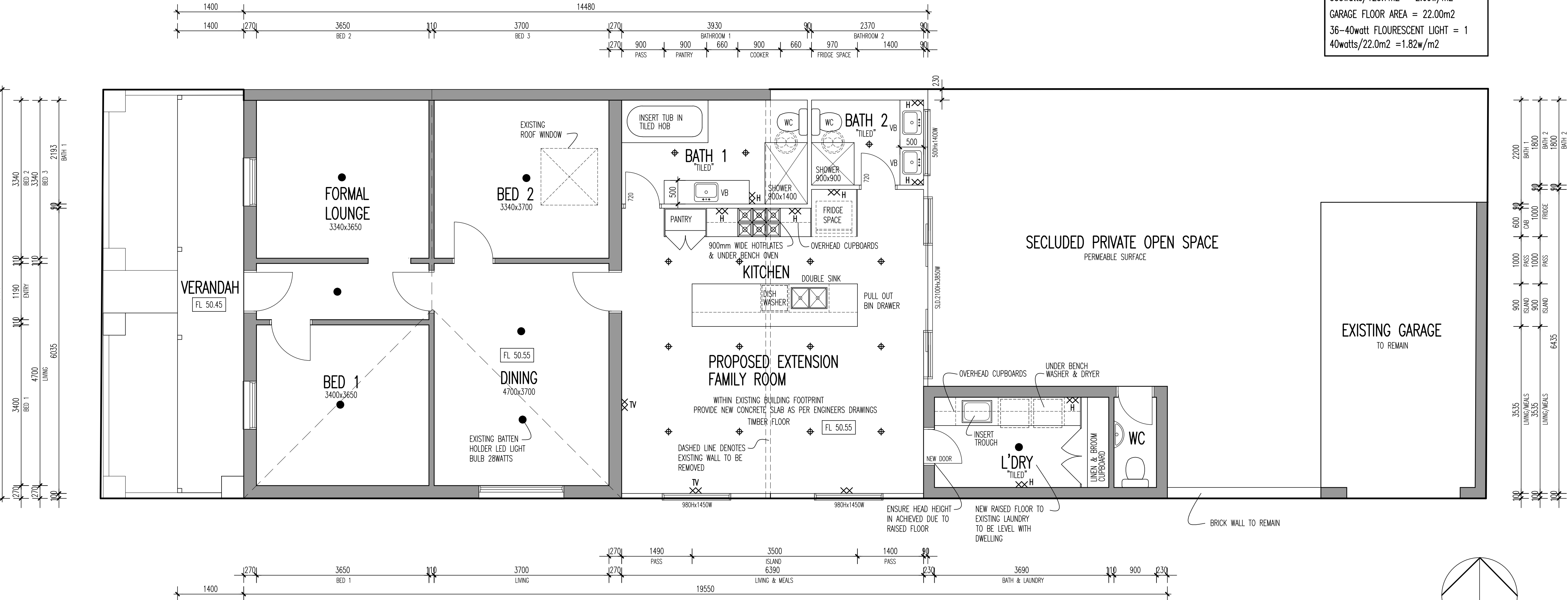
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EXISTING & PROPOSED FLOOR PLANS	
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SCALE	1:100
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BCA ARTIFICIAL LIGHTING REQUIREMENTS (NAT)	
PROPOSED RESIDENCE	
TOTAL FLOOR AREA = 123.7m2	
11 watt LED DOWNLIGHTS = 165	
28 watt LED BATTEN HOLDER = 168	
333watts/123.7m2 = 2.69w/m2	
GARAGE FLOOR AREA = 22.00m2	
36-40watt FLOURESCENT LIGHT = 1	
40watts/22.0m2 =1.82w/m2	

EXISTING FLOOR PLAN

SCALE - 1:50



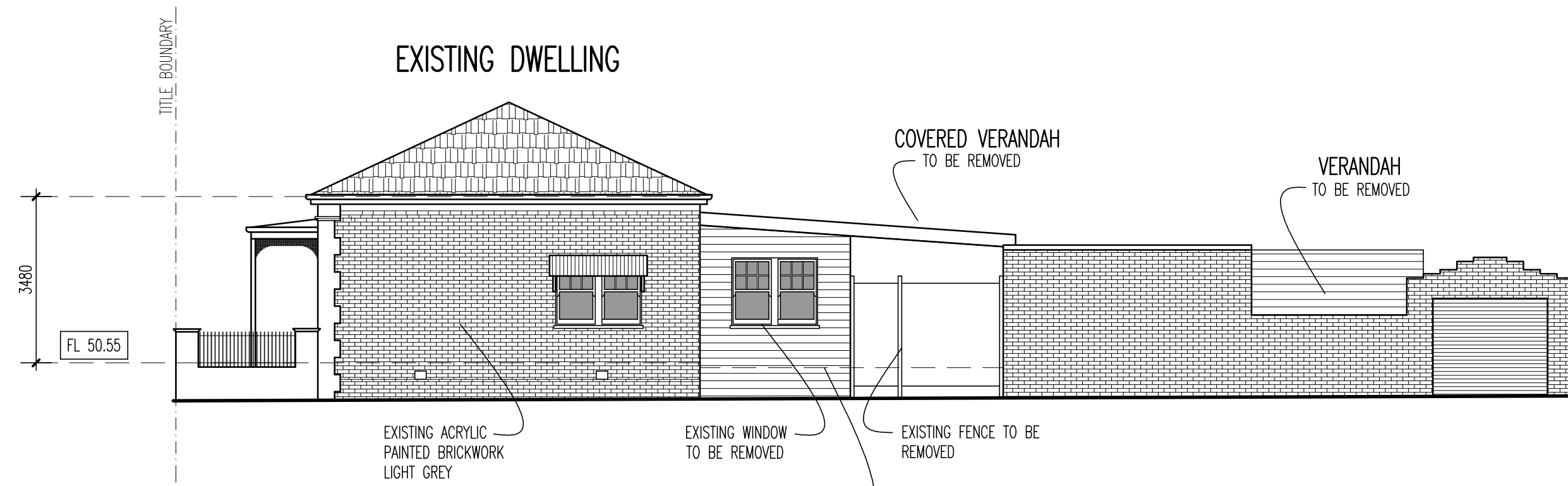
PROPOSED FLOOR PLAN

SCALE - 1:50



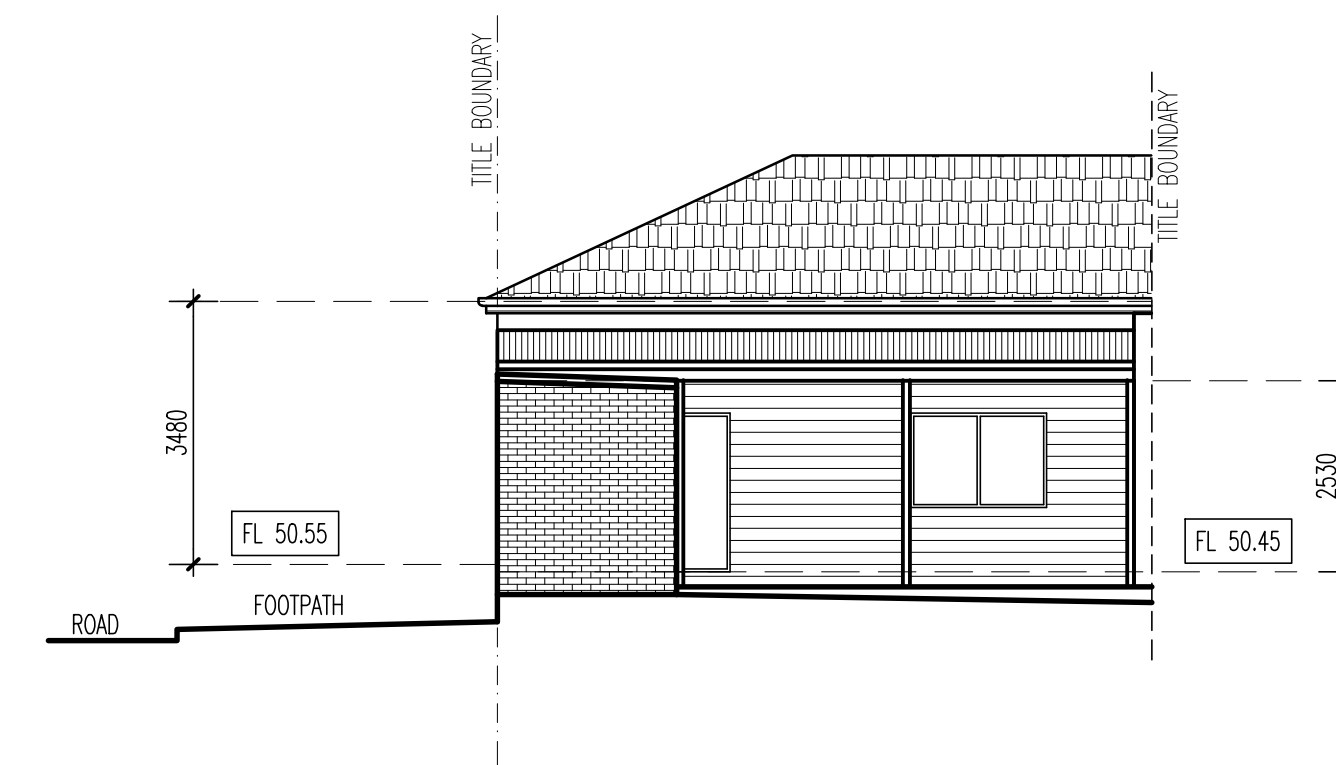
EXISTING WEST ELEVATION

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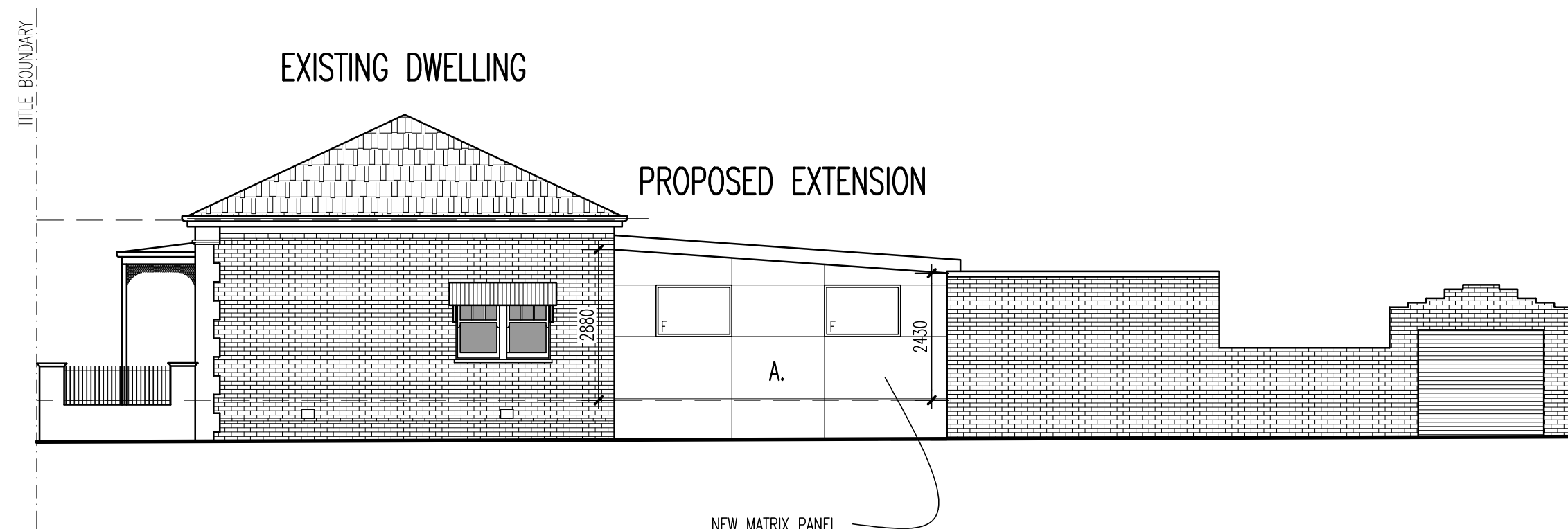
EXISTING SOUTH ELEVATION

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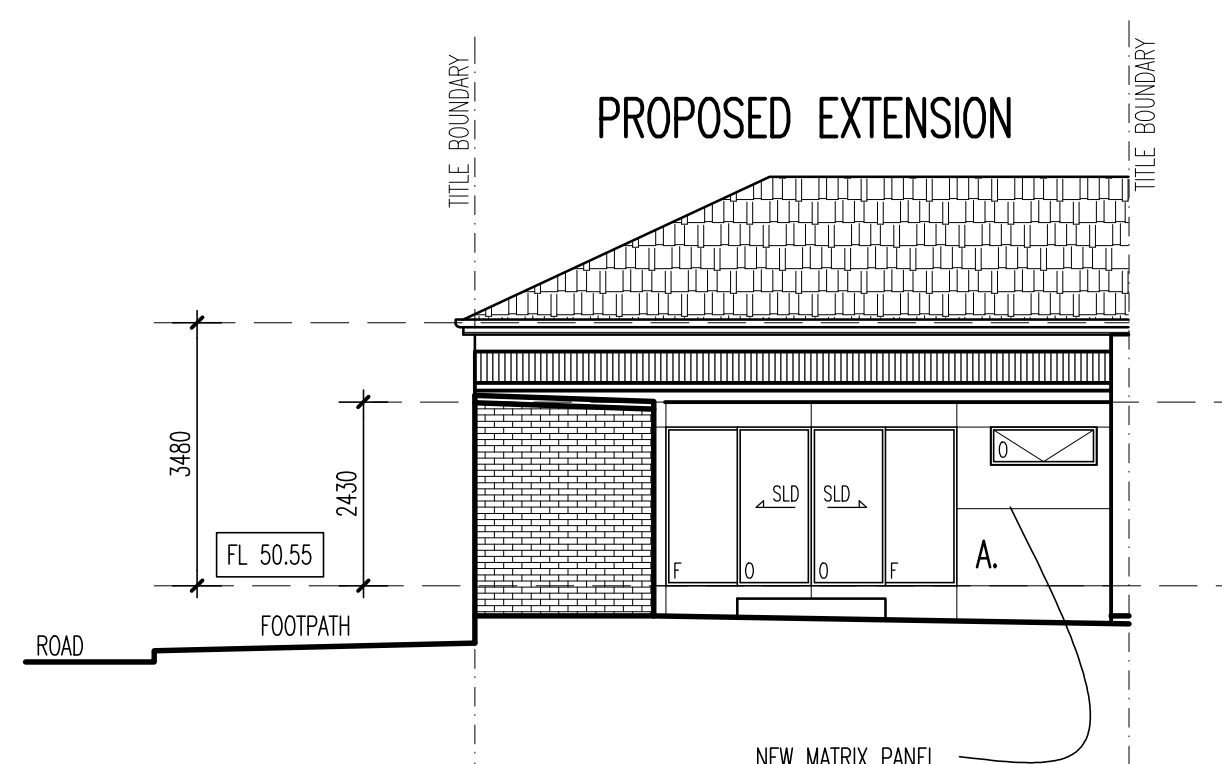
EXISTING EAST ELEVATION

SCALE 1:100



PROPOSED SOUTH ELEVATION

SCALE 1:100



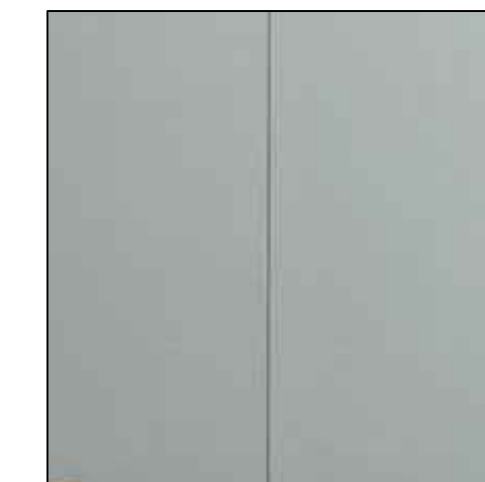
PROPOSED EAST ELEVATION

SCALE 1:100

RFI 2D

COLOURS & MATERIALS

A. NEW MATRIX PANEL CLADDING

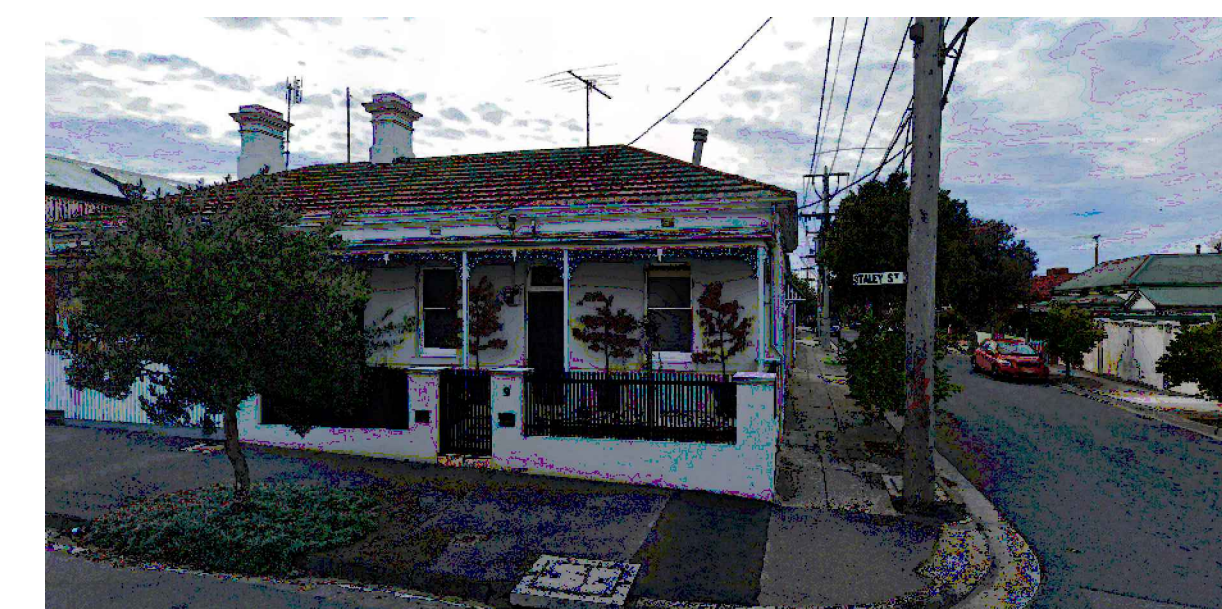


LIGHT GREY TO MATCH EXISTING

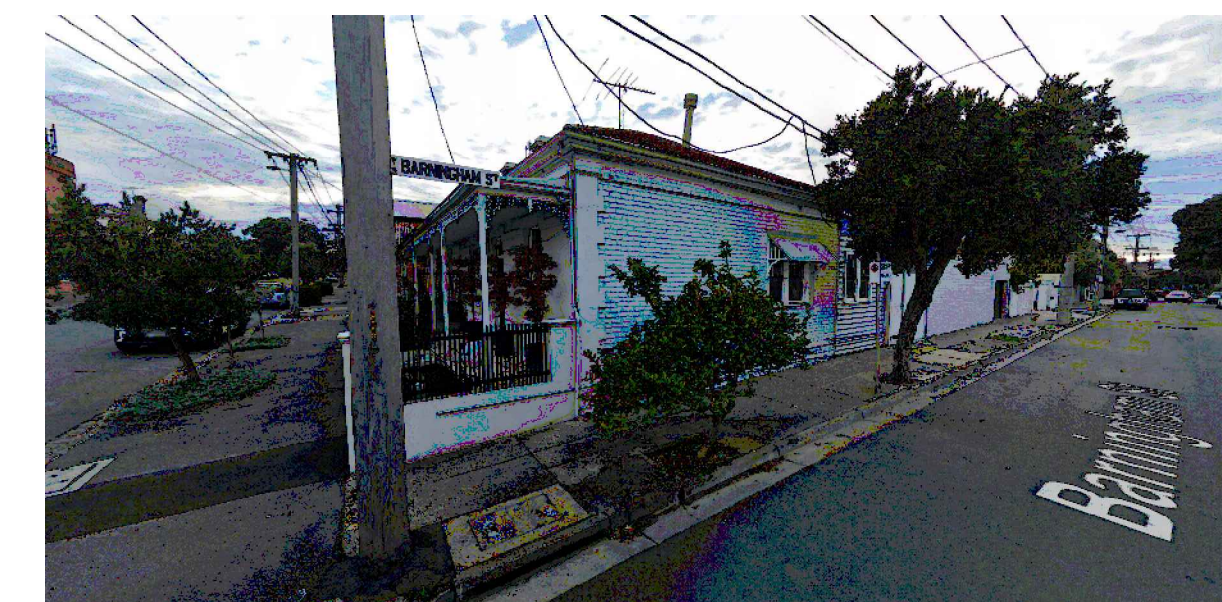
ALUMINIUM FRAMED WINDOWS & DOORS



WHITE



STALEY STREET VIEW

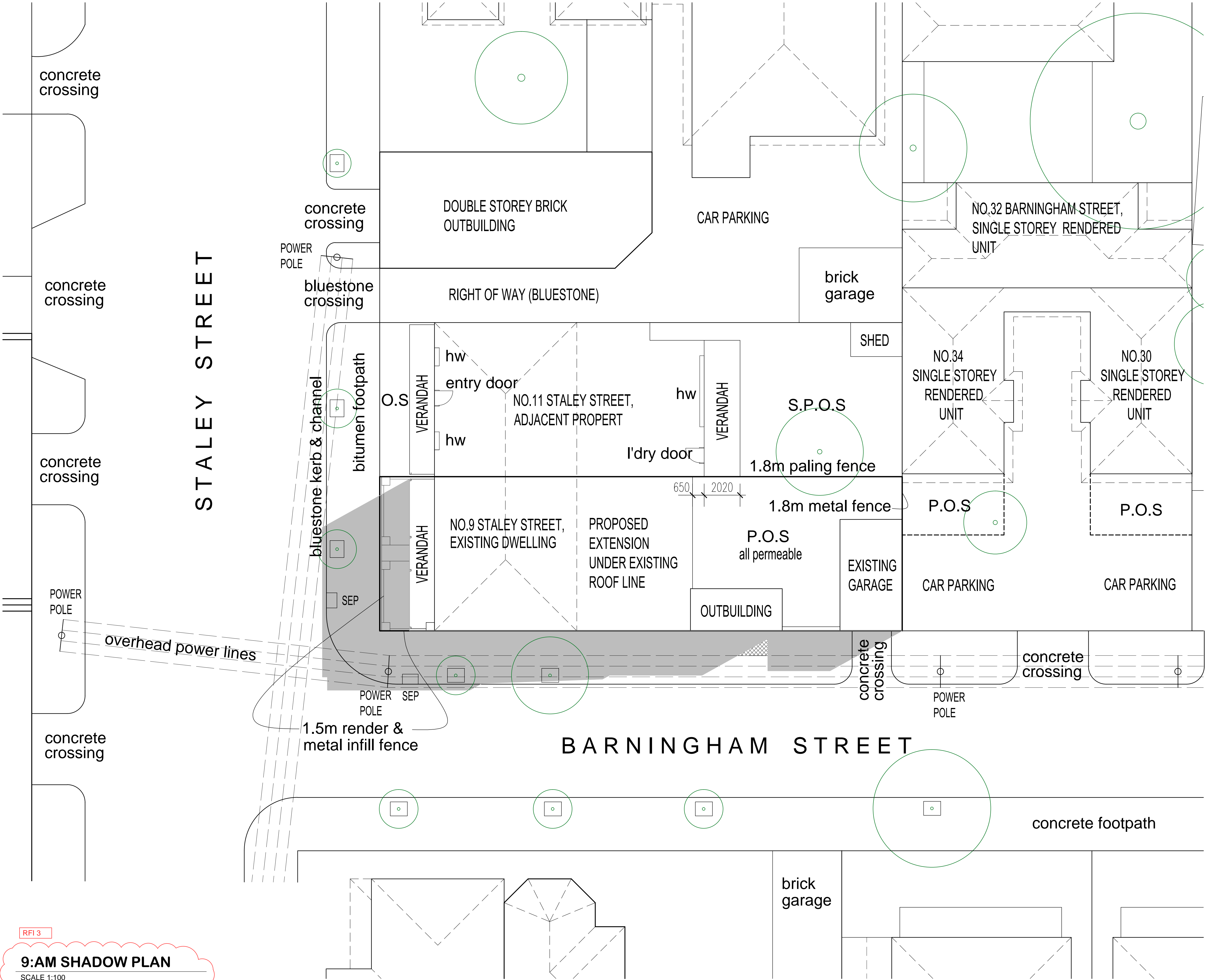


BARNINGHAM STREET VIEW

PROJECT TITLE
**PROPOSED ALTERATIONS & EXTENSION AT:
NO.9 STALEY STREET,
BRUNSWICK**

DRAWING TITLE
**EXISTING & PROPOSED ELEVATIONS
SECTION A-A**

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SHADOW PLANS @ 9.00AM

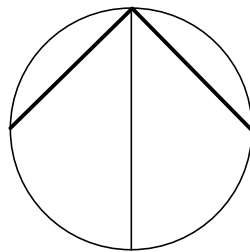
SHADOW CAST BY EXISTING BUILDING
PROPOSED WITHIN EXISTING STRUCTURE

SHADOW CAST BY EXISTING FENCE

SHADOW PLANS @ 9.00AM
SEPTEMBER 22 – AZI 304 ALT 36 – MELB LAT 38 STH

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MERRI-BEK PLANNING SCHEME

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DRAWING TITLE
9:AM SHADOW PLAN

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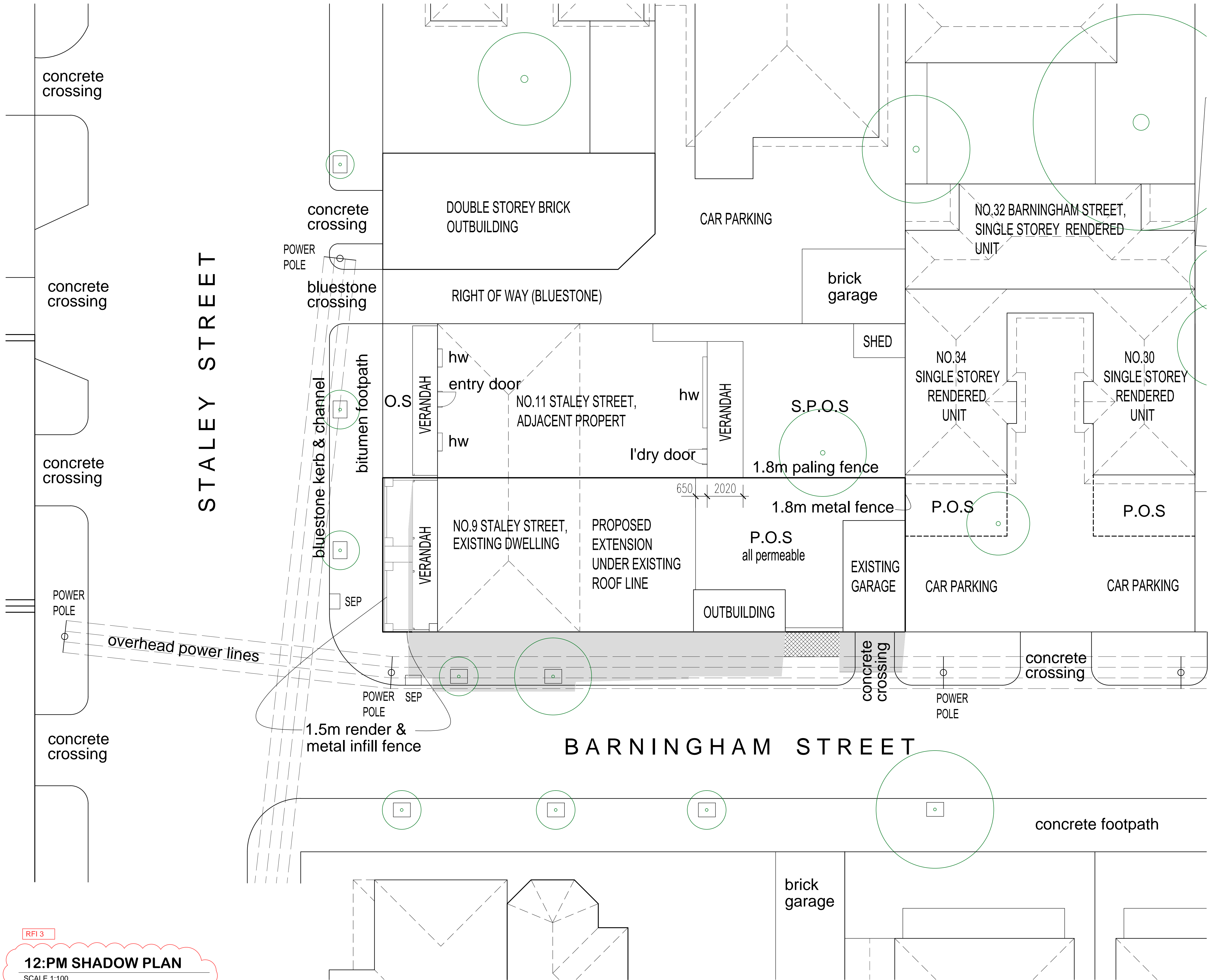


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RFI 3

9:AM SHADOW PLAN

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SHADOW PLANS @ 9.00AM

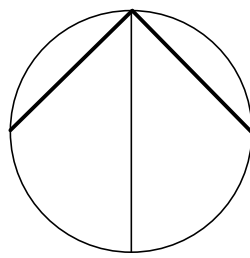
SHADOW CAST BY EXISTING BUILDING
PROPOSED WITHIN EXISTING STRUCTURE

SHADOW CAST BY EXISTING FENCE

SHADOW PLANS @ 9.00AM
SEPTEMBER 22 – AZI 304 ALT 36 – MELB LAT 38 STH

PLANNING ENVIRONMENT ACT 1987
MERRI-BEK PLANNING SCHEME

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PROJECT TITLE
**PROPOSED ALTERATIONS &
EXTENSION AT:
NO.9 STALEY STREET,
BRUNSWICK**

DRAWING TITLE
12:PM SHADOW PLAN

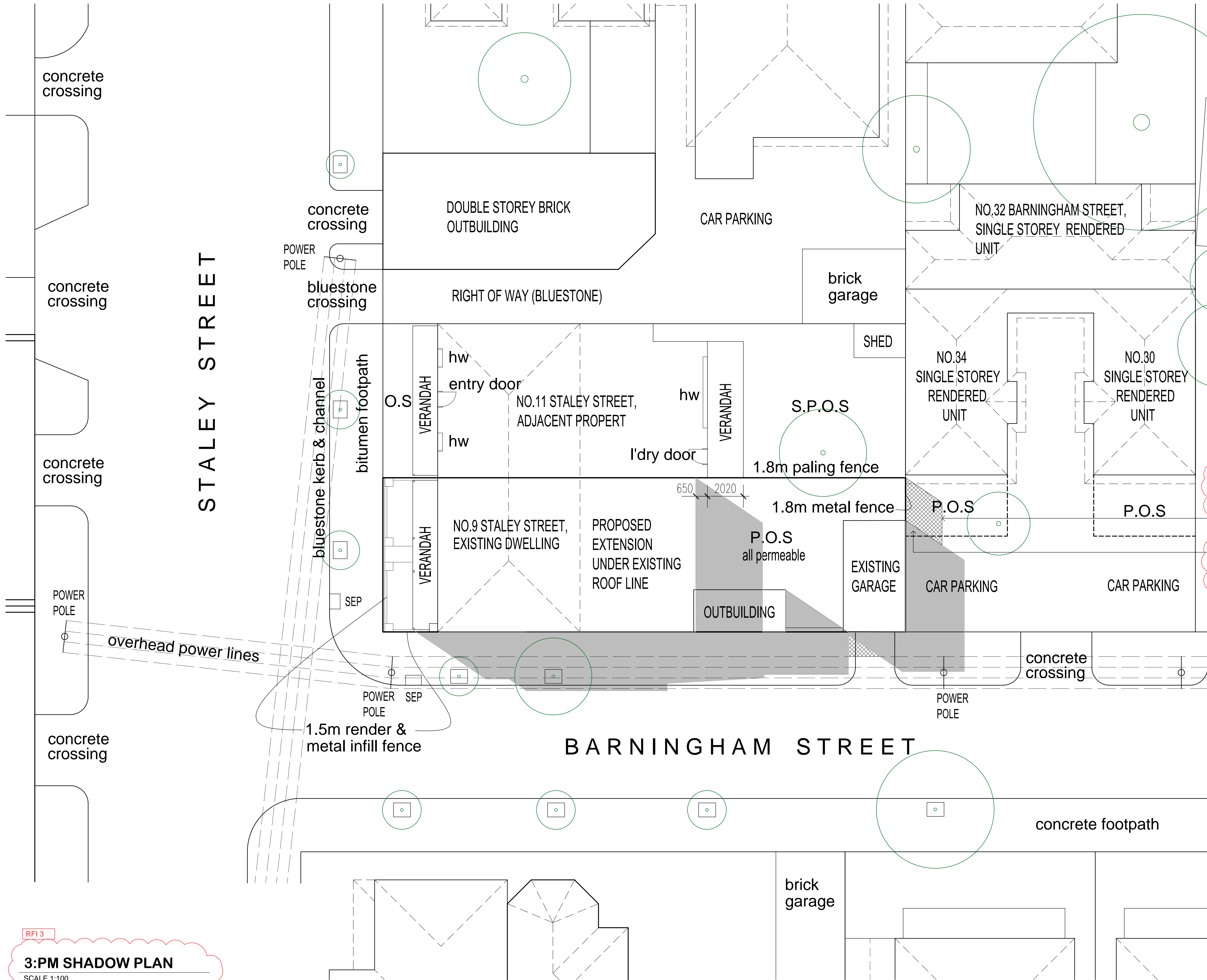
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12:PM SHADOW PLAN

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SHADOW PLANS @ 9.00AM

- SHADOW CAST BY EXISTING BUILDING PROPOSED WITHIN EXISTING STRUCTURE
- SHADOW CAST BY EXISTING FENCE

SHADOW PLANS @ 9.00AM
SEPTEMBER 22 - AZI 304 ALT 36 - MELB LAT 38 STH

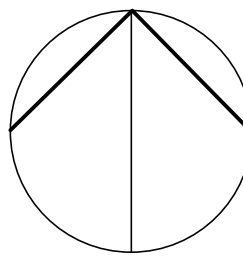
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RFI 3.A

SHADOW CAST BY EXISTING FENCE ONTO ADJACENT PRIVATE OPEN SPACE

SHADOW CAST BY EXISTING BUILDING ONTO ADJACENT PRIVATE OPEN SPACE



PROJECT TITLE
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DRAWING TITLE
3:PM SHADOW PLAN

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RFI 3

3:PM SHADOW PLAN

SCALE 1:100