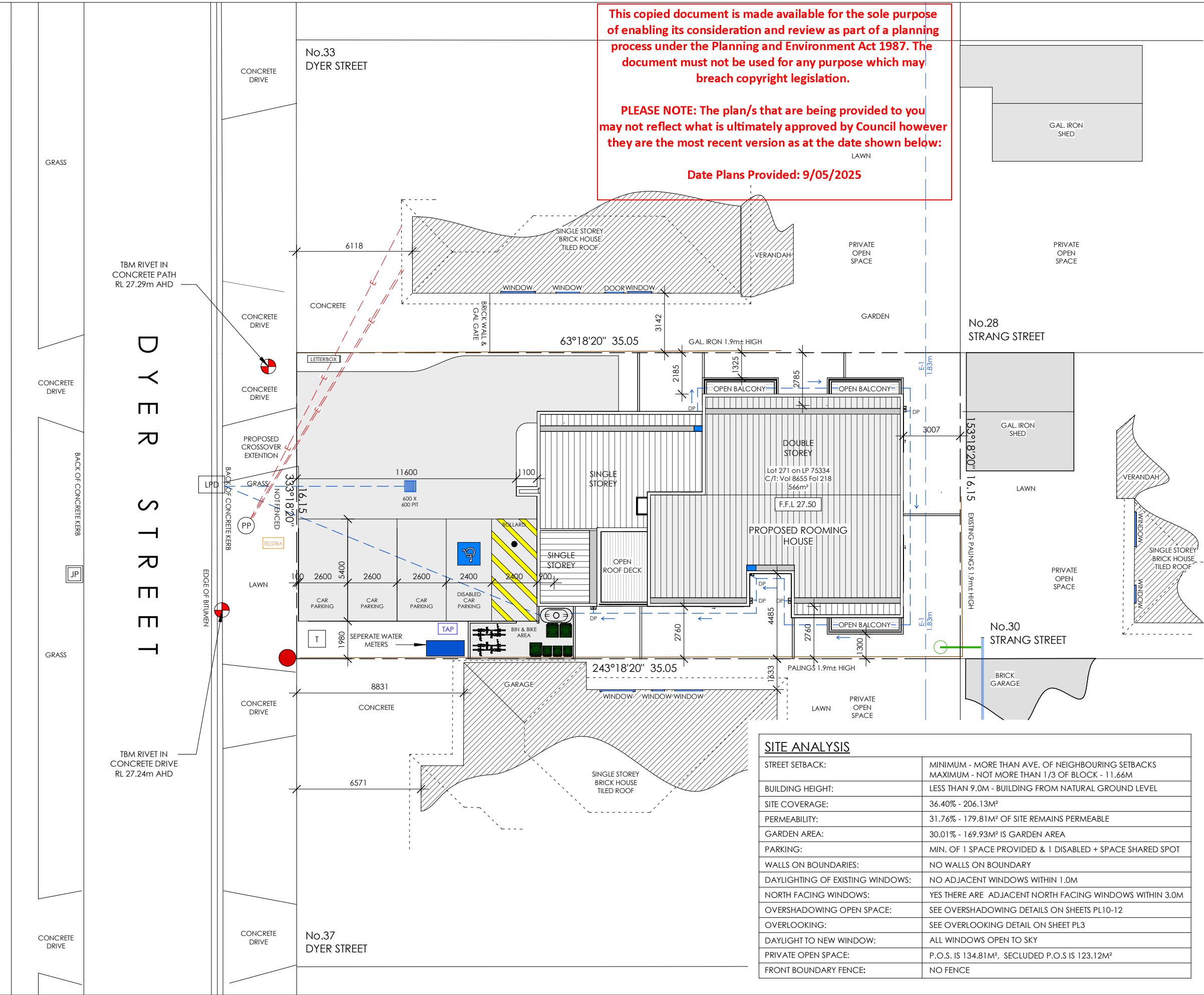


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Date Plans Provided: 9/05/2025



SITE ANALYSIS	
STREET SETBACK:	MINIMUM - MORE THAN AVE. OF NEIGHBOURING SETBACKS MAXIMUM - NOT MORE THAN 1/3 OF BLOCK - 11.66M
BUILDING HEIGHT:	LESS THAN 9.0M - BUILDING FROM NATURAL GROUND LEVEL
SITE COVERAGE:	36.40% - 206.13M²
PERMEABILITY:	31.76% - 179.81M² OF SITE REMAINS PERMEABLE
GARDEN AREA:	30.01% - 169.93M² IS GARDEN AREA
PARKING:	MIN. OF 1 SPACE PROVIDED & 1 DISABLED + SPACE SHARED SPOT
WALLS ON BOUNDARIES:	NO WALLS ON BOUNDARY
DAYLIGHTING OF EXISTING WINDOWS:	NO ADJACENT WINDOWS WITHIN 1.0M
NORTH FACING WINDOWS:	YES THERE ARE ADJACENT NORTH FACING WINDOWS WITHIN 3.0M
OVERSHADOWING OPEN SPACE:	SEE OVERSHADOWING DETAILS ON SHEETS PL10-12
OVERLOOKING:	SEE OVERLOOKING DETAIL ON SHEET PL3
DAYLIGHT TO NEW WINDOW:	ALL WINDOWS OPEN TO SKY
PRIVATE OPEN SPACE:	P.O.S. IS 134.81M², SECLUDED P.O.S IS 123.12M²
FRONT BOUNDARY FENCE:	NO FENCE

SERVICES

STREET NUMBER: 35 DYER STREET, HOPPERS CROSSING, 3029
LOT: 271 LP75334
VOL: 8655 FOLIO: 218
LOCAL GOVERNMENT (COUNCIL): WYNDHAM
COUNCIL PROPERTY NUMBER: 126227
DIRECTORY REFERENCE: MELWAY 206 H3

UTILITIES

RURAL WATER CORPORATION: SOUTHERN RURAL WATER
MELBOURNE WATER RETAILER: GREATER WESTERN WATER
MELBOURNE WATER: INSIDE DRAINAGE BOUNDARY
POWER DISTRIBUTOR: POWERCOR

SITE NOTES

- ALL LEVELS ARE TO AN ARBITRARY DATUM UNLESS OTHERWISE NOTED

- EXTERNAL FINISHED SURFACE LEVELS ADJACENT TO SLAB ON GROUND SHALL GRADE AWAY 1:20 TO PREVENT PONDING AGAINST FOOTING SYSTEM

- THE LEGAL POINT OF DISCHARGE HAS BEEN DETERMINED TO BE VIA THE KERB AND CHANNEL

- THE INVERT LEVEL OF THE FOOTING SYSTEM SHALL BE BELOW THE ANGLE OF REPOSE FOR THIS SITE OF ANY SERVICES ADJACENT OF THE BUILDING WORKS. WHERE TREES EXIST WITHIN THEIR MATURE HEIGHT FROM & ENGINEERS RECOMMENDED PRIOR TO COMMENCEMENT OF WORKS

- DIMENSIONS ARE TAKEN FROM TITLE BOUNDARIES OR 'ON SITE' MEASUREMENT. WHERE FENCES ARE EXISTING A RE-ESTABLISHMENT SURVEY IS RECOMMENDED TO ESTABLISH CORRECT BOUNDARIES AND SETBACKS

- 2000L WATER TANK TO BE CONNECTED TO THE SANITARY FACILITIES

- SEWERAGE EASEMENT 1.83M FROM BACK FENCE. SEWER TIE LOCATED IN SOUTH EAST CORNER OF BLOCK

AREAS

- BLOCK AREA : 566.24M²

- GROUND FLOOR - 185.10

- FIRST FLOOR - 114.86

- TOTAL FLOOR AREA - 299.96

LEGEND

EXISTING TREES TO RETAIN

WATER MAINS

EXISTING POWER POLE

HABITABLE WINDOW / SLIDING DOOR

DATUM A.H.D

BOUNDARY FENCE

TAP

PROPOSED WATER TAPPING LOCATION

EXISTING JUNCTION PIT

TELSTRA PIT

SEWERAGE EASEMENT 1.83M

RAINWATER TANK

REFERENCE BENCHMARK
TBM RIVET IN CONCRETE DRIVE ON THE RIGHT HAND SIDE OF 35 DYER STREET, HOPPERS CROSSING, 3029, RL 27.22m AHD

ALL CONTOUR LEVELS AND FEATURES SHOWN ARE TAKEN FROM SURVEY DONE BY STEVE PALMER LICENSED LAND SURVEYOR

WYNDHAM CITY COUNCIL

Town Planning

Advertised Documents

Plan: 2 of 14

OWNER

P.O BOX 4032,
MT ELIZA, 3930 VIC
AUSTRALIA
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ABN 48 153 696 309

DRAWN BY:

CHECKED BY:

CDB-U: 58186

HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING

CLIENT NAME:

SHEET NAME: PROPOSED SITE

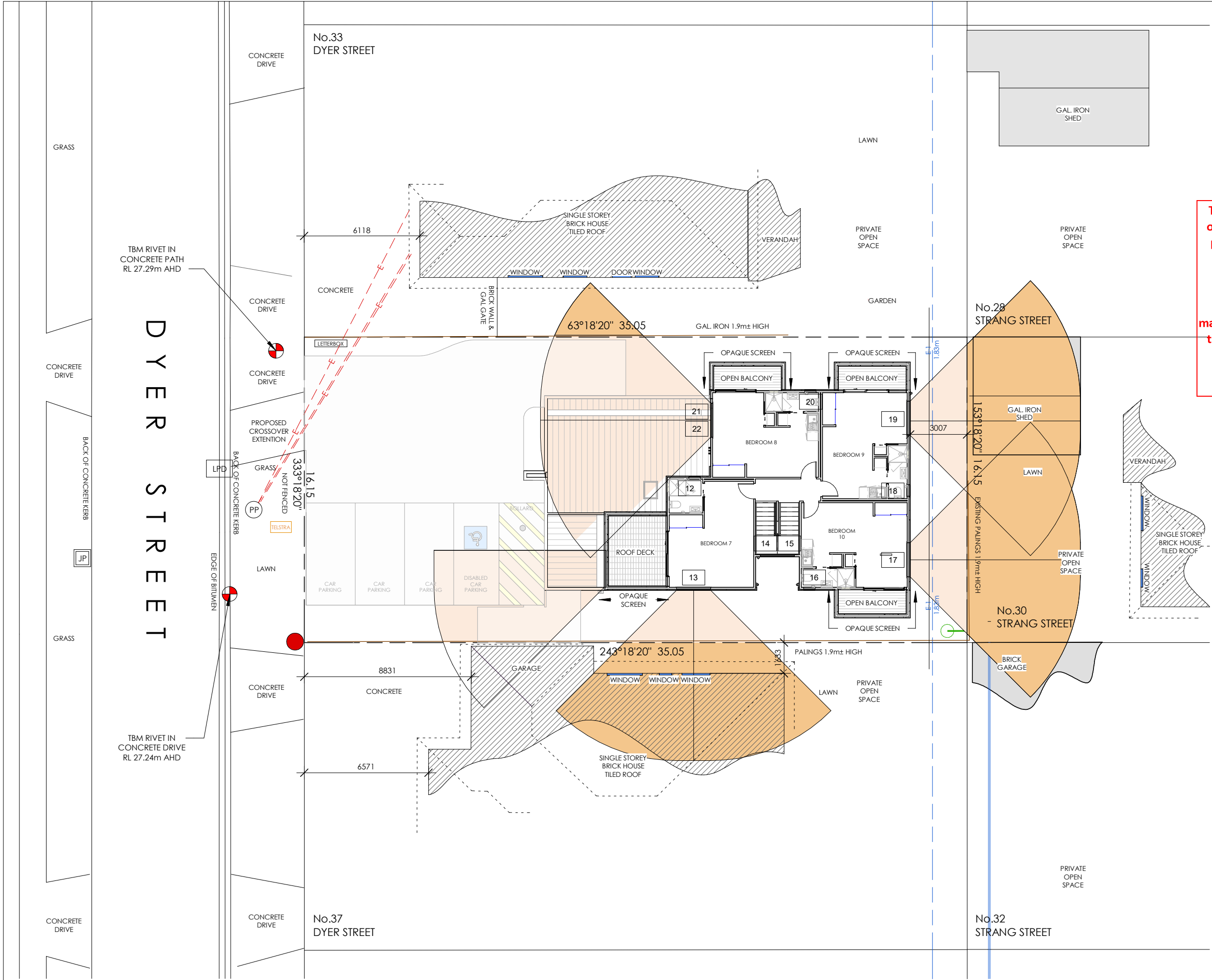
SCALE: 1 : 200

DATE: 01/04/2025

PROJECT NUMBER: MO170

ISSUE NUMBER: B

SHEET NUMBER: PL 2 OF 14



NOTES

- WINDOWS 13, 17, 19, AND 21 ARE TO HAVE AN OPAQUE FILM UP TO 1700MM FROM FINISHED FLOOR LEVEL, TO PREVENT OVERLOOKING
- WINDOWS 12, 14, 15, 16, 18, 20 AND 22 ARE TO BE OPAQUE
- ROOM 8, 9 & 10 BALCONIES ARE TO HAVE OPAQUE GLASS PANELS INSTALLED ON TOP OF BALASTRAUDE WALL. THE TOP OF THESE GLASS PANELS ARE TO MEASURE 1700MM FROM FINISHED FLOOR LEVEL
- ROOM 7 ROOF DECK TO HAVE OPAQUE GLASS PANELS INSTALLED ON TOP OF BALASTRAUDE WALL. THE TOP OF THESE GLASS PANELS ARE TO MEASURE 1700MM FROM FINISHED FLOOR LEVEL ON THE SOUTHERN SIDE ONLY. THE REMAINING SIDES DO NOT OVERLOOK PRIVATE OPEN SPACE

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W modobuilders.com.au
ABN 48 153 696 309

DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]
CDB-U: 58186
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING
CLIENT NAME: [REDACTED]
SHEET NAME: OVERLOOKING
SCALE: 1 : 200

DATE: 01/04/2025
PROJECT NUMBER: MO170
ISSUE NUMBER: B
SHEET NUMBER: PL 3 OF 14

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Town Planning
Advertised Documents
Plan: 3 of 14
OWNER: [REDACTED]

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LEGEND

TAP	EXTERNAL TAP LOCATION
DP	DOWNPIPE LOCATION
●	SEWER STACK
— —	BEAM LOCATION - SEE I6 FOR MORE DETAIL
REF	REFRIGERATOR
HW	HOTWATER SERVICE LOCATION
▨	TILED NICHE IN SHOWER SEE ANNEXURE FOR DIMENSIONS
▬	CONCRETE THRESHOLD RAMP TO BE BUILT INTO THE CONCRETE PATHWAY AND TO MEET AS1428.1-2009 REQUIREMENTS
⏏	KILOWATT HOUR ELECTRICAL METER - DIGITAL
⏏	MAIN METER PANEL WITH INBUILT SWITCH BOARD

AREAS

ROOM	AREA M ²
GROUND FLOOR	185.10
FIRST FLOOR	114.86
TOTAL FLOOR AREA	299.96

NOTES

- REFER TO ELECTRICAL DRAWING ON PAGE 8 FOR ALL MECHANICAL VENTILATION AND SMOKE ALARM DETAILS
- DOOR 1, 2, 9, 23 AND 24 ARE TO HAVE 'D' TYPE SINGLE DOWNWARD ACTION LEVER HANDLES TO DOORS TO BE ACCESSIBLE
- ALL DOORS TO BE 110MM NOM. FROM STUD WALL TO HINGE SIDE UNLESS OTHERWISE STATED
- CONCRETE THRESHOLD RAMP TO BE BUILT INTO THE CONCRETE PATHWAY AND IS TO MEET AS1428.1 - 2009 REQUIREMENTS. PAVING LEVEL AT FRONT DOOR TO BE 27.47 A.H.D.
- PEEP HOLES TO BE INSTALLED 1625MM OFF FLOOR LEVEL
- HEBEL SILLS TO BE INSTALLED UNDER D6, D7

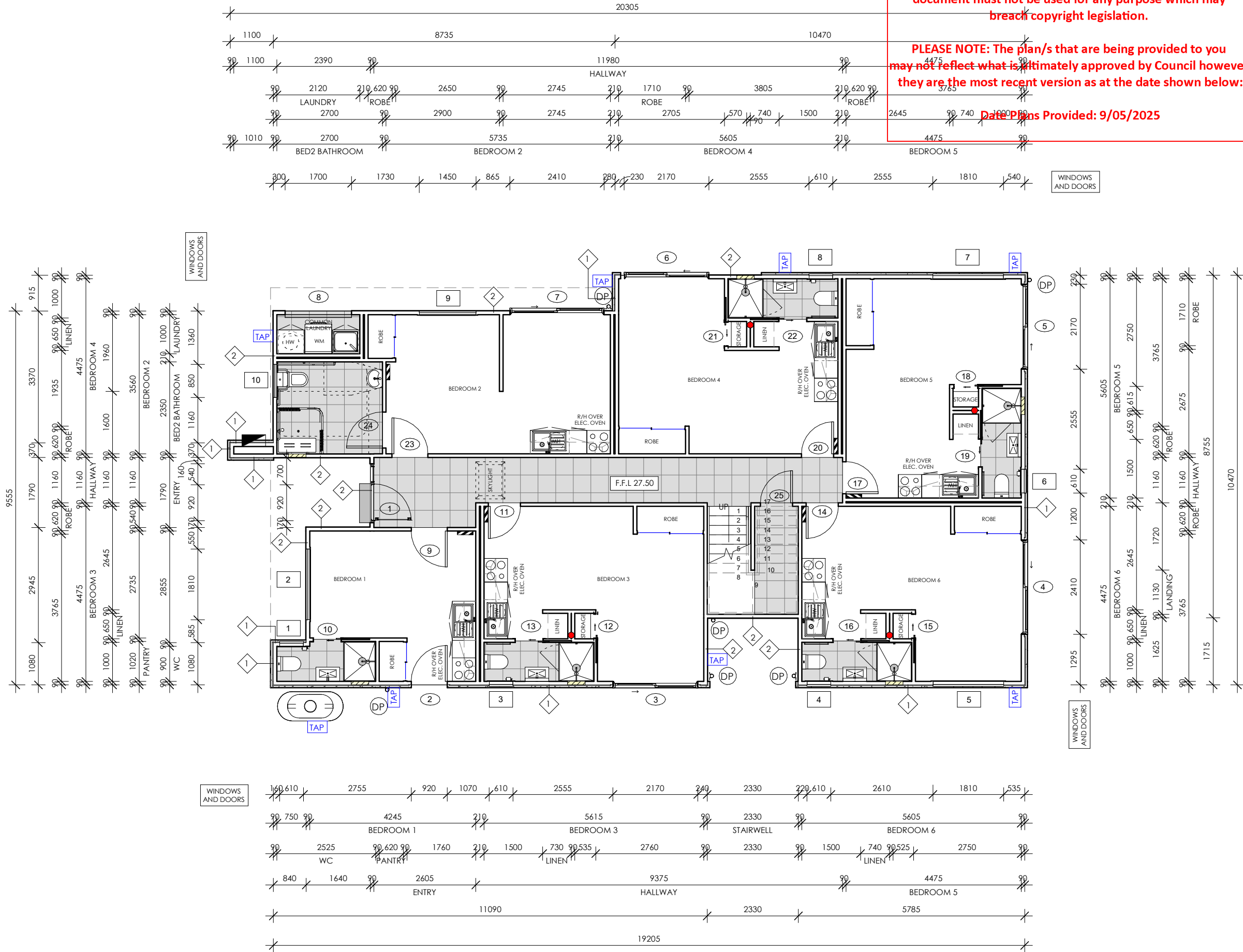
WALL LEGEND

1 SELECTED RENDER FINISH OVER 50MM HEBEL PANELS ON 20MM TOP HATS ON TIMBER STUD WALL

2 WEATHERTEX WEATHERGROOVE 150 WOODSMAN 150MM STUD WALL

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Town Planning
Advertised Documents

Plan: 4 of 14



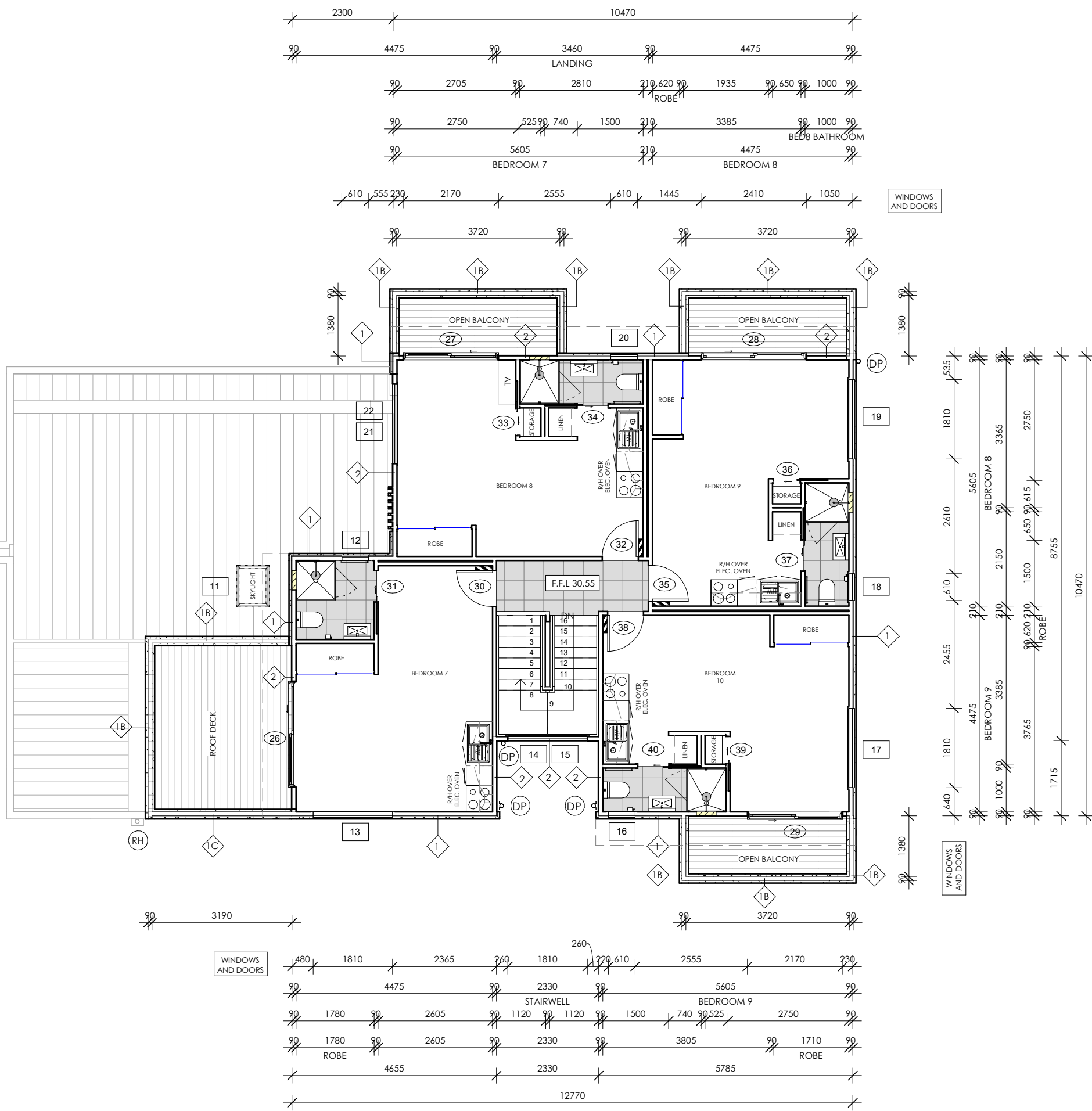
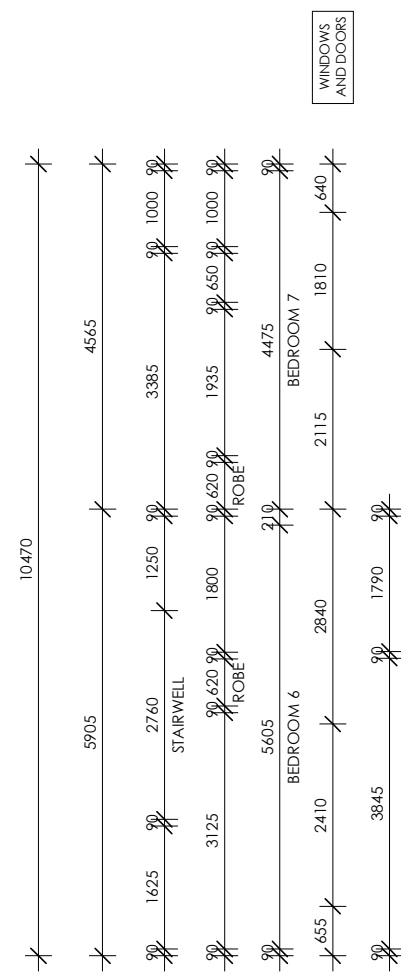
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E [REDACTED]
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ABN 48 153 696 309

DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]
CDB-U: 58186
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING
CLIENT NAME: [REDACTED]
SHEET NAME: GROUND FLOOR
SCALE: 1 : 100

DATE: 01/04/2025
PROJECT NUMBER: MO170
ISSUE NUMBER: B
SHEET NUMBER: PL 4 OF 14

OWNER



WINDOWS
AND DOORS

WINDOWS
AND DOORS

WINDOWS
AND DOORS

LEGEND

(RH)	RAINHEAD LOCATION
(DP)	DOWNPIPE LOCATION
(HW)	HOTWATER SERVICE LOCATION
▨	TILED NICHE IN SHOWER SEE ANNEXURE FOR DIMENSIONS
⏻	KILOWATT HOUR ELECTRICAL METER - DIGITAL

AREAS

ROOM	AREA M ²
GROUND FLOOR	185.10
FIRST FLOOR	114.86
TOTAL FLOOR AREA	299.96

NOTES

- REFER TO ELECTRICAL DRAWING ON PAGE 9 FOR ALL MECHANICAL VENTILATION AND SMOKE ALARM DETAILS.
- ALL DOORS TO BE 110MM NOM. FROM STUD WALL TO HINGE SIDE UNLESS OTHERWISE STATED ON PLANS
- PEEP HOLES TO BE INSTALLED 1625MM OFF FLOOR LEVEL

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WALL LEGEND

- 1 SELECTED RENDER FINISH OVER 50MM HEBEL PANELS ON 20MM TOP HATS ON TIMBER STUD WALL
- 1B SELECTED RENDER FINISH OVER 60MM (INTERNAL) & 60MM (EXTERNAL) POLYSTYRENE PANELS - NRG SYSTEM ACCREDITED & CERTIFIED ON TIMBER STUD WALL
- 1C (INTERNAL) SELECTED RENDER FINISH OVER 60MM POLYSTYRENE PANELS - NRG SYSTEM ACCREDITED & CERTIFIED ON TIMBER STUD WALL & (EXTERNAL) SELECTED RENDER FINISH OVER 50MM HEBEL PANELS ON 20MM TOP HATS
- 2 WEATHERTEX WEATHERGROOVE WOODSMAN 150 CLADDING ON TIMBER STUD WALL

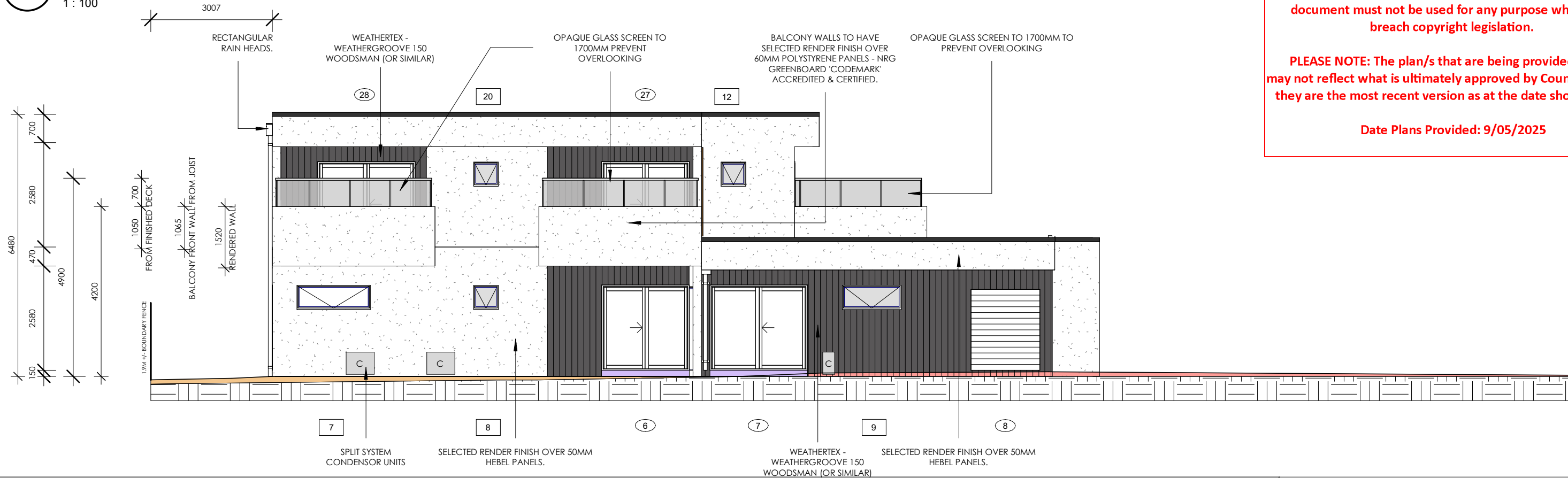
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Plan: 5 of 14

1

NORTH ELEVATION

1 : 100



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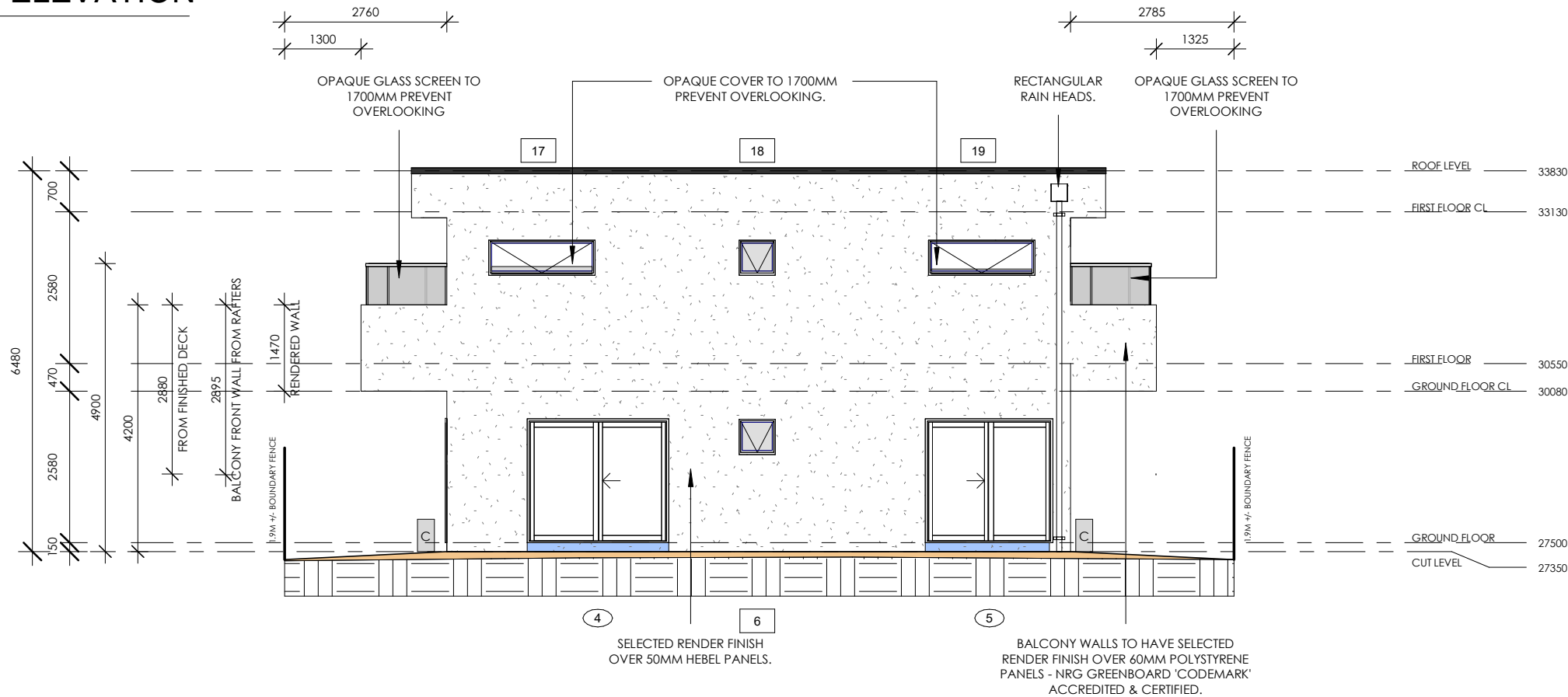
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2

EAST ELEVATION

1 : 100



NOTES:

ALL WINDOWS ALUMINIUM FRAMED TO ENERGY RATERS REQUIREMENTS.

SIZES NOTED ARE NOMINAL, REFER TO MANUFACTURER FOR ACTUAL SIZE, BUILD IN DETAILS & STUD OPENING SIZES

GRADE A SAFETY GLASS SHALL BE PROVIDED TO:

- ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR SHOWERS WHERE LOWEST SIGHT LINE IS LESS THAN 2.0M NCC VOL. 2 PART 8.4.6; &
- TO ALL GLAZING WITHIN 400MM OF GROUND OR PAVING

FRAMES & GLAZING SHALL BE DESIGNED TO WITHSTAND THE WIND CLASSIFICATION PROVIDED BY LOCAL AUTHORITY WHERE APPLICABLE.

WALL HEIGHTS NOMINATED ARE ACTUAL. CONSIDERATION HAS BEEN GIVEN TO ALLOW FOR CEILING LININGS, BATTENS AND FLOOR COVERINGS

VISUAL BANDS TO FULL HEIGHT GLAZING AS PER AS1428.1

LEGEND

	NATURAL GROUND LEVEL
	PROPOSED SITE CUT
	PROPOSED SITE FILL USING SITE CUT
	HEBEL FIN TO BE INSTALLED UNDER SLIPWING DOOR
	FLASHING TO BE INSTALLED UNDER DOOR - TO BE MATCHED TO DOOR COLOUR

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ABN 48 153 696 309

DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]
CDB-U: 58186
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING
CLIENT NAME: [REDACTED]
SHEET NAME: NORTH & EAST ELEVATIONS
SCALE: 1 : 100

DATE: 01/04/2025
PROJECT NUMBER: MO1170
ISSUE NUMBER: B
SHEET NUMBER: PL 6 OF 14

Plan: 6 of 14

OWNER

1

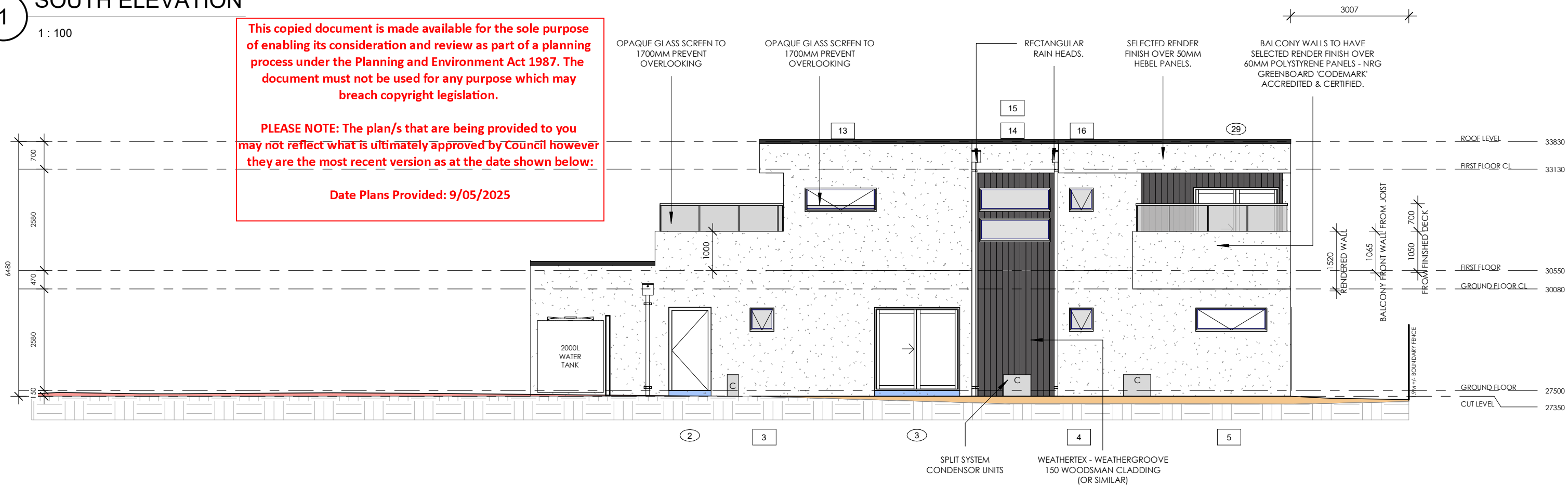
SOUTH ELEVATION

1 : 100

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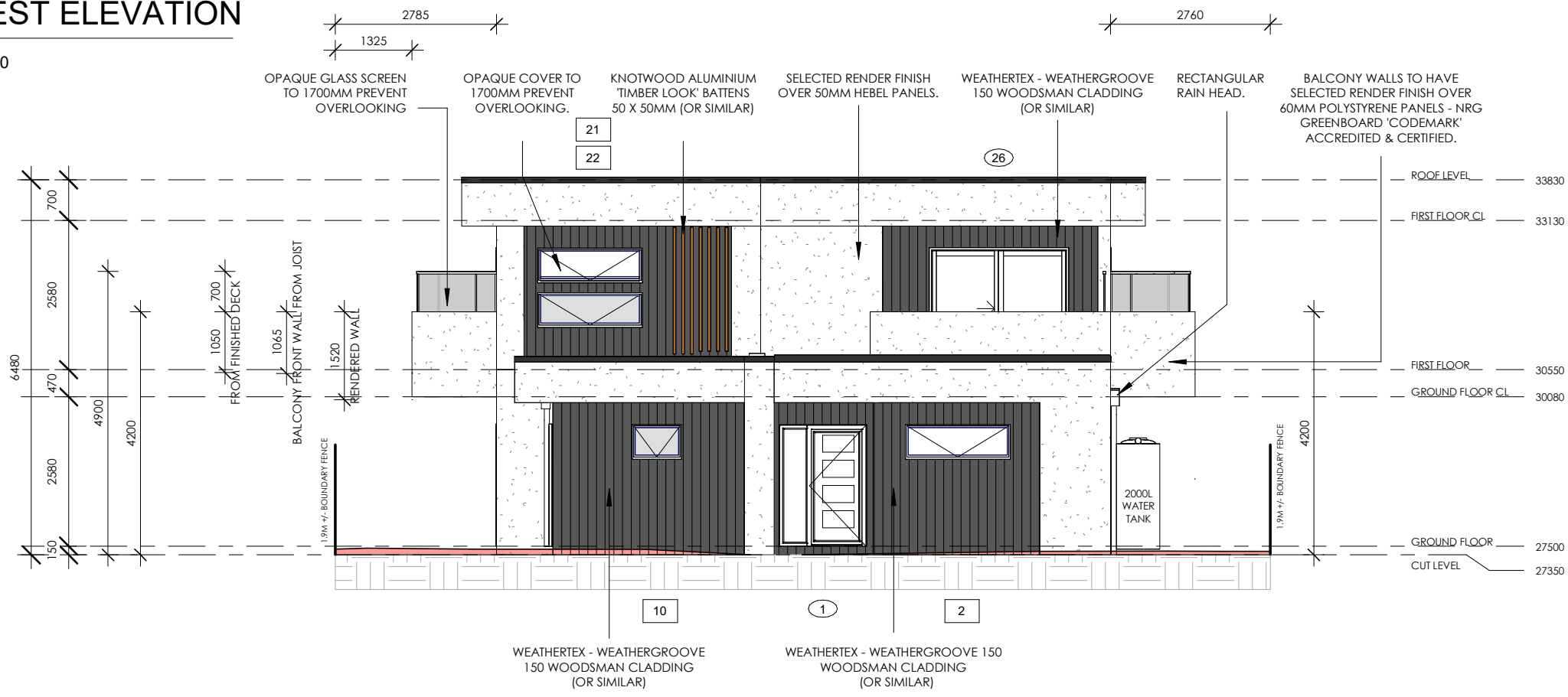
Date Plans Provided: 9/05/2025



2

WEST ELEVATION

1 : 100



NOTES:

- ALL WINDOWS ALUMINIUM FRAMED TO ENERGY RATERS REQUIREMENTS.
- SIZES NOTED ARE NOMINAL, REFER TO MANUFACTURER FOR ACTUAL SIZE, BUILD IN DETAILS & STUD OPENING SIZES
- GRADE A SAFETY GLASS SHALL BE PROVIDED TO:
 - ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR SHOWERS WHERE LOWEST SIGHT LINE IS LESS THAN 2.0M NCC VOL. 2 PART 8.4.6; &
 - TO ALL GLAZING WITHIN 400MM OF GROUND OR PAVING
- FRAMES & GLAZING SHALL BE DESIGNED TO WITHSTAND THE WIND CLASSIFICATION PROVIDED BY LOCAL AUTHORITY WHERE APPLICABLE.
- WALL HEIGHTS NOMINATED ARE ACTUAL. CONSIDERATION HAS BEEN GIVEN TO ALLOW FOR CEILING LININGS, BATTENS AND FLOOR COVERINGS
- VISUAL BANDS TO FULL HEIGHT GLAZING AS PER AS1428.1

LEGEND

	NATURAL GROUND LEVEL
	PROPOSED SITE CUT
	PROPOSED SITE FILL USING SITE CUT
	HEBEL - TO BE INSTALLED UNDER SLIPWING DOOR
	FLASHING TO BE INSTALLED UNDER DOOR - TO BE MATCHED TO DOOR COLOUR



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CHECKED BY: [REDACTED]
CDB-U: 58186
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING
CLIENT NAME: [REDACTED]
SHEET NAME: SOUTH & WEST ELEVATIONS
SCALE: 1 : 100

DATE: 01/04/2025
PROJECT NUMBER: MO1170
ISSUE NUMBER: B
SHEET NUMBER: PL 7 OF 14

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OWNER

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NOTES

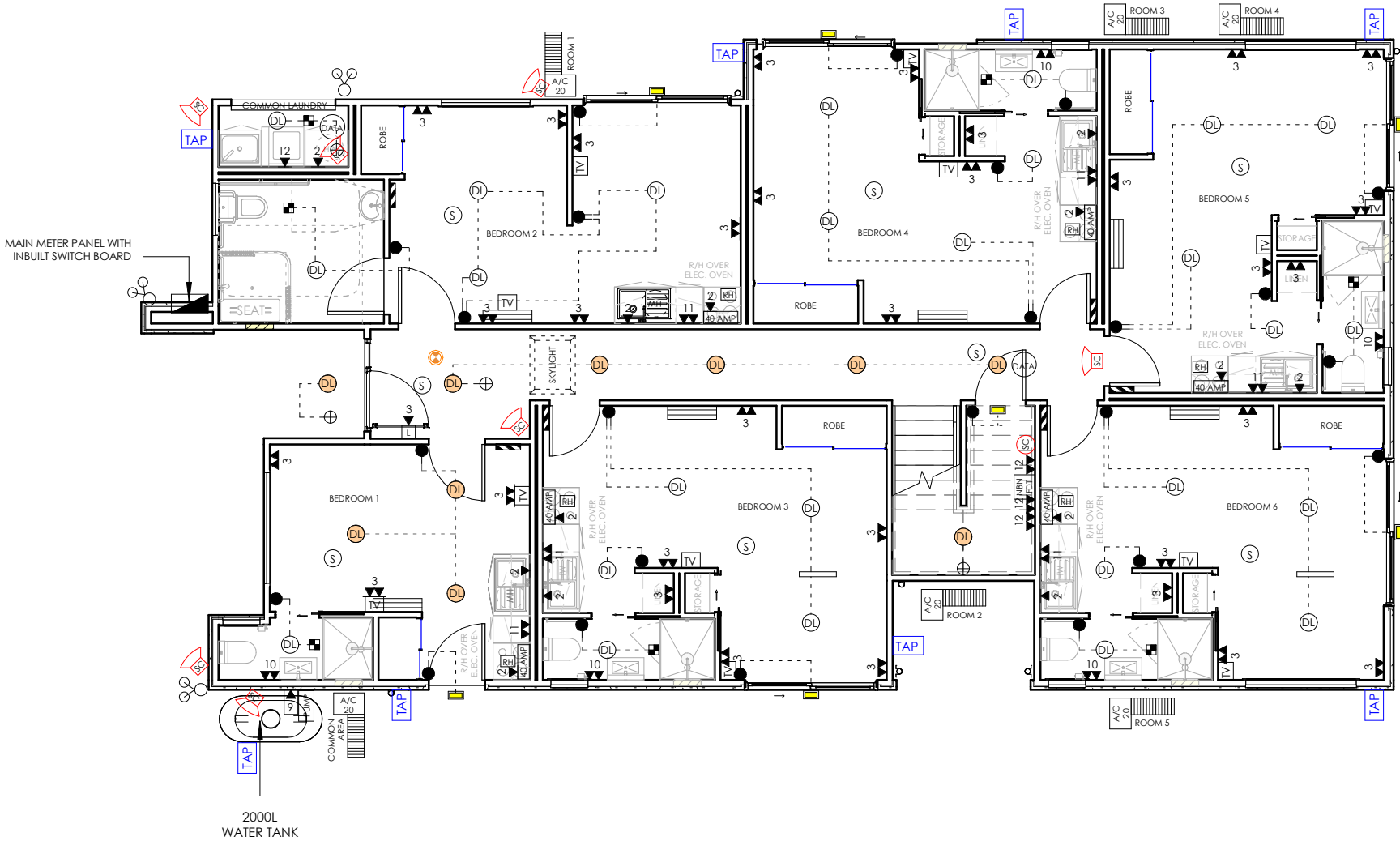
- LOCATION & POSITION OF ANY ELECTRICAL POINT MAY VARY DUE TO TIMBER FRAMING ETC
- ALL ENSUITE/BATHROOMS SHALL BE PROVIDED WITH AN EXHAUST FAN TO BE ACTIVATED ON USE WITH ELECTRIC LIGHT IN ROOM (REFER TO GN12)
- ALL EXHAUST FANS ARE TO BE DUCTED TO THE OUTSIDE AIR - EXHAUST FANS IN WETBARS TO BE LOCATED DIRECTLY ABOVE CABINETRY
- SPLIT SYSTEM CONDENSERS TO BE PLACED OUTSIDE EACH ROOM IN THE SELECTED LOCATIONS
- SPLIT SYSTEM PIPES TO BE LOCATED AT 400MM BELOW FINISHED CEILING HEIGHT
- SMOKE ALARMS AS PER NCC VOL. 2 PART H3D6 AND TO BE INTERCONNECTED AS PER ABCB HOUSING PROVISIONS CLAUSE 9.5.1(D)
- SMOKE ALARMS TO BE CONNECTED TO A MAINS POWER SOURCE WITH BATTERY BACKUP AS PER ABCB HOUSING PROVISIONS CLAUSE 9.5.1(C)
- THE HIGHLIGHTED LIGHTS ARE TO BE ACTIVATED BY SMOKE ALARMS AS PER ABCB HOUSING PROVISIONS PART 9.5
- ALL EXTERNAL LIGHTING TO HAVE DAYLIGHT SENSOR OT MIN EFFICACY OF 40 LUMENS/W
- NBN BOX UNDER STAIRS TO MEET NBN'S MDU STANDARD DESIGN. IT IS TO BE CONNECTED BY P20 WHITE COMMUNICATIONS CONDUIT WITH DRAWSTRING. THE CONDUITS ARE NOT TO HAVE MORE THAN THREE BENDS
- DATA CABLING CAT-6 SOLID CORE WITH APPROVED CAT-6 SOCKETS
- MIN. WATTAGE OF 4KW/m² IN ACCORDANCE WITH NCC VOL. 2 2022, SECT. H PART H6P2(d)

LEGEND

	SINGLE GENERAL PURPOSE POWER OUTLET (200 HIGH)
	SINGLE 40 AMP POWER OUTLET (600 HIGH)
	SINGLE GENERAL PURPOSE POWER OUTLET (300 HIGH)
	SINGLE GENERAL PURPOSE POWER OUTLET (700 HIGH)
	SINGLE GENERAL PURPOSE POWER OUTLET (1000 HIGH)
	SINGLE GENERAL PURPOSE POWER OUTLET IN LOCKBOX (300 HIGH)
	SINGLE EXTERNAL POWER OUTLET (900 HIGH)
	DOUBLE GENERAL PURPOSE POWER OUTLET (300 HIGH)
	DOUBLE GENERAL PURPOSE POWER OUTLET (1000 HIGH)
	DOUBLE GENERAL PURPOSE POWER OUTLET (1100 HIGH)
	DOUBLE GENERAL PURPOSE POWER OUTLET (1200 HIGH)
	SINGLE SWITCH
	2 GANG SWITCH
	HARD WIRED SMOKE ALARM TO AS 3786 REQUIREMENTS - 'CLIPSAL' 755SMA
	SQUARE DUCTED EXHAUST FAN
	TELEVISION POINT (1300 HIGH)
	DOWNLIGHT 10W LED
	DOWNLIGHT 10W LED ACTIVATED BY SMOKE ALARM S PER THE BCA 3.7.2.5.
	LED SPITFIRE EMERGENCY BACKUP LIGHT 2W
	EXTERNAL BUNKER LIGHT (18W GLOBE)
	EXTERNAL MOTION SENSOR CONTROLLER
	OUTDOOR SPOT LIGHTS WITH SENSOR
	SPLIT SYSTEM A/C UNIT
	SPLIT SYSTEM CONDENSER
	20 AMP SPLIT SYSTEM CONDENSER SWITCH
	MAIN METER PANEL WITH INBUILT SWITCH BOARD 45A KWH METER - XEM145
	KILOWATT HOUR ELECTRICAL METER - DIGITAL
	HOT WATER SERVICE LOCATION
	SUBMERSIBLE WATER TANK PUMP
	WIRELESS DATA HUB MOUNTED TO CEILING IN ROBES
	MAIN NBN CONNECTION BOX FROM THE STREET
	RANGEHOOD - REFER TO SPECIFICATIONS
	SECURITY CAMERAS - BY OWNER
	SECURITY SYSTEM SERVER - BY OWNER

LIGHTING SCHEDULE

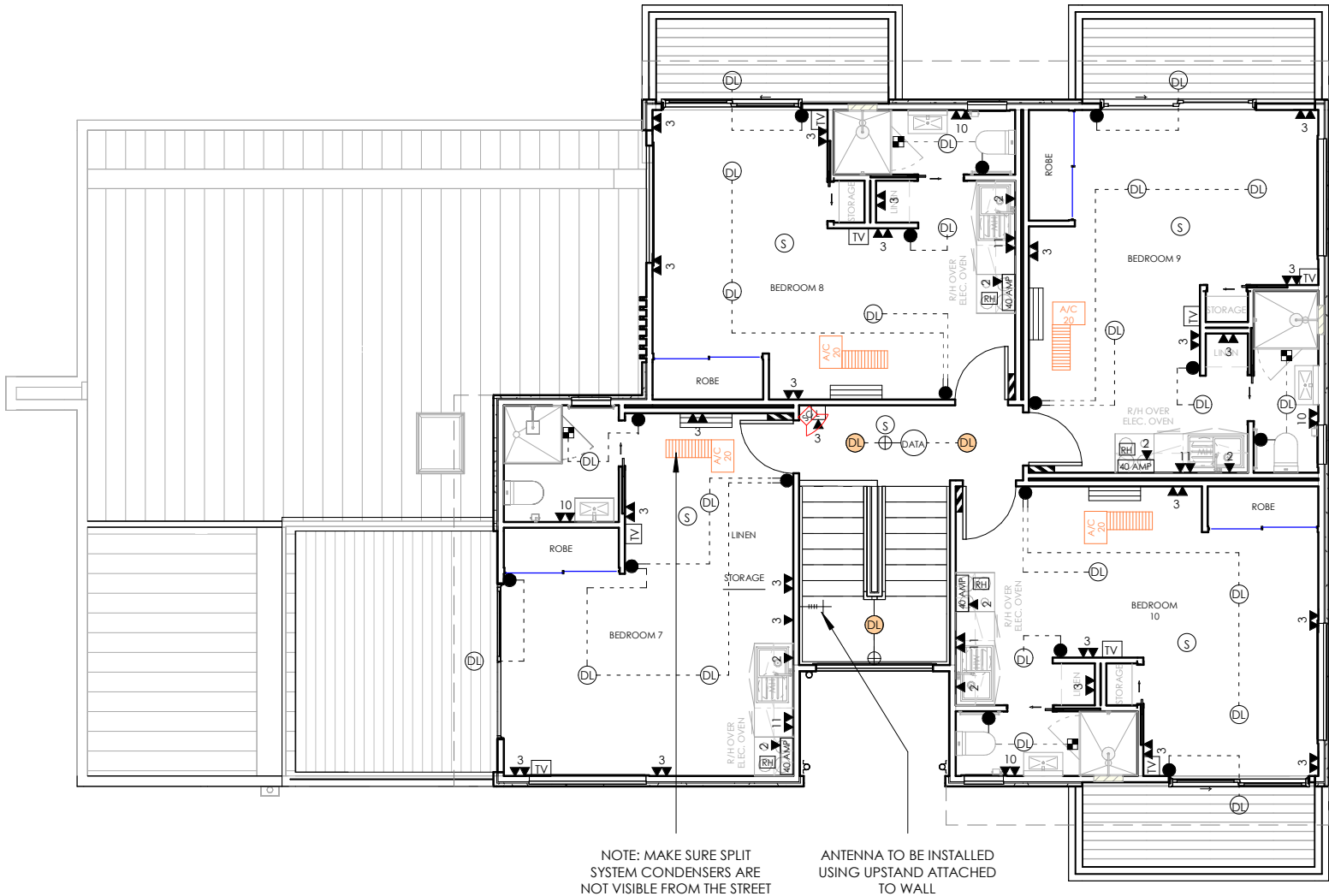
ROOM	AREA	W/M²	MAX. W	NO. LIGHTS	WATTAGE	TOTAL
BEDROOM 1	14.38M²	5	71.75	3	10	30
BEDROOM 2	20.08M²	5	100.34	3	10	30
BEDROOM 3	20.7M²	5	103.5	4	10	40
BEDROOM 4	20.7M²	5	103.5	4	10	40
BEDROOM 5	20.7M²	5	103.5	4	10	40
BEDROOM 6	20.7M²	5	103.5	4	10	40
TOTAL ALLOWABLE:			586.09 W	TOTAL PROVIDED:		220 WATTS



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LIGHTING SCHEDULE

ROOM	AREA	W/M²	MAX. W	NO. LIGHTS	WATTAGE	TOTAL
BEDROOM 7	20.27M²	5	101.35	3	10	30
BEDROOM 8	20.7M²	5	103.5	3	10	40
BEDROOM 9	20.7M²	5	103.5	3	10	40
BEDROOM 10	20.7M²	5	103.5	3	10	40
TOTAL ALLOWABLE:			411.85W	TOTAL PROVIDED:		150 WATTS

NOTES

- LOCATION & POSITION OF ANY ELECTRICAL POINT MAY VARY DUE TO TIMBER FRAMING ETC
- ALL ENSUITE/BATHROOMS SHALL BE PROVIDED WITH AN EXHAUST FAN TO BE ACTIVATED ON USE WITH ELECTRIC LIGHT IN ROOM (REFER TO GN12)
- ALL EXHAUST FANS ARE TO BE DUCTED TO THE OUTSIDE AIR - EXHAUST FANS IN WETBARS TO BE LOCATED DIRECTLY ABOVE CABINERY
- SPLIT SYSTEM CONDENSERS TO BE PLACED OUTSIDE EACH ROOM IN THE SELECTED LOCATIONS
- SPLIT SYSTEM PIPES TO BE LOCATED AT 400MM BELOW FINISHED CEILING HEIGHT
- SMOKE ALARMS AS PER NCC VOL. 2 PART H3D6 AND TO BE INTERCONNECTED AS PER ABCB HOUSING PROVISIONS CLAUSE 9.5.1(D)
- SMOKE ALARMS TO BE CONNECTED TO A MAINS POWER SOURCE WITH BATTERY BACKUP AS PER ABCB HOUSING PROVISIONS CLAUSE 9.5.1(C)
- THE HIGHLIGHTED LIGHTS ARE TO BE ACTIVATED BY SMOKE ALARMS AS PER ABCB HOUSING PROVISIONS PART 9.5
- ALL EXTERNAL LIGHTING TO HAVE DAYLIGHT SENSOR OT MIN EFFICACY OF 40 LUMENS/W
- NBN BOX UNDER STAIRS TO MEET NBN'S MDU STANDARD DESIGN. IT IS TO BE CONNECTED BY P20 WHITE COMMUNICATIONS CONDUIT WITH DRAWSTRING. THE CONDUITS ARE NOT TO HAVE MORE THAN THREE BENDS
- DATA CABLING CAT-6 SOLID CORE WITH APPROVED CAT-6 SOCKETS
- MIN. WATTAGE OF 4KW/m² IN ACCORDANCE WITH NCC VOL. 2 2022, SECT. H PART H6P2(d)

LEGEND

	SINGLE GENERAL PURPOSE POWER OUTLET (200 HIGH)
	SINGLE 40 AMP POWER OUTLET (600 HIGH)
	SINGLE GENERAL PURPOSE POWER OUTLET (300 HIGH)
	SINGLE GENERAL PURPOSE POWER OUTLET (700 HIGH)
	SINGLE GENERAL PURPOSE POWER OUTLET (1000 HIGH)
	SINGLE GENERAL PURPOSE POWER OUTLET IN LOCKBOX (300 HIGH)
	DOUBLE GENERAL PURPOSE POWER OUTLET (300 HIGH)
	DOUBLE GENERAL PURPOSE POWER OUTLET (1000 HIGH)
	DOUBLE GENERAL PURPOSE POWER OUTLET (1100 HIGH)
	DOUBLE GENERAL PURPOSE POWER OUTLET (1200 HIGH)
	SINGLE SWITCH
	2 GANG SWITCH
	HARD WIRED SMOKE ALARM TO AS 3786 REQUIREMENTS - 'CLIPSAL' 755SMA
	SQUARE DUCTED EXHAUST FAN
	TELEVISION POINT (1300 HIGH)
	DOWNLIGHT 10W LED
	DOWNLIGHT 10W LED ACTIVATED BY SMOKE ALARM S PER THE BCA 3.7.2.5.
	LED SPITFIRE EMERGENCY BACKUP LIGHT 2W
	EXTERNAL BUNKER LIGHT (18W GLOBE)
	EXTERNAL MOTION SENSOR CONTROLLER
	OUTDOOR SPOT LIGHT
	OUTDOOR SPOT LIGHTS WITH SENSOR
	SPLIT SYSTEM A/C UNIT
	SPLIT SYSTEM CONDENSER
	20 AMP SPLIT SYSTEM CONDENSER SWITCH
	UNIT SUB - SWITCHBOARD
	HOT WATER SERVICE LOCATION
	WIRELESS DATA HUB MOUNTED TO CEILING IN ROBES
	RANGEHOOD - REFER TO SPECIFICATIONS
	SECURITY CAMERAS - BY OWNER
	TV ANTENNA

WYNDHAM CITY COUNCIL
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Plan: 9 of 14



MODO
PROJECT BUILDERS

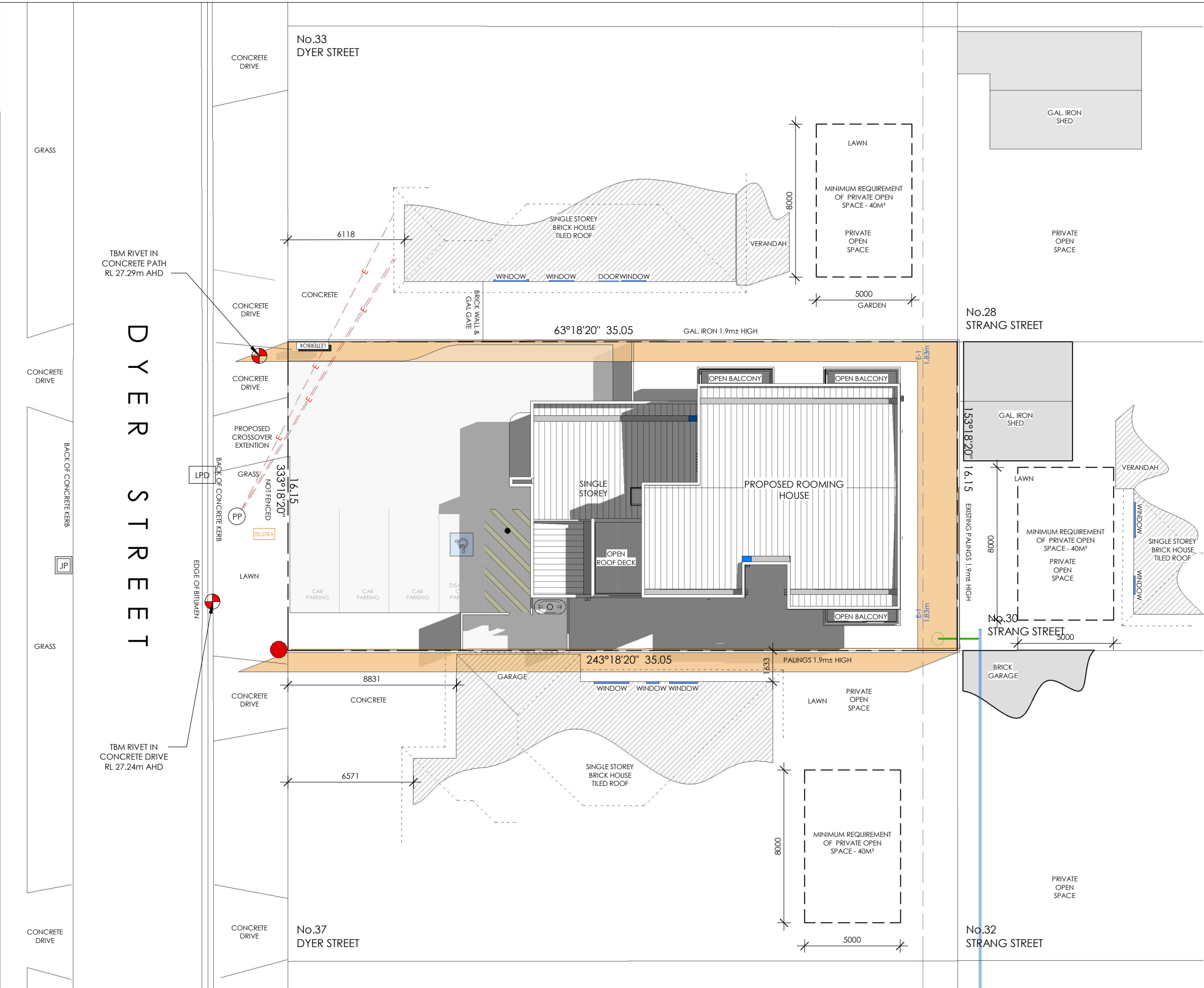
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P [REDACTED]
E [REDACTED]
W modobuilders.com.au
ABN 48 153 696 309

DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]
CDB-U: 58186
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING
CLIENT NAME: [REDACTED]
SHEET NAME: FIRST FLOOR ELECTRICAL
SCALE: 1 : 100

DATE: 01/04/2025
PROJECT NUMBER: MO1170
ISSUE NUMBER: B
SHEET NUMBER: PL 9 OF 14

OWNER



NOTES:

- ORANGE SHADE INDICATES EXISTING FENCE SHADOWLINE.
- 9 AM OVERSHADOWING BASED ON THE 22/09/2023.

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Date Plans Provided: 9/05/2025

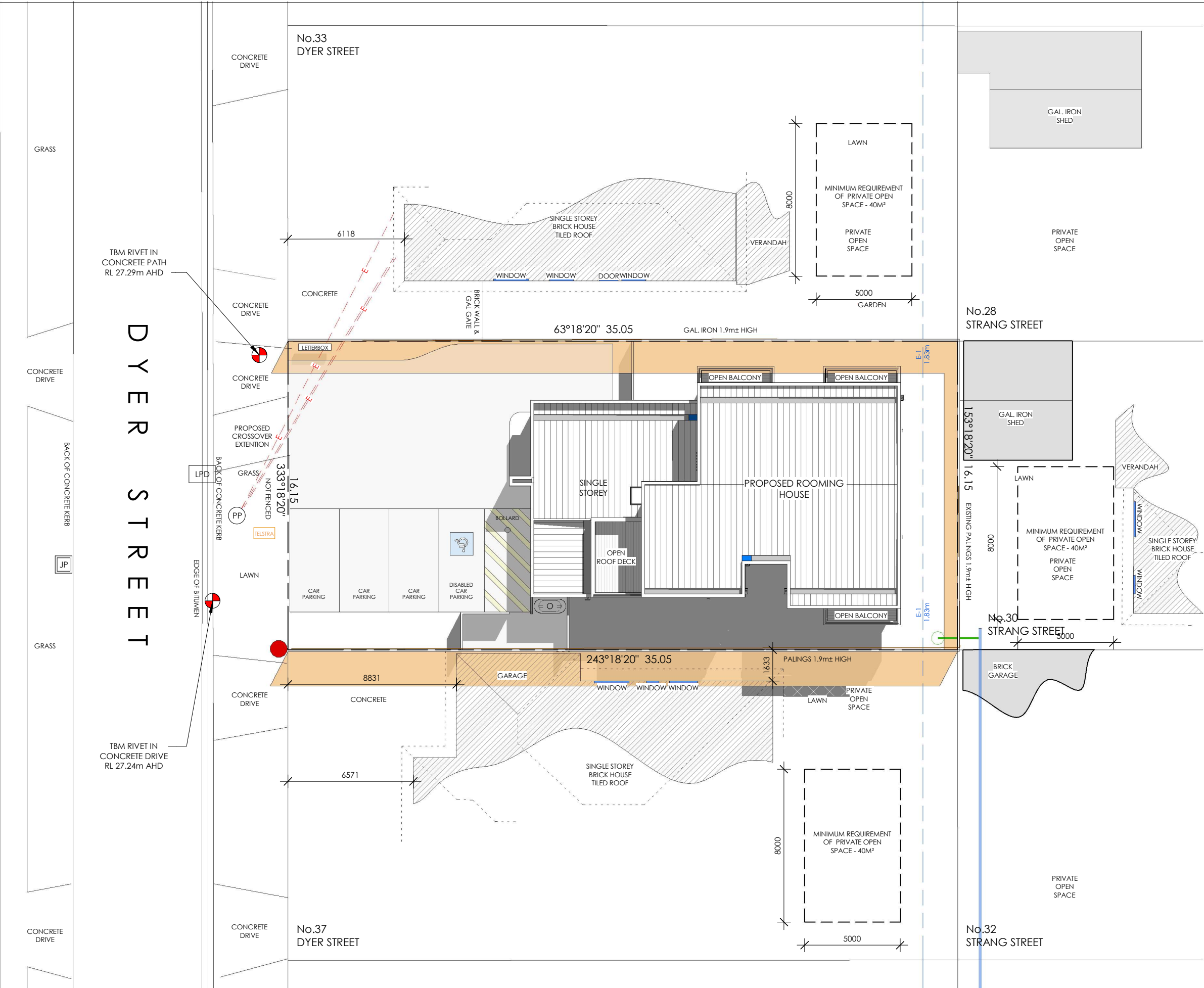
LEGEND

	EXISTING FENCE SHADOWS
	PROPOSED BUILDING SHADOW
	PROPOSED BUILDING SHADOW INTO PRIVATE OPEN SPACE
	MINIMUM SUNLIGHT AREA REQUIREMENT FOR PRIVATE OPEN SPACE

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Plan: 10 of 14

OWNER



NOTES:

- ORANGE SHADE INDICATES EXISTING FENCE SHADOWLINE.
- 12 PM OVERSHADOWING BASED ON THE 22/09/2023.

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Date Plans Provided: 9/05/2025

LEGEND	
	EXISTING FENCE SHADOWS
	PROPOSED BUILDING SHADOW
	PROPOSED BUILDING SHADOW INTO PRIVATE OPEN SPACE
	MINIMUM SUNLIGHT AREA REQUIREMENT FOR PRIVATE OPEN SPACE

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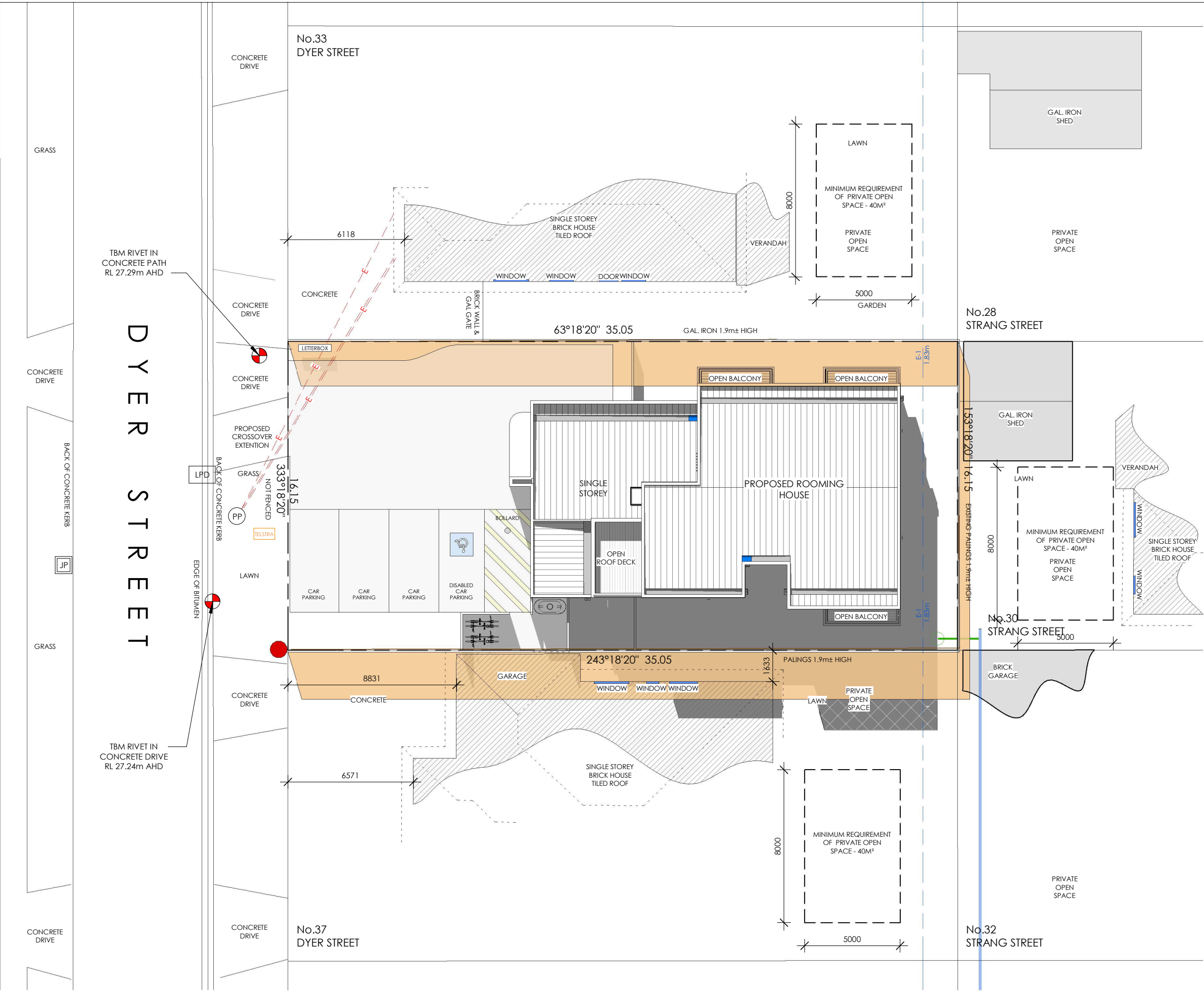
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CHECKED BY: [REDACTED]
CDB-U: 58186
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING
CLIENT NAME: [REDACTED]
SHEET NAME: 12PM OVERSHADOWING
SCALE: 1 : 200

DATE: 01/04/2025
PROJECT NUMBER: MO170
ISSUE NUMBER: B
SHEET NUMBER: PL11 OF 14

NOTES:
ORANGE SHADE INDICATES EXISTING FENCE SHADOWLINE
- 2 PM OVERSHADOWING BASED ON 12/09/2025
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Date Plans Provided: 9/05/2025



LEGEND

- EXISTING FENCE SHADOWS
- PROPOSED BUILDING SHADOW
- PROPOSED BUILDING SHADOW INTO PRIVATE OPEN SPACE
- MINIMUM SUNLIGHT AREA REQUIREMENT

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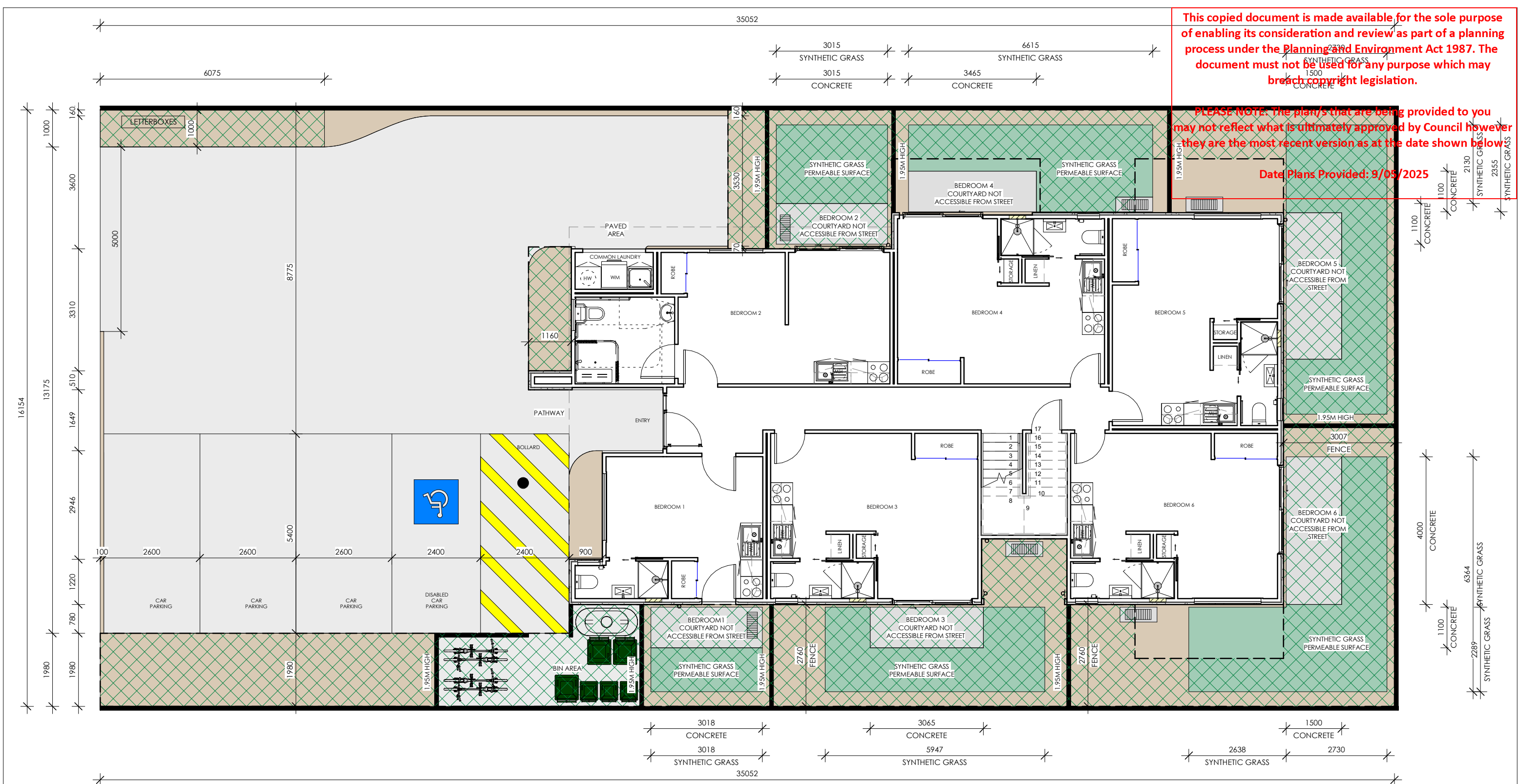
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HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING
CLIENT NAME:
SHEET NAME: 2PM OVERSHADOWING
SCALE: 1 : 200

DATE: 01/04/2025
PROJECT NUMBER: MO170
ISSUE NUMBER: B
SHEET NUMBER: PL 12 OF 14

OWNER



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Date Plans Provided: 9/05/2025

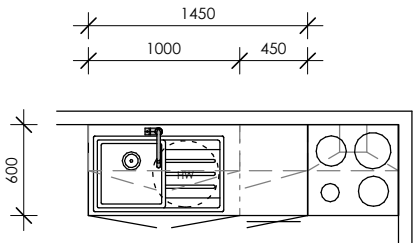
LEGEND	
	PROPOSED FENCES
	FAKE GRASS AS PER CLIENTS REQUEST
	GARDEN BED COVERINGS AND PLANTS AS PER CLIENTS REQUEST
	CONCRETE DRIVEWAY AND PAVING AS PER CLIENTS REQUEST
	GARDEN AREA

CLASS 1B DWELLING - ROOMING HOUSE	
NOTES	
- THIS BUILDING DOES NOT HAVE MORE THAN 10 BEDROOMS AND WILL NOT ACCOMODATE MORE THAN 12 PERSONS	
- BANK OF 10 LETTERBOXES, ONE ALLOCATED TO EACH TENANT PLUS ADDITIONAL SPARE	
- TOTAL FLOOR AREA CALCULATED FROM EXTERNAL CLADDING IS 299.91M ²	
- CALCULATION IN RELATION TO MINIMUM GAREN AREA REQUIREMENT	
TOTAL BLOCK AREA	566.24M ²
GARDEN AREA	169.93M ² - 30.01%

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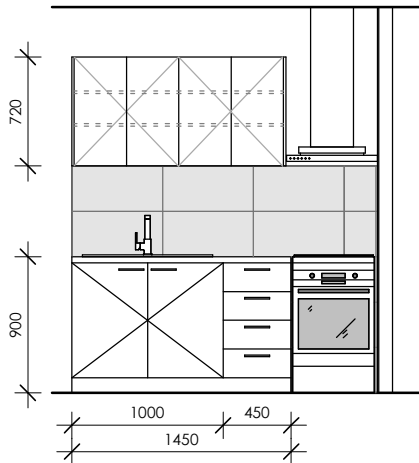
PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:

Date Plans Provided: 9/05/2025

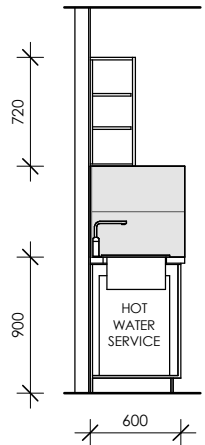


BEDROOM 2 LAYOUT IS MIRRORED

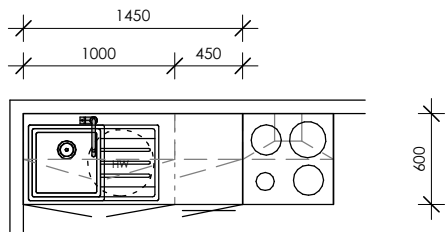
BEDROOM CABINETRY A
1 : 50 BEDROOM 1, 2 & 7



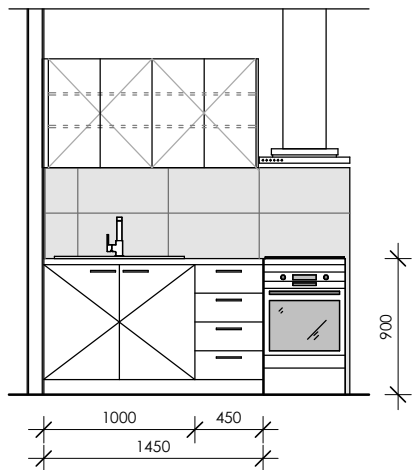
BEDROOM CABINETRY A - ELEVATION
1 : 50



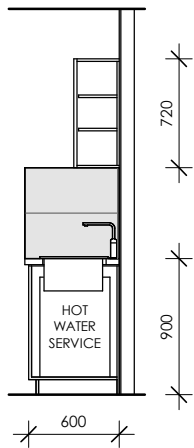
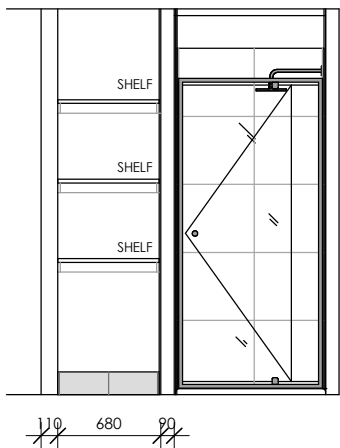
BEDROOM CABINETRY A - SECTION
1 : 50



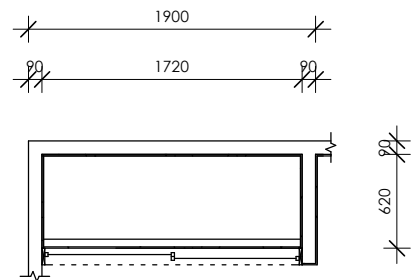
BEDROOM CABINETRY B
1 : 50 BEDROOM 3, 4, 5, 6, 8, 9 & 10



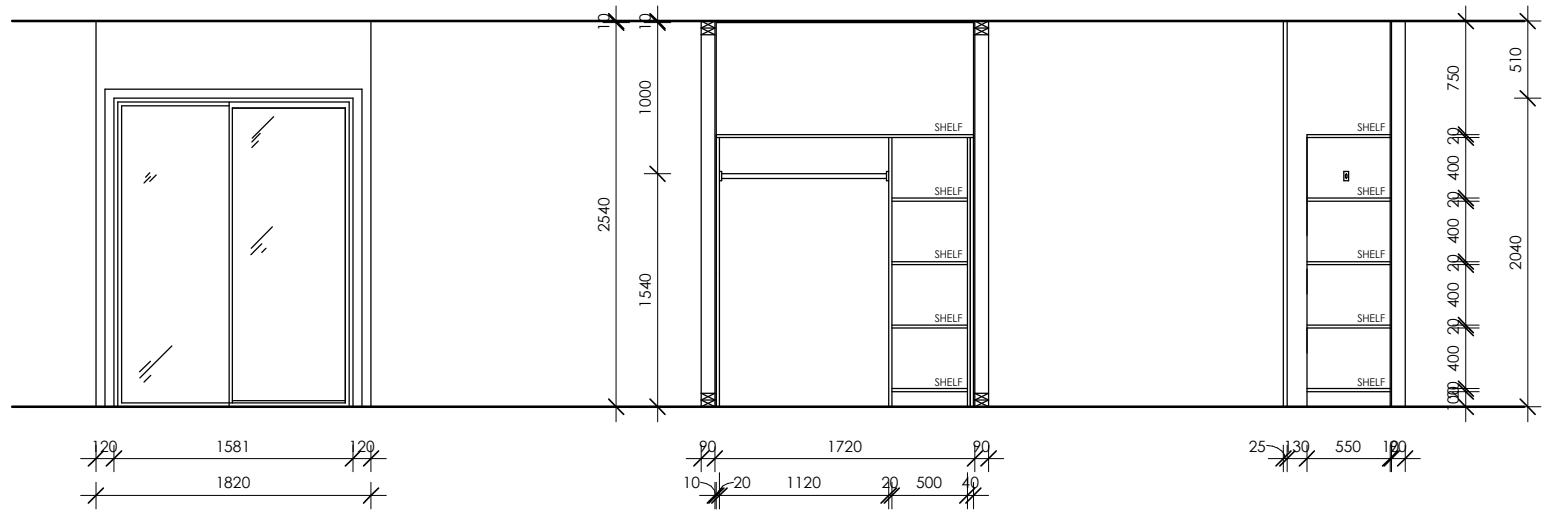
BEDROOM CABINETRY B - ELEVATIONS
1 : 50



BEDROOM CABINETRY B - SECTION
1 : 50



BEDROOM ROBES
1 : 50



ROBE ELEVATION

ROBE INTERNAL

ROBE SECTION

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CDB-U: 58186
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING
CLIENT NAME: [REDACTED]
SHEET NAME: BEDROOM CABINETRY
SCALE: 1 : 50

DATE: 01/04/2025
PROJECT NUMBER: MO170
ISSUE NUMBER: B
SHEET NUMBER: PL 14 OF 14

OWNER