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**PLEASE NOTE: The plan/s that are being provided to you may not reflect what is ultimately approved by Council however they are the most recent version as at the date shown below:**

Date Plans Provided: 9/05/2025

## SERVICES

STREET NUMBER: 35 DYER STREET, HOPPERS CROSSING, 3029  
LOT: 271 LP75334  
VOL: 8655 FOLIO: 218  
LOCAL GOVERNMENT (COUNCIL): WYNDHAM  
COUNCIL PROPERTY NUMBER: 126227  
DIRECTORY REFERENCE: MELWAY 206 H3

## UTILITIES

RURAL WATER CORPORATION: SOUTHERN RURAL WATER  
MELBOURNE WATER RETAILER: GREATER WESTERN WATER  
MELBOURNE WATER: INSIDE DRAINAGE BOUNDARY  
POWER DISTRIBUTOR: POWERCOR

## SITE NOTES

- ALL LEVELS ARE TO AN ARBITRARY DATUM UNLESS OTHERWISE NOTED
- EXTERNAL FINISHED SURFACE LEVELS ADJACENT TO SLAB ON GROUND SHALL GRADE AWAY 1:20 TO PREVENT PONDING AGAINST FOOTING SYSTEM
- THE LEGAL POINT OF DISCHARGE HAS BEEN DETERMINED TO BE VIA THE KERB AND CHANNEL
- THE INVERT LEVEL OF THE FOOTING SYSTEM SHALL BE BELOW THE ANGLE OF REPOSE FOR THIS SITE OF ANY SERVICES ADJACENT OF THE BUILDING WORKS. WHERE TREES EXIST WITHIN THEIR MATURE HEIGHT FROM & ENGINEERS RECOMMENDED PRIOR TO COMMENCEMENT OF WORKS
- DIMENSIONS ARE TAKEN FROM TITLE BOUNDARIES OR 'ON SITE' MEASUREMENT. WHERE FENCES ARE EXISTING A RE-ESTABLISHMENT SURVEY IS RECOMMENDED TO ESTABLISH CORRECT BOUNDARIES AND SETBACKS
- 2000L WATER TANK TO BE CONNECTED TO THE SANITARY FACILITIES
- SEWERAGE EASEMENT 1.83M FROM BACK FENCE. SEWER TIE LOCATED IN SOUTH EAST CORNER OF BLOCK

ARFAS

- BLOCK AREA : 566.24M<sup>2</sup>  
- GROUND FLOOR - 185.10  
- FIRST FLOOR - 114.86  
- TOTAL FLOOR AREA - 299.96

## LEGEND

	EXISTING TREES TO RETAIN
	WATER MAINS
	EXISTING POWER POLE
	HW/D HABITABLE WINDOW / SLIDING DOOR
	DATUM A.H.D
	BOUNDARY FENCE
	TAP
	PROPOSED WATER TAPPING LOCATION
	EXISTING JUNCTION PIT
	TELSTRA PIT
	SEWERAGE EASEMENT 1.83M
	RAINWATER TANK

REFERENCE BENCHMARK  
TBM RIVET IN CONCRETE DRIVE ON THE RIGHT HAND SIDE OF  
35 DYER STREET, HOBART TAS 7000, 29 RT 2.2 M ALB  
**WYNDHAM CITY COUNCIL**  
ALL CONTOUR LEVELS AND FEATURES SHOWN ARE TAKEN FROM SURVEY  
DONE BY STEVE PALMER LICENCED SURVEYOR  
**Town Planning**

# Town Planning

## Advertised Documents

# advertised Documents

10 of 10

Plants 2014

Plan: 2 of 14

A horizontal red line with a dashed orange segment below it, forming a U-shape. A vertical grey line is to the right of the red line.



# MODO

## PROJECT BUILDERS

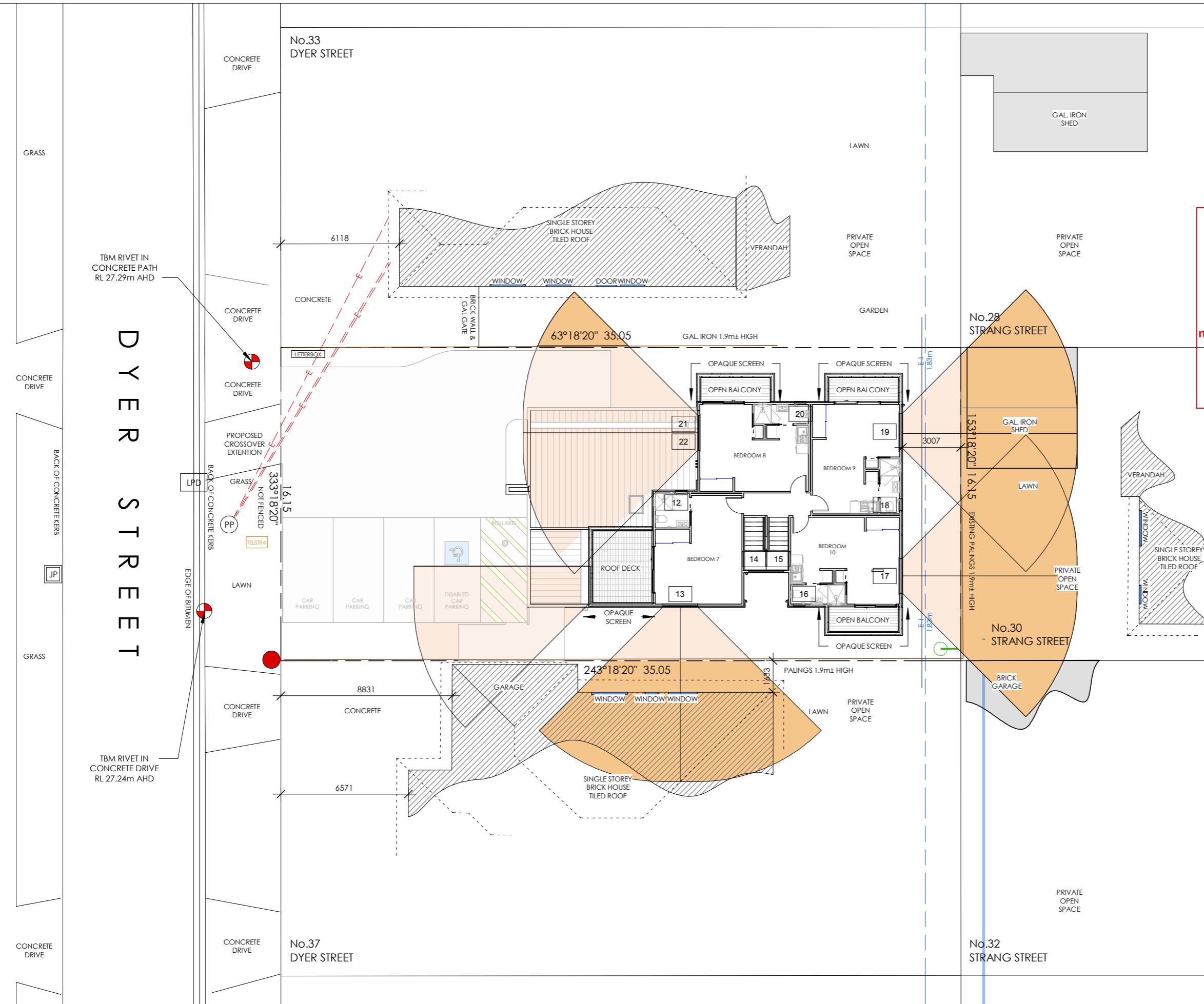
P.O BOX 4032,  
MT ELIZA, 3930 VIC  
AUSTRALIA  
P [REDACTED]  
E [REDACTED]  
W modobuilders.com.au  
ABN 48 153 696 309

DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]  
CDB-U: 58186  
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING  
CLIENT NAME: [REDACTED]  
SHEET NAME: PROPOSED SITE  
SCALE: 1:200

DATE:		01/04/2025	Advertiser
PROJECT NUMBER:		MO 170	Owner
ISSUE NUMBER:		B	
SHEET NUMBER:		PL 2 OF 14	
 <b>Plan: 2 of 14</b>			

# DYER STREET



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Date Plans Provided: 9/05/2025

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Town Planning

Advertised Documents

Plan: 3 of 14



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PROJECT BUILDERS

P.O BOX 4032,  
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ABN 48 153 696 309

DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]  
CDB-U: 58186  
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING  
CLIENT NAME: [REDACTED]  
SHEET NAME: OVERLOOKING  
SCALE: 1 : 200

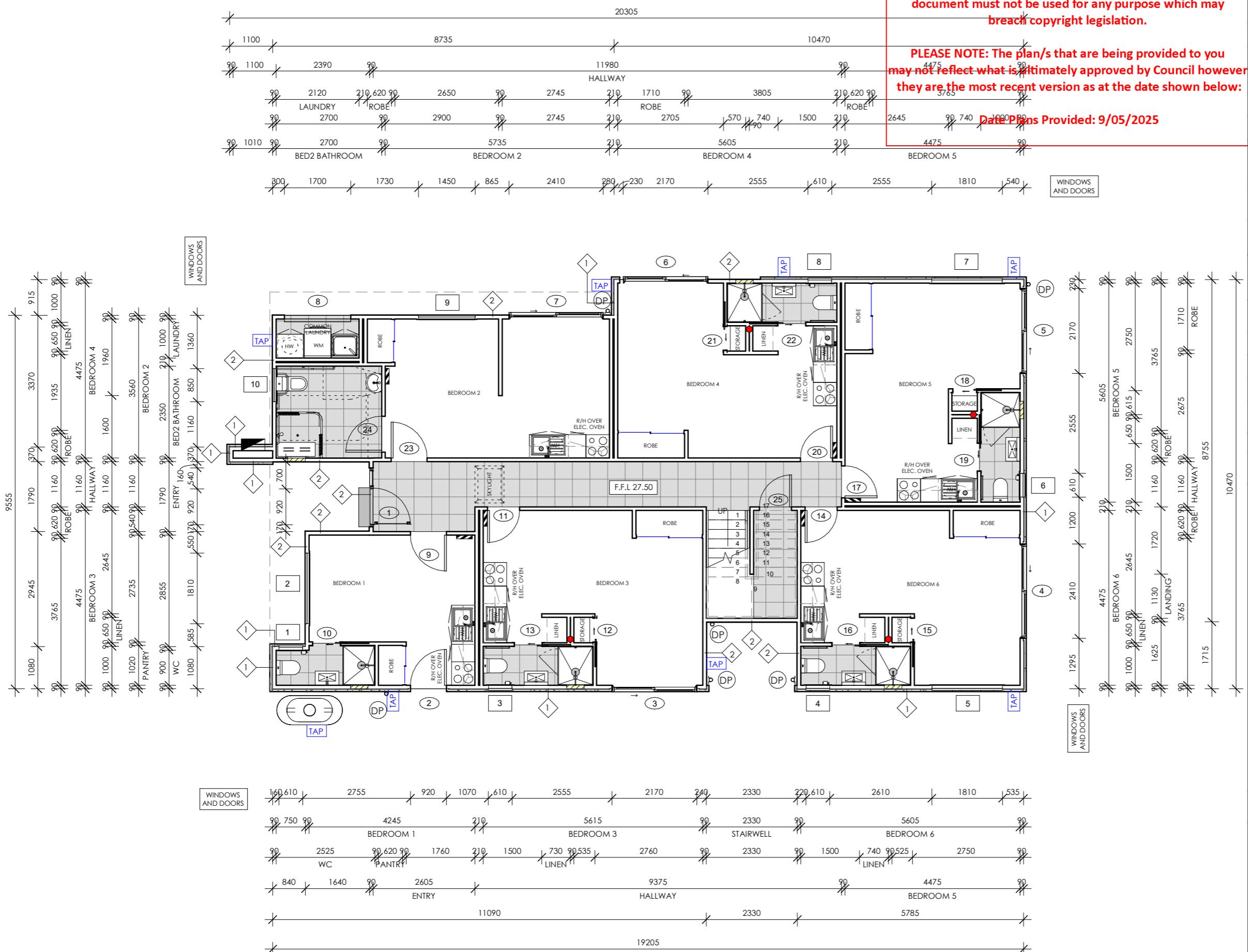
DATE: 01/04/2025  
PROJECT NUMBER: MO 170  
ISSUE NUMBER: B  
SHEET NUMBER: PL 3 OF 14

OWNER

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~~1000 80~~ Date Plans Provided: 9/05/2025



## LEGEND

	EXTERNAL TAP LOCATION
	DOWNPIPE LOCATION
	SEWER STACK
	BEAM LOCATION - SEE 16 FOR MORE DETAIL
REF	REFRIGERATOR
	HOTWATER SERVICE LOCATION
	TILED NICHE IN SHOWER SEE ANNEXURE FOR DIMENSIONS
	CONCRETE THRESHOLD RAMP TO BE BUILT INTO THE CONCRETE PATHWAY AND TO MEET AS1428.1-2009 REQUIREMENTS
	KILOWATT HOUR ELECTRICAL METER - DIGITAL
	MAIN METER PANEL WITH INBUILT SWITCH BOARD

## AREAS

ROOM	AREA M <sup>2</sup>
GROUND FLOOR	185.10
FIRST FLOOR	114.86
TOTAL FLOOR AREA	299.96

## NOTES

- REFER TO ELECTRICAL DRAWING ON PAGE 8 FOR ALL MECHANICAL VENTILATION AND SMOKE ALARM DETAILS
- DOOR 1, 2, 9, 23 AND 24 ARE TO HAVE 'D' TYPE SINGLE DOWNWARD ACTION LEVER HANDLES TO DOORS TO BE ACCESSIBLE
- ALL DOORS TO BE 110MM NOM. FROM STUD WALL TO HINGE SIDE UNLESS OTHERWISE STATED
- CONCRETE THRESHOLD RAMP TO BE BUILT INTO THE CONCRETE PATHWAY AND IS TO MEET AS1428.1 - 2009 REQUIREMENTS. PAVING LEVEL AT FRONT DOOR TO BE 27.47 A.H.D.
- PEEP HOLES TO BE INSTALLED 1625MM OFF FLOOR LEVEL
- HEBEL SILLS TO BE INSTALLED UNDER D6, D7

#### WALL LEGEND

1  SELECTED RENDER FINISH OVER 50MM HEBEL PANELS  
ON 20MM TOP HATS ON TIMBER STUD WALL

2  WEATHERTEX WEATHERGROOVE 150 WOODSMAN  
PAINTED GYPSUM ON TIMBER STUD WALL

WEATHERTEX WEATHERGROOVE 150 WOODSMAN  
WYNDHAM CITY COUNCIL

## Town Planning

## Advertised Documents

## TERMINAL DOCUMENTS



# MODO

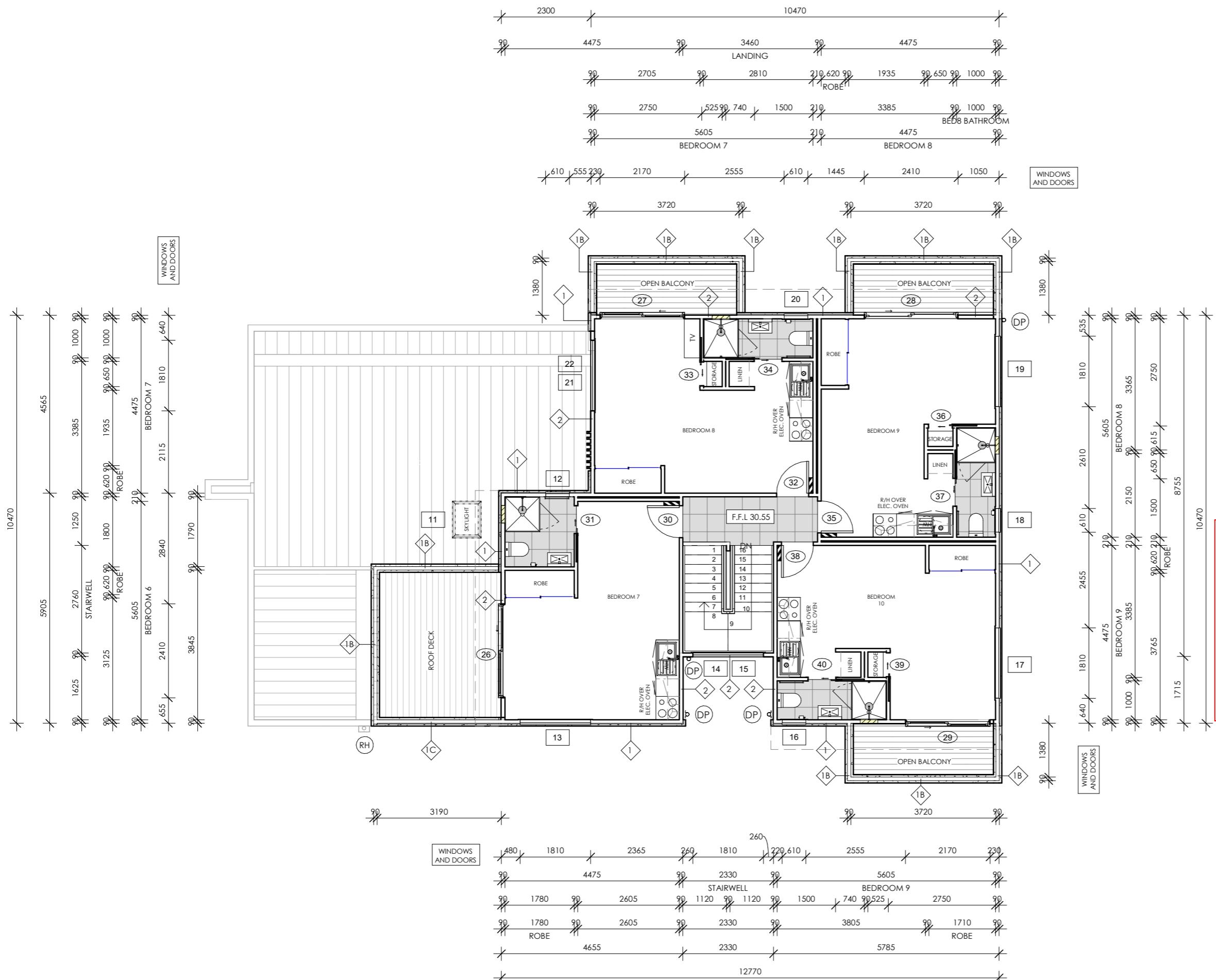
## PROJECT BUILDERS

P.O BOX 4032,  
MT ELIZA, 3930 VIC  
AUSTRALIA  
P [REDACTED]  
E [REDACTED]  
W modobuilders.com.au  
ABN 48 153 696 309

DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]  
CDB-U: 58186  
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING  
CLIENT NAME: ██████████  
SHEET NAME: GROUND FLOOR  
SCALE: 1 : 100

DATE:	01/04/2025	Advertised Documents	
PROJECT NUMBER:	MO 170	OWNER	
ISSUE NUMBER:	B	OWNER	
SHEET NUMBER:	PL 4 OF 14	Plan: 4 of 14	



LEGEND	
(RH)	RAINHEAD LOCATION
(DP)	DOWNPipe LOCATION
'HW'	HOTWATER SERVICE LOCATION
■	TILED NICHE IN SHOWER SEE ANNEXURE FOR DIMENSIONS
■	KILOWATT HOUR ELECTRICAL METER - DIGITAL

AREAS	
ROOM	AREA M <sup>2</sup>
GROUND FLOOR	185.10
FIRST FLOOR	114.86
TOTAL FLOOR AREA	299.96

NOTES
- REFER TO ELECTRICAL DRAWING ON PAGE 9 FOR ALL MECHANICAL VENTILATION AND SMOKE ALARM DETAILS.
- ALL DOORS TO BE 110MM NOM. FROM STUD WALL TO HINGE SIDE UNLESS OTHERWISE STATED ON PLANS
- PEEP HOLES TO BE INSTALLED 1625MM OFF FLOOR LEVEL

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WALL LEGEND	
1	SELECTED RENDER FINISH OVER 50MM HEBEL PANELS ON 20MM TOP HATS ON TIMBER STUD WALL
1B	SELECTED RENDER FINISH OVER 60MM (INTERNAL) & 60MM (EXTERNAL) POLYSTYRENE PANELS - NRG SYSTEM ACCREDITED & CERTIFIED ON TIMBER STUD WALL
1C	(INTERNAL) SELECTED RENDER FINISH OVER 60MM POLYSTYRENE PANELS - NRG SYSTEM ACCREDITED & CERTIFIED ON TIMBER STUD WALL & (EXTERNAL) SELECTED RENDER FINISH OVER 50MM HEBEL PANELS ON 20MM TOP HATS
2	WEATHERTEX WEATHERGROVE WOODMAN 150 CLADDING ON TIMBER STUD WALL

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Town Planning

Advertised Documents

Plan: 5 of 14



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E [REDACTED]  
W modobuilders.com.au  
ABN 48 153 696 309

DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]  
CDB-U: 58186  
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING  
CLIENT NAME: [REDACTED]  
SHEET NAME: FIRST FLOOR  
SCALE: 1 : 100

DATE: 01/04/2025  
PROJECT NUMBER: MO 170  
ISSUE NUMBER: B  
SHEET NUMBER: PL 5 OF 14

OWNER



# 1 SOUTH ELEVATION

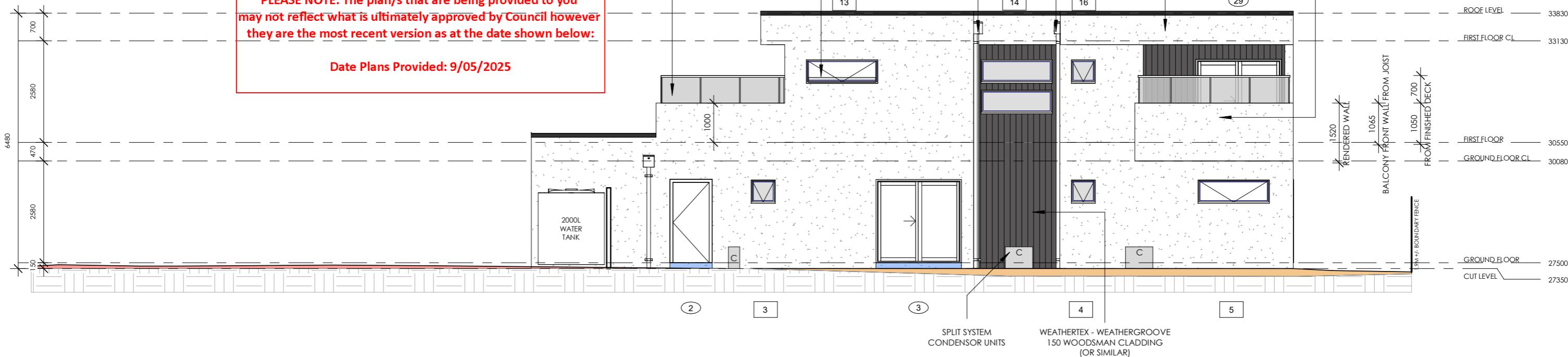
1

1 : 100

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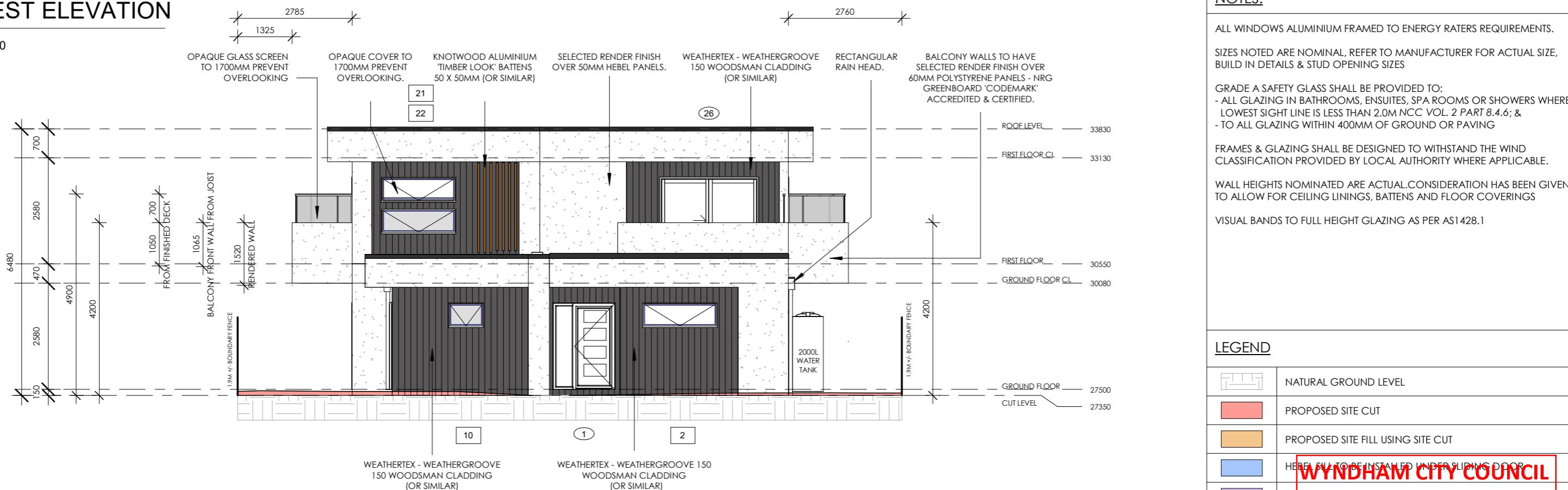
Date Plans Provided: 9/05/2025



# 2 WEST ELEVATION

2

1 : 100



## NOTES:

ALL WINDOWS ALUMINIUM FRAMED TO ENERGY RATERS REQUIREMENTS.  
SIZES NOTED ARE NOMINAL, REFER TO MANUFACTURER FOR ACTUAL SIZE, BUILD IN DETAILS & STUD OPENING SIZES  
GRADE A SAFETY GLASS SHALL BE PROVIDED TO:  
- ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR SHOWERS WHERE LOWEST SIGHT LINE IS LESS THAN 2.0M NCC VOL. 2 PART 8.4.6; &  
- TO ALL GLAZING WITHIN 400MM OF GROUND OR PAVING  
FRAMES & GLAZING SHALL BE DESIGNED TO WITHSTAND THE WIND CLASSIFICATION PROVIDED BY LOCAL AUTHORITY WHERE APPLICABLE.  
WALL HEIGHTS NOMINATED ARE ACTUAL. CONSIDERATION HAS BEEN GIVEN TO ALLOW FOR CEILING LININGS, BATTENS AND FLOOR COVERINGS  
VISUAL BANDS TO FULL HEIGHT GLAZING AS PER AS1428.1

## LEGEND

	NATURAL GROUND LEVEL
	PROPOSED SITE CUT
	PROPOSED SITE FILL USING SITE CUT
	HEEL RAIL TO BE INSTALLED UNDER SWINGING DOOR
	FLASHING TO BE INSTALLED TO DOOR COLOUR - TO BE MATCHED TO DOOR COLOUR

WYNDHAM CITY COUNCIL

Town Planning

Advertised Documents



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ABN 48 153 696 309

DRAWN BY:

CHECKED BY:

CDB-U: 58186

HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING

CLIENT NAME:

SHEET NAME: SOUTH & WEST ELEVATIONS

SCALE: 1 : 100

DATE:

01/04/2025

PROJECT NUMBER: MO 170

ISSUE NUMBER: B

SHEET NUMBER: PL 7 OF 14

Plan: 7 of 14

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## ■ NOTES

- LOCATION & POSITION OF ANY ELECTRICAL POINT MAY VARY DUE TO TIMBER FRAMING ETC
- ALL ENSUITE/BATHROOMS SHALL BE PROVIDED WITH AN EXHAUST FAN TO BE ACTIVATED ON USE WITH ELECTRIC LIGHT IN ROOM (REFER TO GN12)
- ALL EXHAUST FANS ARE TO BE DUCTED TO THE OUTSIDE AIR - EXHAUST FANS IN WETBARS TO BE LOCATED DIRECTLY ABOVE CABINETRY
- SPLIT SYSTEM CONDENSERS TO BE PLACED OUTSIDE EACH ROOM IN THE SELECTED LOCATIONS
- SPLIT SYSTEM PIPES TO BE LOCATED AT 400MM BELOW FINISHED CEILING HEIGHT
- SMOKE ALARMS AS PER NCC VOL. 2 PART H3D6 AND TO BE INTERCONNECTED AS PER ABCB HOUSING PROVISIONS CLAUSE 9.5.1(D)
- SMOKE ALARMS TO BE CONNECTED TO A MAINS POWER SOURCE WITH BATTERY BACKUP AS PER ABCB HOUSING PROVISIONS CLAUSE 9.5.1(C)
- THE HIGHLIGHTED LIGHTS ARE TO BE ACTIVATED BY SMOKE ALARMS AS PER ABCB HOUSING PROVISIONS PART 9.5
- ALL EXTERNAL LIGHTING TO HAVE DAYLIGHT SENSOR OT MIN EFFICACY OF 40 LUMENS/W
- NBN BOX UNDER STAIRS TO MEET NBN'S MDU STANDARD DESIGN. IT IS TO BE CONNECTED BY P20 WHITE COMMUNICATIONS CONDUIT WITH DRAWSTRING. THE CONDUITS ARE NOT TO HAVE MORE THAN THREE BENDS
- DATA CABLING CAT-6 SOLID CORE WITH APPROVED CAT-6 SOCKETS
- MIN. WATTAGE OF 4KW/m<sup>2</sup> IN ACCORDANCE WITH NCC VOL. 2 2022, SECT. H PART H6P2(d)

## LEGEND

		<table border="1"> <tr><td>2 ▶</td><td>SINGLE GENERAL PURPOSE POWER OUTLET (200 HIGH)</td></tr> <tr><td>2 ▶</td><td>SINGLE 40 AMP POWER OUTLET (600 HIGH)</td></tr> <tr><td>3 ▶</td><td>SINGLE GENERAL PURPOSE POWER OUTLET (300 HIGH)</td></tr> <tr><td>7 ▶</td><td>SINGLE GENERAL PURPOSE POWER OUTLET (700 HIGH)</td></tr> <tr><td>10 ▶</td><td>SINGLE GENERAL PURPOSE POWER OUTLET (1000 HIGH)</td></tr> <tr><td>3 ▶</td><td>SINGLE GENERAL PURPOSE POWER OUTLET IN LOCKBOX (300 HIGH)</td></tr> <tr><td>9 ▶</td><td>SINGLE EXTERNAL POWER OUTLET (900 HIGH)</td></tr> <tr><td>3 ▶</td><td>DOUBLE GENERAL PURPOSE POWER OUTLET (300 HIGH)</td></tr> <tr><td>10 ▶</td><td>DOUBLE GENERAL PURPOSE POWER OUTLET (1000 HIGH)</td></tr> <tr><td>11 ▶</td><td>DOUBLE GENERAL PURPOSE POWER OUTLET (1100 HIGH)</td></tr> <tr><td>12 ▶</td><td>DOUBLE GENERAL PURPOSE POWER OUTLET (1200 HIGH)</td></tr> <tr><td>●</td><td>SINGLE SWITCH</td></tr> <tr><td>●</td><td>2 GANG SWITCH</td></tr> <tr><td>(S)</td><td>HARD WIRED SMOKE ALARM TO AS 3786 REQUIREMENTS - 'CLIPSAL' 755SMA</td></tr> <tr><td>■</td><td>SQUARE DUCTED EXHAUST FAN</td></tr> <tr><td>[TV]</td><td>TELEVISION POINT (1300 HIGH)</td></tr> <tr><td>(DL)</td><td>DLIGHT 10W LED</td></tr> <tr><td>(DL)</td><td>DLIGHT 10W LED ACTIVATED BY SMOKE ALARM S PER THE BCA 3.7.2.5.</td></tr> <tr><td>(S)</td><td>LED SPITFIRE EMERGENCY BACKUP LIGHT 2W</td></tr> <tr><td>[■]</td><td>EXTERNAL BUNKER LIGHT (18W GLOBE)</td></tr> <tr><td>+</td><td>EXTERNAL MOTION SENSOR CONTROLLER</td></tr> <tr><td>○</td><td>OUTDOOR SPOT LIGHTS WITH SENSOR</td></tr> <tr><td>[■]</td><td>SPLIT SYSTEM A/C UNIT</td></tr> <tr><td>[■]</td><td>SPLIT SYSTEM CONDENSER</td></tr> <tr><td>[A/C 20]</td><td>20 AMP SPLIT SYSTEM CONDENSER SWITCH</td></tr> <tr><td>[■]</td><td>MAIN METER PANEL WITH INBUILT SWITCH BOARD 45A KWH METER - XEM145</td></tr> <tr><td>[■]</td><td>KILOWATT HOUR ELECTRICAL METER - DIGITAL</td></tr> <tr><td>[HW]</td><td>HOT WATER SERVICE LOCATION</td></tr> <tr><td>[PUMP]</td><td>SUBMERSIBLE WATER TANK PUMP</td></tr> <tr><td>[DATA]</td><td>WIRELESS DATA HUB MOUNTED TO CEILING IN ROBES</td></tr> <tr><td>[NBN FDT]</td><td>MAIN NBN CONNECTION BOX FROM THE STREET</td></tr> <tr><td>[RH]</td><td>RANGEHOOD - REFER TO SPECIFICATIONS</td></tr> <tr><td>[SC]</td><td>SECURITY CAMERAS - BY OWNER</td></tr> <tr><td>[SC]</td><td>SECURITY SYSTEM SERVER - BY OWNER</td></tr> </table>										2 ▶	SINGLE GENERAL PURPOSE POWER OUTLET (200 HIGH)	2 ▶	SINGLE 40 AMP POWER OUTLET (600 HIGH)	3 ▶	SINGLE GENERAL PURPOSE POWER OUTLET (300 HIGH)	7 ▶	SINGLE GENERAL PURPOSE POWER OUTLET (700 HIGH)	10 ▶	SINGLE GENERAL PURPOSE POWER OUTLET (1000 HIGH)	3 ▶	SINGLE GENERAL PURPOSE POWER OUTLET IN LOCKBOX (300 HIGH)	9 ▶	SINGLE EXTERNAL POWER OUTLET (900 HIGH)	3 ▶	DOUBLE GENERAL PURPOSE POWER OUTLET (300 HIGH)	10 ▶	DOUBLE GENERAL PURPOSE POWER OUTLET (1000 HIGH)	11 ▶	DOUBLE GENERAL PURPOSE POWER OUTLET (1100 HIGH)	12 ▶	DOUBLE GENERAL PURPOSE POWER OUTLET (1200 HIGH)	●	SINGLE SWITCH	●	2 GANG SWITCH	(S)	HARD WIRED SMOKE ALARM TO AS 3786 REQUIREMENTS - 'CLIPSAL' 755SMA	■	SQUARE DUCTED EXHAUST FAN	[TV]	TELEVISION POINT (1300 HIGH)	(DL)	DLIGHT 10W LED	(DL)	DLIGHT 10W LED ACTIVATED BY SMOKE ALARM S PER THE BCA 3.7.2.5.	(S)	LED SPITFIRE EMERGENCY BACKUP LIGHT 2W	[■]	EXTERNAL BUNKER LIGHT (18W GLOBE)	+	EXTERNAL MOTION SENSOR CONTROLLER	○	OUTDOOR SPOT LIGHTS WITH SENSOR	[■]	SPLIT SYSTEM A/C UNIT	[■]	SPLIT SYSTEM CONDENSER	[A/C 20]	20 AMP SPLIT SYSTEM CONDENSER SWITCH	[■]	MAIN METER PANEL WITH INBUILT SWITCH BOARD 45A KWH METER - XEM145	[■]	KILOWATT HOUR ELECTRICAL METER - DIGITAL	[HW]	HOT WATER SERVICE LOCATION	[PUMP]	SUBMERSIBLE WATER TANK PUMP	[DATA]	WIRELESS DATA HUB MOUNTED TO CEILING IN ROBES	[NBN FDT]	MAIN NBN CONNECTION BOX FROM THE STREET	[RH]	RANGEHOOD - REFER TO SPECIFICATIONS	[SC]	SECURITY CAMERAS - BY OWNER	[SC]	SECURITY SYSTEM SERVER - BY OWNER
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<b>LIGHTING SCHEDULE</b>																																																																															
ROOM	AREA	W/M <sup>2</sup>	MAX. W	NO. LIGHTS	WATTAGE	TOTAL																																																																									
BEDROOM 1	14.38M <sup>2</sup>	5	71.75	3	10	30																																																																									
BEDROOM 2	20.08M <sup>2</sup>	5	100.34	3	10	30																																																																									
BEDROOM 3	20.7M <sup>2</sup>	5	103.5	4	10	40																																																																									
BEDROOM 4	20.7M <sup>2</sup>	5	103.5	4	10	40																																																																									
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TOTAL ALLOWABLE:			586.09 W	TOTAL PROVIDED:			220 WATTS																																																																								
<span style="border: 2px solid red; padding: 2px;">WYNDHAM CITY COUNCIL</span> <span style="border: 2px solid red; padding: 2px;">Town Planning</span> <span style="border: 2px solid red; padding: 2px;">Advertised Documents</span>																																																																															
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<span style="border: 2px solid red; border-radius: 50%; padding: 10px; text-align: center;">8 of 14</span>																																																																															
<span style="border: 2px solid red; border-radius: 50%; padding: 10px; text-align: center;">OWNER</span>																																																																															
<span style="border: 2px solid red; border-radius: 50%; padding: 10px; text-align: center;">DATE: 01/04/2025</span>																																																																															
<span style="border: 2px solid red; border-radius: 50%; padding: 10px; text-align: center;">PROJECT NUMBER: MO 170</span>																																																																															
<span style="border: 2px solid red; border-radius: 50%; padding: 10px; text-align: center;">ISSUE NUMBER: B</span>																																																																															
<span style="border: 2px solid red; border-radius: 50%; padding: 10px; text-align: center;">SHEET NUMBER: PL 8 OF 14</span>																																																																															



# MODO

## PROJECT BUILDERS

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ABN 48 153 696 309

DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]  
CDB-U: 58186  
HIA: 521856

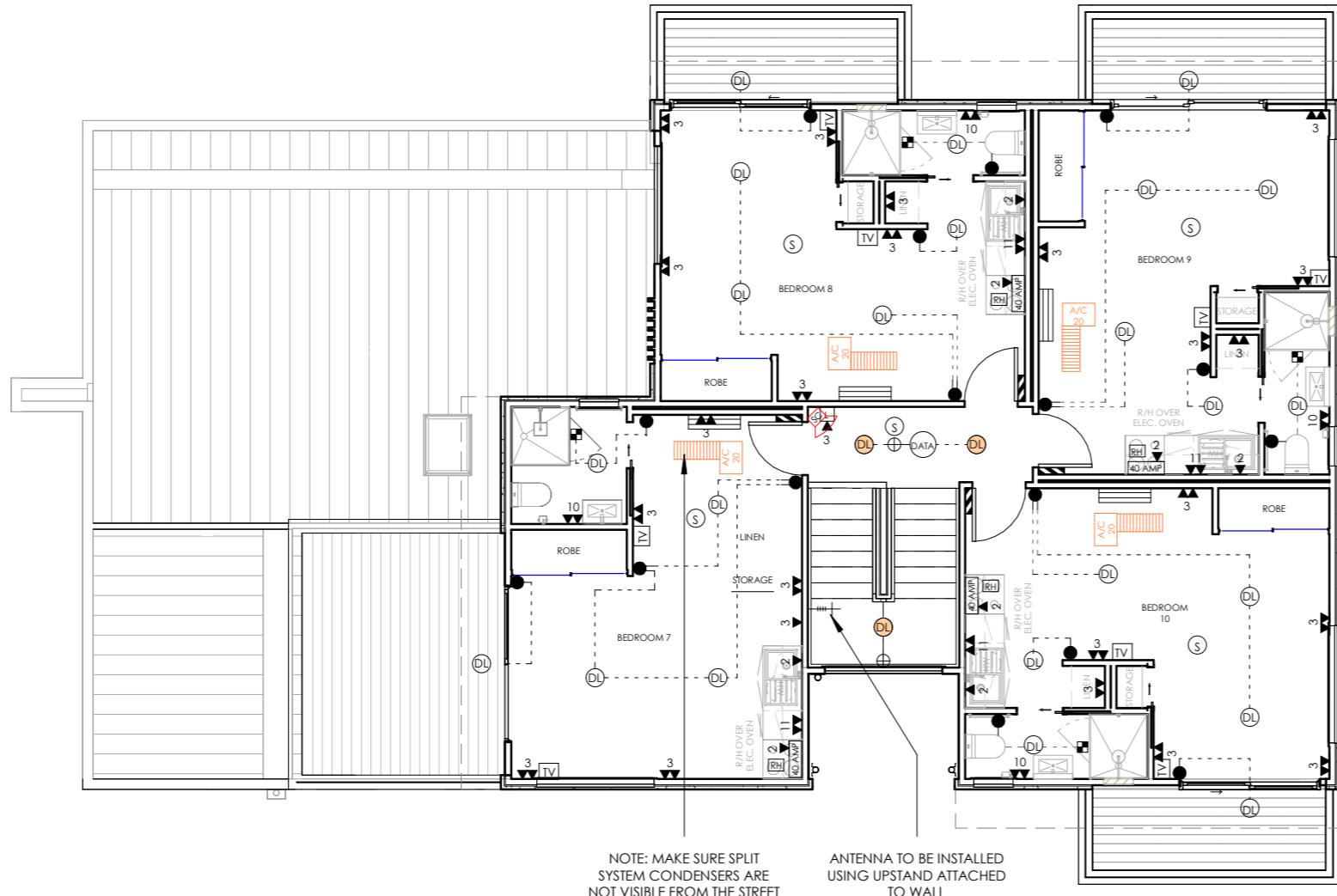
PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING  
CLIENT NAME: [REDACTED]  
SHEET NAME: GROUND FLOOR ELECTRICAL  
SCALE: 1:100

DATE:	01/04/2025	Advertised Documents	
PROJECT NUMBER:	MO 170	OWNER	
ISSUE NUMBER:	B	Plan: 8 of 14	
SHEET NUMBER:	PL 8 OF 14		

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**Date Plans Provided: 9/05/2025**



## NOTES

- LOCATION & POSITION OF ANY ELECTRICAL POINT MAY VARY DUE TO TIMBER FRAMING ETC
- ALL ENSUITE/BATHROOMS SHALL BE PROVIDED WITH AN EXHAUST FAN TO BE ACTIVATED ON USE WITH ELECTRIC LIGHT IN ROOM (REFER TO GN12)
- ALL EXHAUST FANS ARE TO BE DUCTED TO THE OUTSIDE AIR - EXHAUST FANS IN WETBARS TO BE LOCATED DIRECTLY ABOVE CABINETRY
- SPLIT SYSTEM CONDENSERS TO BE PLACED OUTSIDE EACH ROOM IN THE SELECTED LOCATIONS
- SPLIT SYSTEM PIPES TO BE LOCATED AT 400MM BELOW FINISHED CEILING HEIGHT
- SMOKE ALARMS AS PER NCC VOL. 2 PART H3D6 AND TO BE INTERCONNECTED AS PER ABCB HOUSING PROVISIONS CLAUSE 9.5.1(D)
- SMOKE ALARMS TO BE CONNECTED TO A MAINS POWER SOURCE WITH BATTERY BACKUP AS PER ABCB HOUSING PROVISIONS CLAUSE 9.5.1(C)
- THE HIGHLIGHTED LIGHTS ARE TO BE ACTIVATED BY SMOKE ALARMS AS PER ABCB HOUSING PROVISIONS PART 9.5
- ALL EXTERNAL LIGHTING TO HAVE DAYLIGHT SENSOR OT MIN EFFICACY OF 40 LUMENS/W
- NBN BOX UNDER STAIRS TO MEET NBN'S MDU STANDARD DESIGN. IT IS TO BE CONNECTED BY P20 WHITE COMMUNICATIONS CONDUIT WITH DRAWSTRING. THE CONDUITS ARE NOT TO HAVE MORE THAN THREE BENDS
- DATA CABLING CAT-6 SOLID CORE WITH APPROVED CAT-6 SOCKETS
- MIN. WATTAGE OF 4KW/m<sup>2</sup> IN ACCORDANCE WITH NCC VOL. 2 2022, SECT. H PART H6P2(d)

## LEGEND

**LIGHTING SCHEDULE**

ROOM	AREA	W/M <sup>2</sup>	MAX. W	NO. LIGHTS	WATTAGE	TOTAL
BEDROOM 7	20.27M <sup>2</sup>	5	101.35	3	10	30
BEDROOM 8	20.7M <sup>2</sup>	5	103.5	3	10	40
BEDROOM 9	20.7M <sup>2</sup>	5	103.5	3	10	40
BEDROOM 10	20.7M <sup>2</sup>	5	103.5	3	10	40
TOTAL ALLOWABLE:			411.85W	TOTAL PROVIDED: 150 WATTS		

**Legend:**

- 2 ▶ SINGLE GENERAL PURPOSE POWER OUTLET (200 HIGH)
- 2 ▶ 40 Amp SINGLE 40 AMP POWER OUTLET (600 HIGH)
- 3 ▶ SINGLE GENERAL PURPOSE POWER OUTLET (300 HIGH)
- 7 ▶ SINGLE GENERAL PURPOSE POWER OUTLET (700 HIGH)
- 10 ▶ SINGLE GENERAL PURPOSE POWER OUTLET (1000 HIGH)
- 3 ▶ SINGLE GENERAL PURPOSE POWER OUTLET IN LOCKBOX (300 HIGH)
- 3 ▶ DOUBLE GENERAL PURPOSE POWER OUTLET (300 HIGH)
- 10 ▶ DOUBLE GENERAL PURPOSE POWER OUTLET (1000 HIGH)
- 11 ▶ DOUBLE GENERAL PURPOSE POWER OUTLET (1100 HIGH)
- 12 ▶ DOUBLE GENERAL PURPOSE POWER OUTLET (1200 HIGH)
- SINGLE SWITCH
- 2 GANG SWITCH
- (S) HARD WIRED SMOKE ALARM TO AS 3786 REQUIREMENTS - 'CLIPSAL' 755SMA
- SQUARE DUCTED EXHAUST FAN
- TELEVISION POINT (1300 HIGH)
- DL DOWNLIGHT 10W LED
- DL DOWNLIGHT 10W LED ACTIVATED BY SMOKE ALARM S PER THE BCA 3.7.2.5.
- LED SPITFIRE EMERGENCY BACKUP LIGHT 2W
- EXTERNAL BUNKER LIGHT (18W GLOBE)
- ⊕ EXTERNAL MOTION SENSOR CONTROLLER
- OUTDOOR SPOT LIGHT
- OUTDOOR SPOT LIGHTS WITH SENSOR
- SPLIT SYSTEM A/C UNIT
- SPLIT SYSTEM CONDENSER
- A/C 20 20 AMP SPLIT SYSTEM CONDENSER SWITCH
- UNIT SUB - SWITCHBOARD
- 'HW' HOT WATER SERVICE LOCATION
- DATA WIRELESS DATA HUB MOUNTED TO CEILING IN ROBES
- RH RANGEHOOD - REFER TO SPECIFICATIONS
- SC SECURITY CAMERAS - BY OWNER
- TV ANTENNA

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## **Town Planning**

## Published Documents



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## DRAWN

## CHECKED

CDB-U: 58186

HIA: 521856

**PROJECT ADDRESS:** 35 DYER STREET, HOPPERS CROSSING

CLIENT NAME:

SHEET NAME: FIRST FLOOR ELECTRICAL

SCALE: 1 : 100

DATE: 01/04/2025 Ad

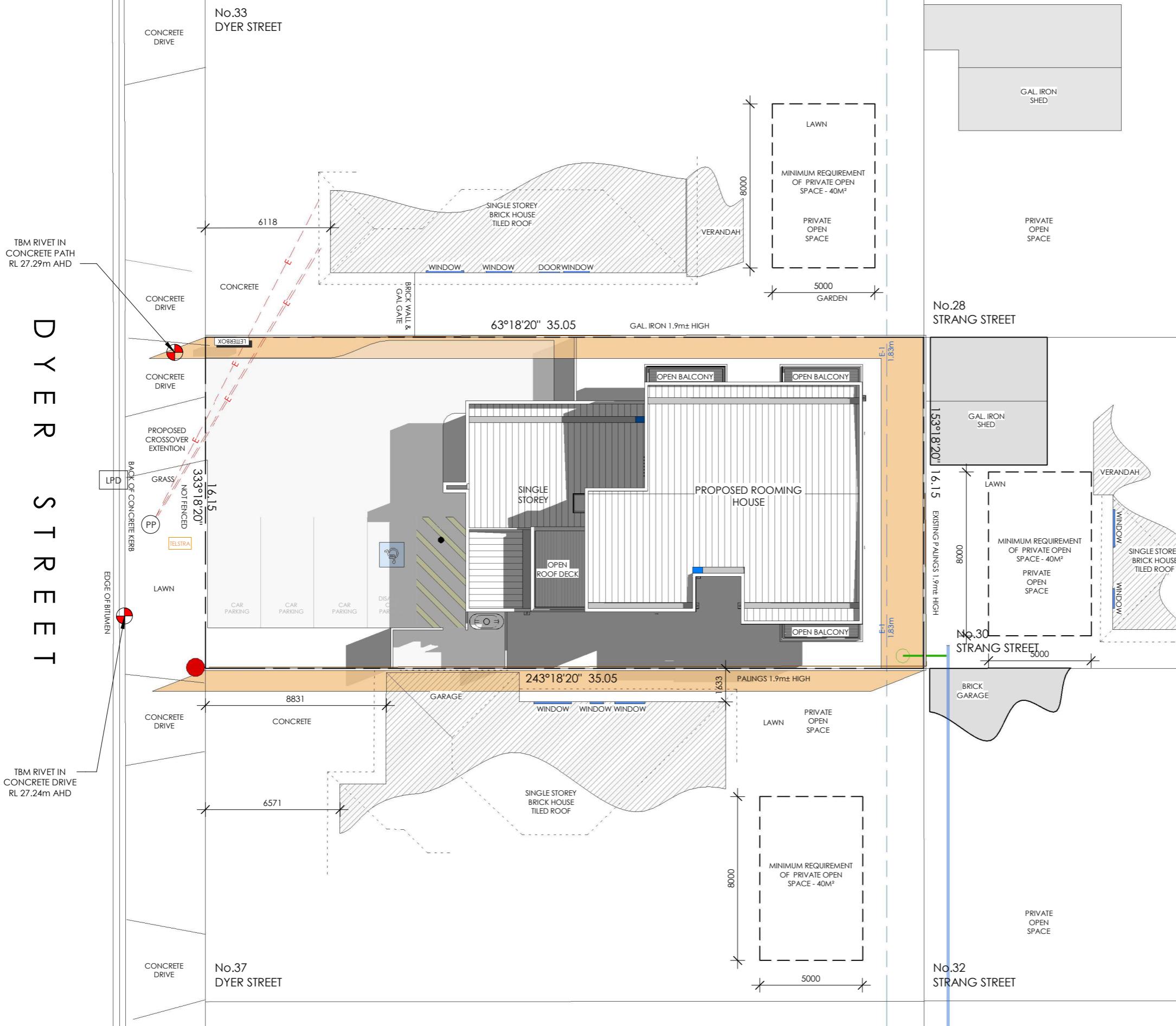
PROJECT NUMBER: MO 170

ISS

SHEET NUMBER: PL 9 OF 14



# DYER STREET



## NOTES:

- ORANGE SHADE INDICATES EXISTING FENCE SHADOWLINE.
- 9 AM OVERSHADING BASED ON THE 22/09/2023.

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Date Plans Provided: 9/05/2025

## LEGEND

	EXISTING FENCE SHADOWS
	PROPOSED BUILDING SHADOW
	PROPOSED BUILDING SHADOW INTO PRIVATE OPEN SPACE
	MINIMUM REQUIREMENT OF PRIVATE OPEN SPACE - 40M <sup>2</sup>

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Plan: 10 of 14



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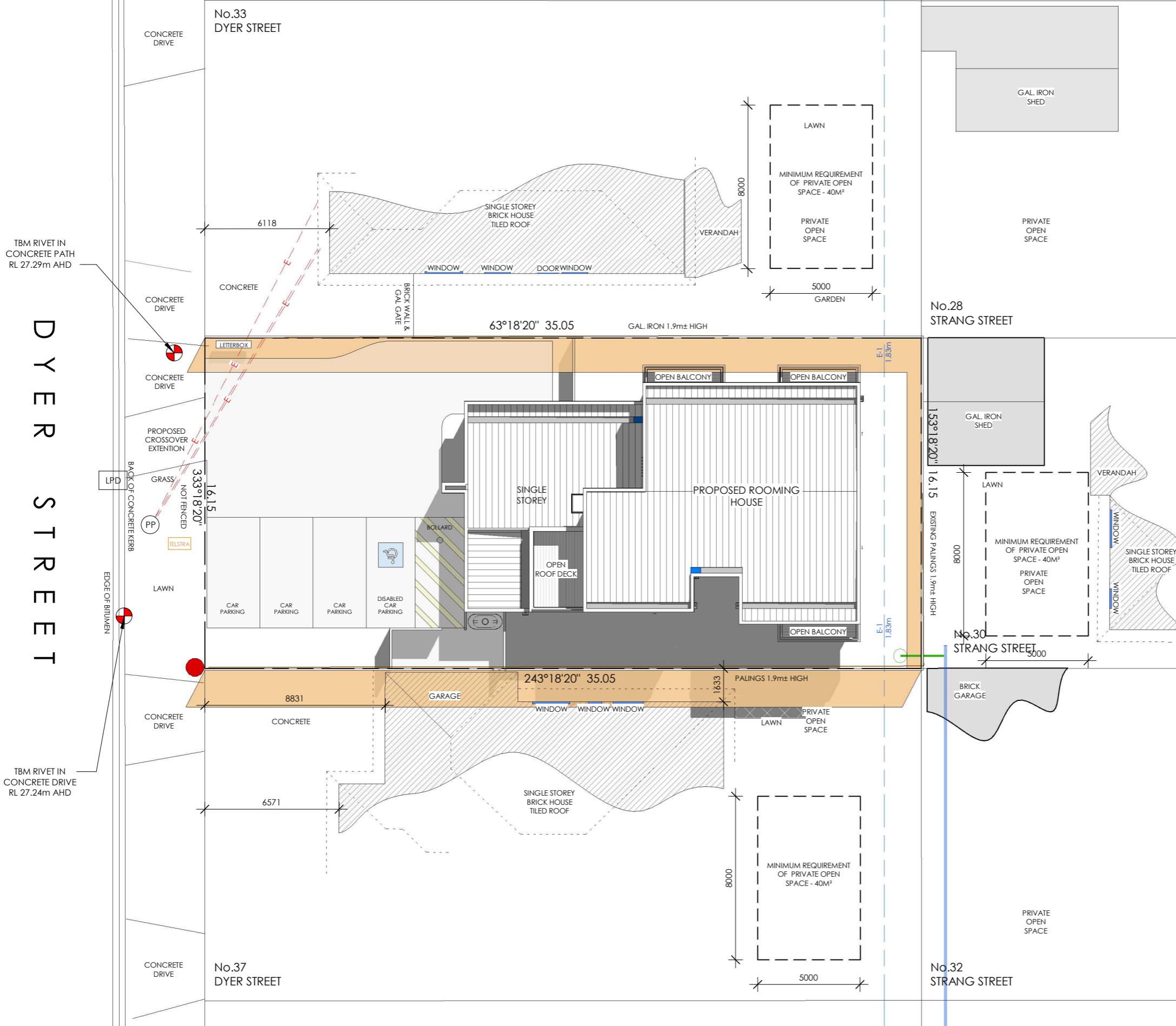
DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]  
CDB-U: 58186  
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING  
CLIENT NAME: [REDACTED]  
SHEET NAME: 9AM OVERSHADING  
SCALE: 1 : 200

DATE: 01/04/2025  
PROJECT NUMBER: MO 170  
ISSUE NUMBER: B  
SHEET NUMBER: PL 10 OF 14

OWNER

DYER STREET



### NOTES:

- ORANGE SHADE INDICATES EXISTING FENCE SHADOWLINE.
- 12 PM OVERSHADOWING BASED ON THE 22/09/2023.

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## LEGEND



#### EXISTING FFNCF SHADOWS



#### PROPOSED BUILDING SHADOW



## PROPOSED BUILDING SHADOW INTO PRIVATE GREENSPACE

# WYNDHAM CITY COUNCIL

## Town Planning

# Advertised Documents

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Plan: 11 of 14 OWNER



# MODO

## PROJECT BUILDERS

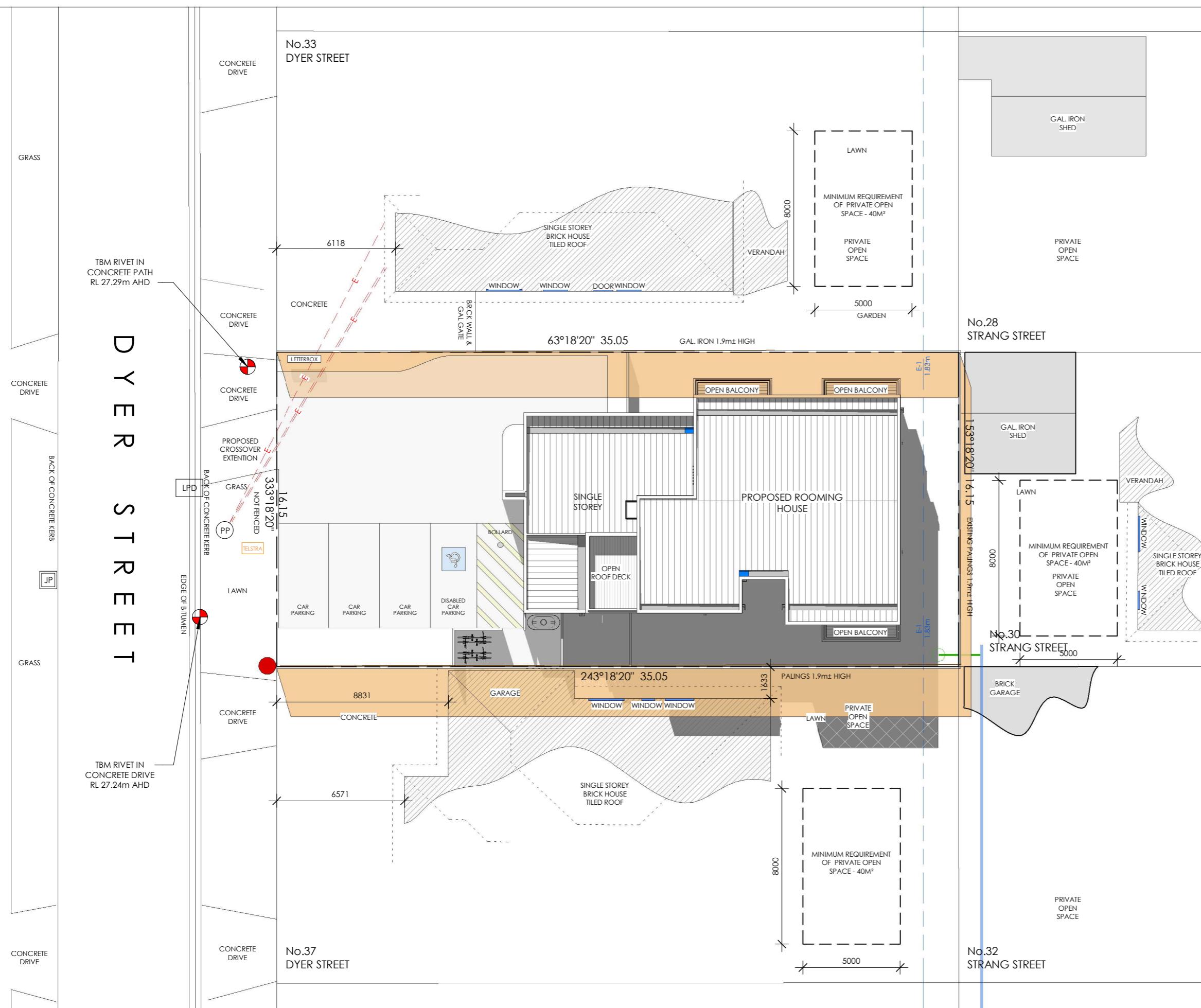
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CDB-U: 58186  
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING  
CLIENT NAME: ██████████  
SHEET NAME: 12PM OVERSHADOWING  
SCALE: 1:200

DATE:	01/04/2025	Advertised Documents	
PROJECT NUMBER:	MO 170	OWNER	
ISSUE NUMBER:	B	Plan: 11 of 14	
SHEET NUMBER:	PL 11 OF 14	OWNER	

# D Y E R S T R E E T



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ORANGE SHADE INDICATES EXISTING FENCE SHADOW LINE.

- 2 PM OVERSHADe DYNAMIC SHADOW C:\USERS\123456\DESKTOP\123456.Dwg

Date Plans Provided: 9/05/2025

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## LEGEND



### EXISTING FENCE SHADOWS



### PROPOSED BUILDING SHADOW



## PROPOSED BUILDING SHADOW INTO PRIVATE OPEN SPACE

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CDB-U: 58186  
HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING  
CLIENT NAME: ██████████  
SHEET NAME: 2PM OVERSHADOWING  
SCALE: 1 : 200

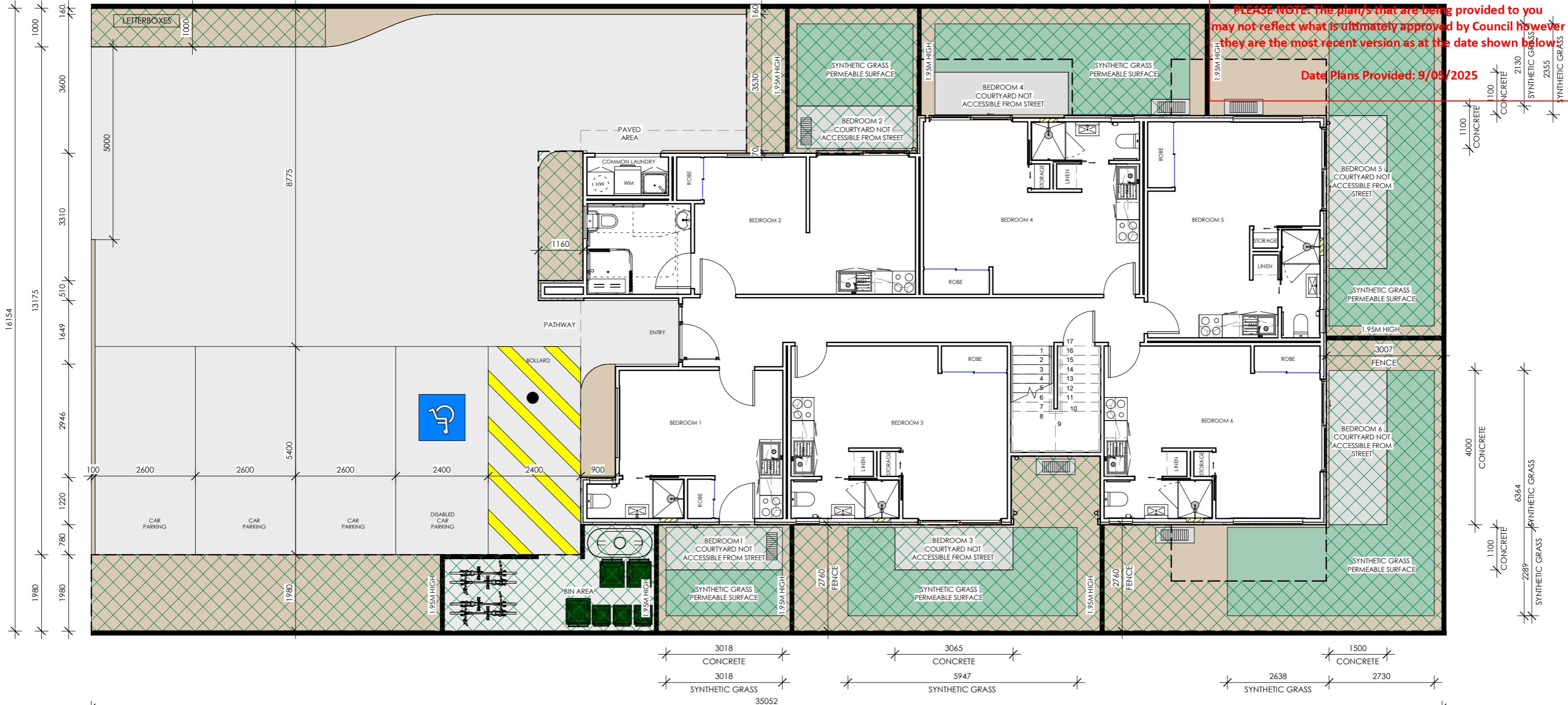
DATE:	01/04/2025	Advertised Documents	
PROJECT NUMBER:	MO 170	OWNER	
ISSUE NUMBER:	B	Plan: 12 of 14	
SHEET NUMBER:	PL 12 OF 14		

3015 SYNTHETIC GRASS  
3015 CONCRETE  
3465 CONCRETE  
6615 SYNTHETIC GRASS  
1500 CONCRETE

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Date Plans Provided: 9/05/2025



#### LEGEND

PROPOSED FENCES
FAKE GRASS AS PER CLIENTS REQUEST
GARDEN BED COVERINGS AND PLANTS AS PER CLIENTS REQUEST
CONCRETE DRIVEWAY AND PAVING AS PER CLIENTS REQUEST
GARDEN AREA

#### CLASS 1B DWELLING - ROOMING HOUSE

#### NOTES

- THIS BUILDING DOES NOT HAVE MORE THAN 10 BEDROOMS AND WILL NOT ACCOMODATE MORE THAN 12 PERSONS
- BANK OF 10 LETTERBOXES, ONE ALLOCATED TO EACH TENANT PLUS ADDITIONAL SPARE
- TOTAL FLOOR AREA CALCULATED FROM EXTERNAL CLADDING IS 299.91M<sup>2</sup>
- CALCULATION IN RELATION TO MINIMUM GAREN AREA REQUIREMENT

TOTAL BLOCK AREA  
GARDEN AREA  
566.24M<sup>2</sup>  
169.93M<sup>2</sup> - 30.01%

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Plan: 13 of 14



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ABN 48 153 696 309

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CHECKED BY:

CDB-U: 58186

HIA: 521856

PROJECT ADDRESS: 35 DYER STREET, HOPPERS CROSSING

CLIENT NAME: [REDACTED]

SHEET NAME: SITE ANALYSIS PLAN

SCALE: 1 : 100

DATE:

01/04/2025

PROJECT NUMBER: MO 170

ISSUE NUMBER: B

SHEET NUMBER: PL 13 OF 14

OWNER

