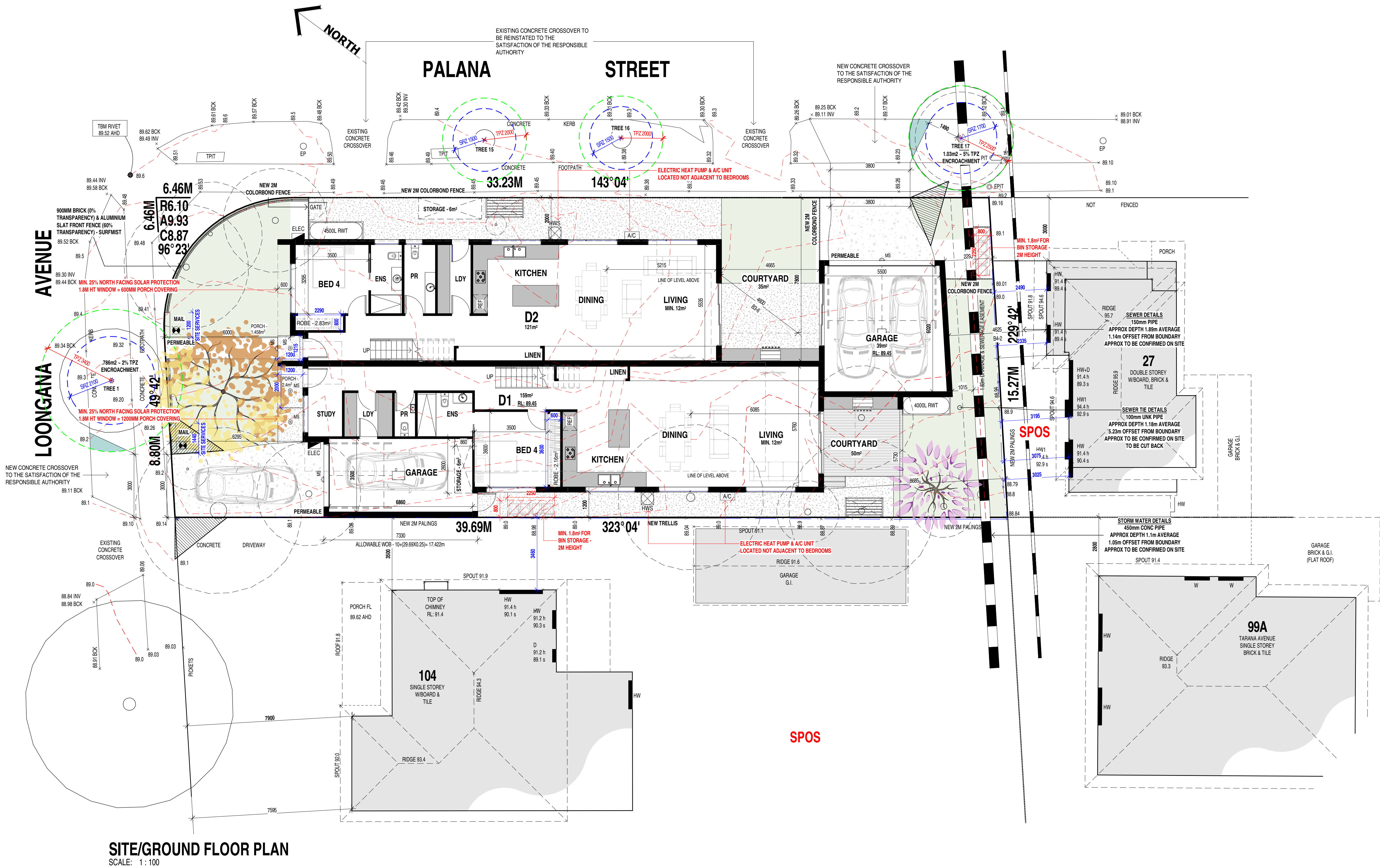




106 LOONGANA AVENUE, GLENROY

DUAL OCCUPANCY

DEVELOPMENT SUMMARY	
SITE AREA	596 m²
SITE COVER	346 m² (58%)
PERMEABLE AREA	167 m² (28%)
GARDEN AREA	210 m² (35%)
NUMBER OF DWELLINGS	2
CARSPACES	4
AREA SCHEDULE:	
DWELLING 1	
GROUND FLOOR (INCL. GARAGE)	159 m²
FIRST FLOOR	111 m²
	270 m² (29.06SQ)
PRIVATE OPEN SPACE (P.O.S.)	111 m²
SECLUDED PRIVATE OPEN SPACE (S.P.O.S.)	70 m²
DWELLING 2	
GROUND FLOOR (INCL. GARAGE)	160 m²
FIRST FLOOR	107 m²
	267 m² (28.74SQ)
PRIVATE OPEN SPACE (P.O.S.)	87 m²
SECLUDED PRIVATE OPEN SPACE (S.P.O.S.)	66 m²
RAINWATER TANK:	
RWT	
ALL DWELLINGS SHALL HAVE STORMWATER COLLECTION TANKS FOR STORMWATER RE-USE. STORM NOMINATED VALUES ARE FOR RE-USE ONLY. ANY DETENTION REQUIREMENTS TO FUTURE DETAILS BY RELEVANT CIVIL ENGINEER.	
PROPOSED CANOPY TREE:	
EXISTING TREE:	
EXISTING TREE TO BE REMOVED:	
PEDESTRIAN VISIBILITY SPPLAY:	
ANY STRUCTURE OR VEGETATION WITHIN VISIBILITY SPLAYS MUST NOT BE MORE THAN 0.9m IN HEIGHT.	
SYMBOLS:	
WATER METER	
GAS METER	
ELECTRICAL METER	
HOT WATER SERVICE (ELEC)	
DOUBLE GLAZING	
ADJUSTABLE SHADING DEVICE	
FIXED SHADING DEVICE	
FIXED OBSCURED GLAZING MAXIMUM 25% TRANSPARENCY TO 1700mm ABOVE F.F.L.	
AIR CONDITIONING UNIT (EXTERNAL)	
EV CHARGER	
LIGHTING TO EXTERNAL ACCESSWAYS	
DEVELOPMENT TO BE ALL-ELECTRIC WITH NO GAS CONNECTION	



No.	Description	Date
A	TP LODGEMENT	19.11.2024
B	RFI	
C	RFI	10.06.2025

PROJECT No.	24-055
DRAWN BY	MS
CHECKED BY	AD

DATE	22.07.2024
SCALE	1:100@A1/ 1:200 @A3
ISSUE	TOWN PLANNING

106 LOONGANA AVENUE, GLENROY
DUAL OCCUPANCY

REVISION	SHEET No.
C	TP1

TYPICAL SHADING DIAGRAMS

FIXED SHADING

NORTHERN SUN

HEIGHT (H)

1000mm MIN

25% OF (H)

HABITABLE ROOM

CROSS SECTION

50% OF (H)

50% OF (H)

HEIGHT (H)

50% OF (H)

AXONOMETRIC

SHADE DEVICE OFFSET FROM TOP OF WINDOW TO BE HALF OF SHADE DEPTH. SHADE DEVICE TO EXTEND BEYOND WINDOW EQUIVALENT TO HALF THE DEPTH OF THE SHADE DEVICE.

ADJUSTABLE SHADING

WESTERN / EASTERN SUN

EXTERNAL DROP DOWN AWNING

HABITABLE ROOM

CROSS SECTION

EXTERNAL DROP DOWN AWNING

AXONOMETRIC

SHADE DEVICE SUITABLE FOR EAST & WEST FACING HABITABLE WINDOWS

SYMBOLS

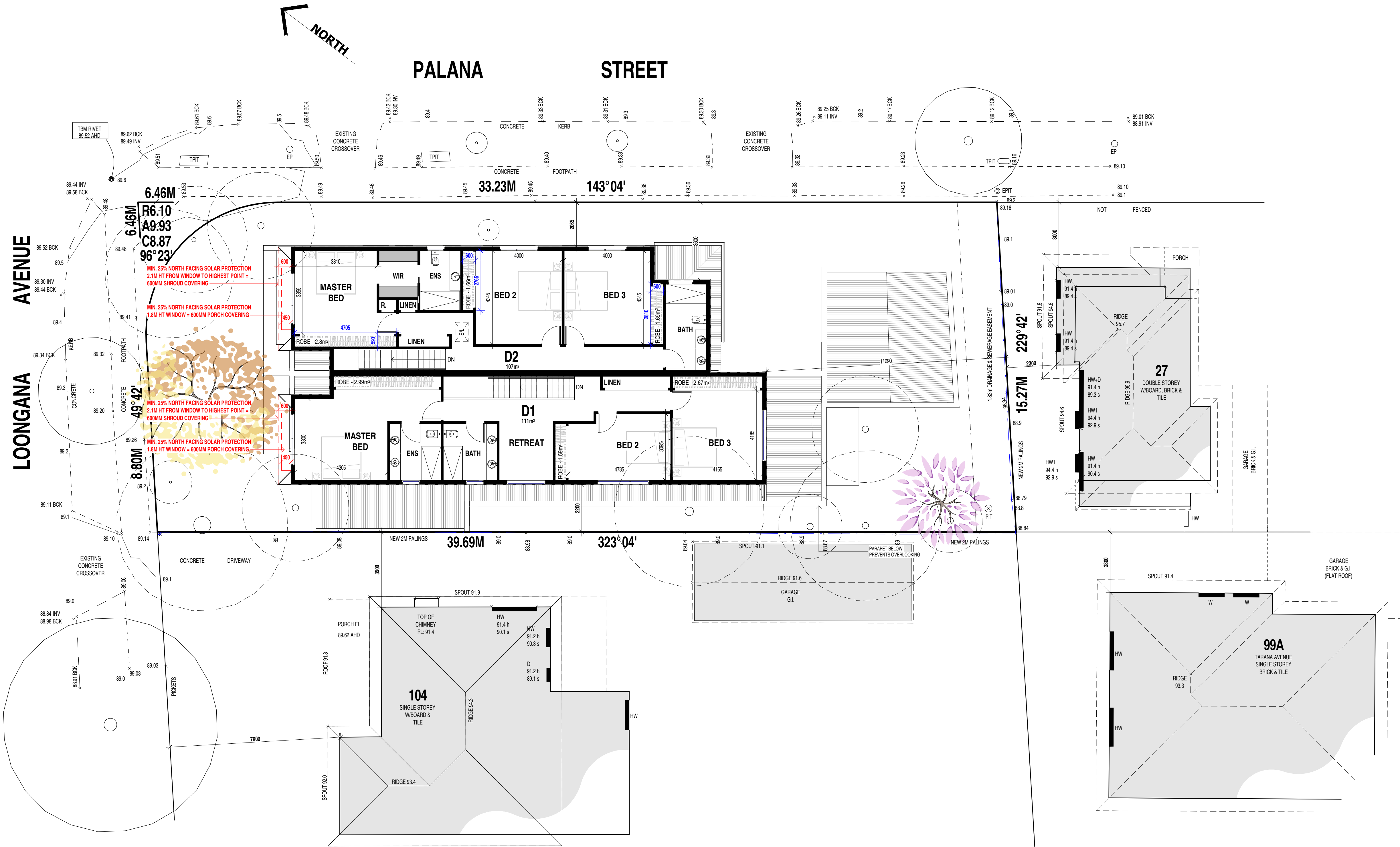
ARTICULATION JOINT AS INDICATED ON PLANS. REFER TO STRUCTURAL ENGINEER DOCUMENTATION. PROVIDE FIRE GRADE CAULKING TO ALL ARTICULATION JOINTS LOCATED ON THE BOUNDARY BETWEEN SEPARATE TENANCIES. ARTICULATION JOINT TO HAVE A 10mm GAP WHEN LOCATED ON THE SIDE OF A WINDOW

DG DOUBLE GLAZING

ASD ADJUSTABLE SHADING DEVICE

FSD FIXED SHADING DEVICE

OBS FIXED OBSCURED GLAZING MAXIMUM 25% TRANSPARENCY TO 1700mm ABOVE F.F.L



FIRST FLOOR PLAN
SCALE: 1 : 100

No.	Description	Date
A	TP LODGEMENT	19.11.2024
B	RFI	
C	RFI	10.06.2025

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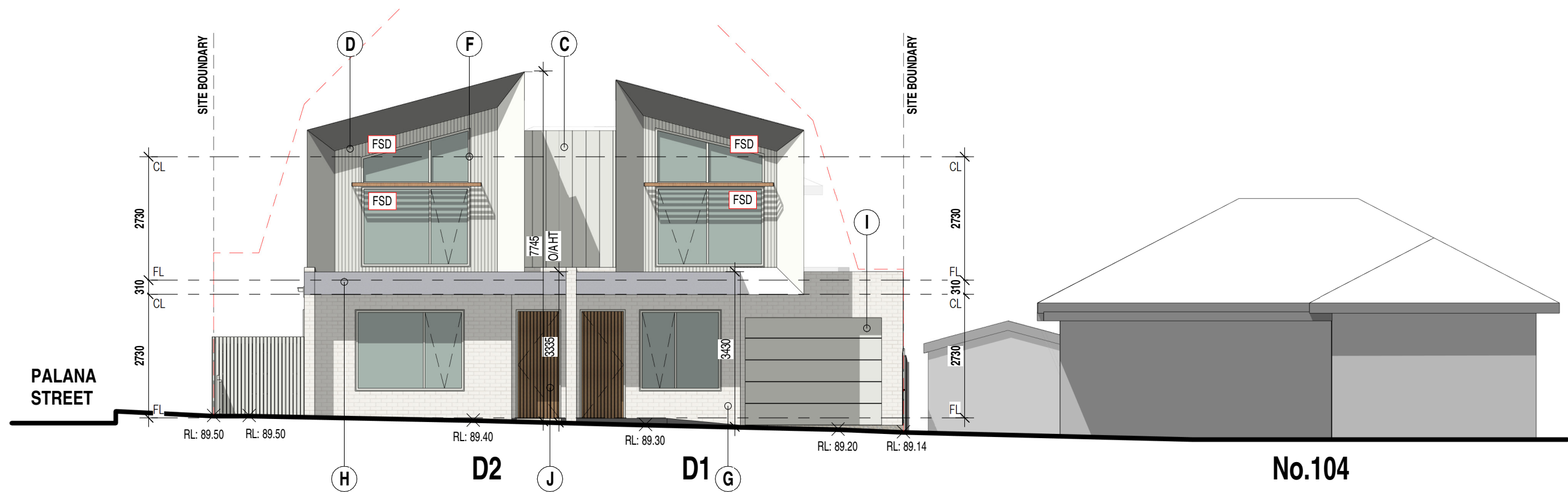
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SCALE	1:100@A1/ 1:200 @A3
ISSUE	TOWN PLANNING

106 LOONGANA AVENUE, GLENROY
DUAL OCCUPANCY

REVISION	SHEET No.
C	TP2



NORTH ELEVATION - LOONGANA AVE

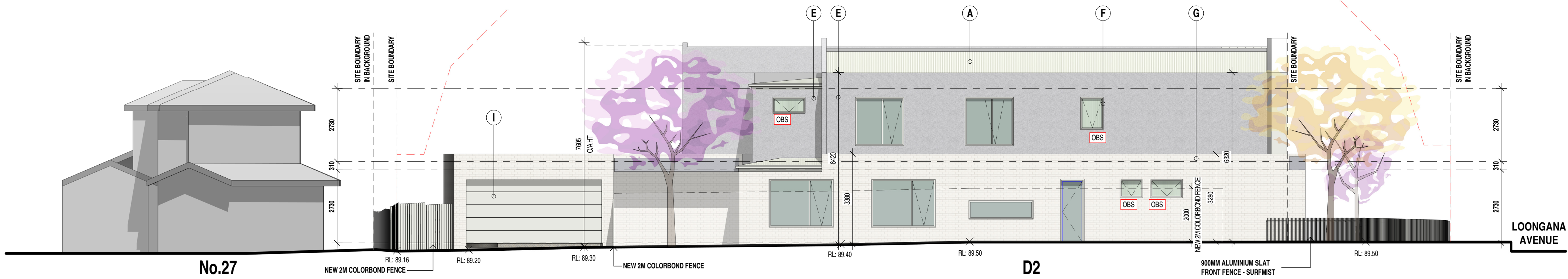
SCALE: 1 : 100

FRONT FENCE ELEVATION

SCALE: 1 : 100

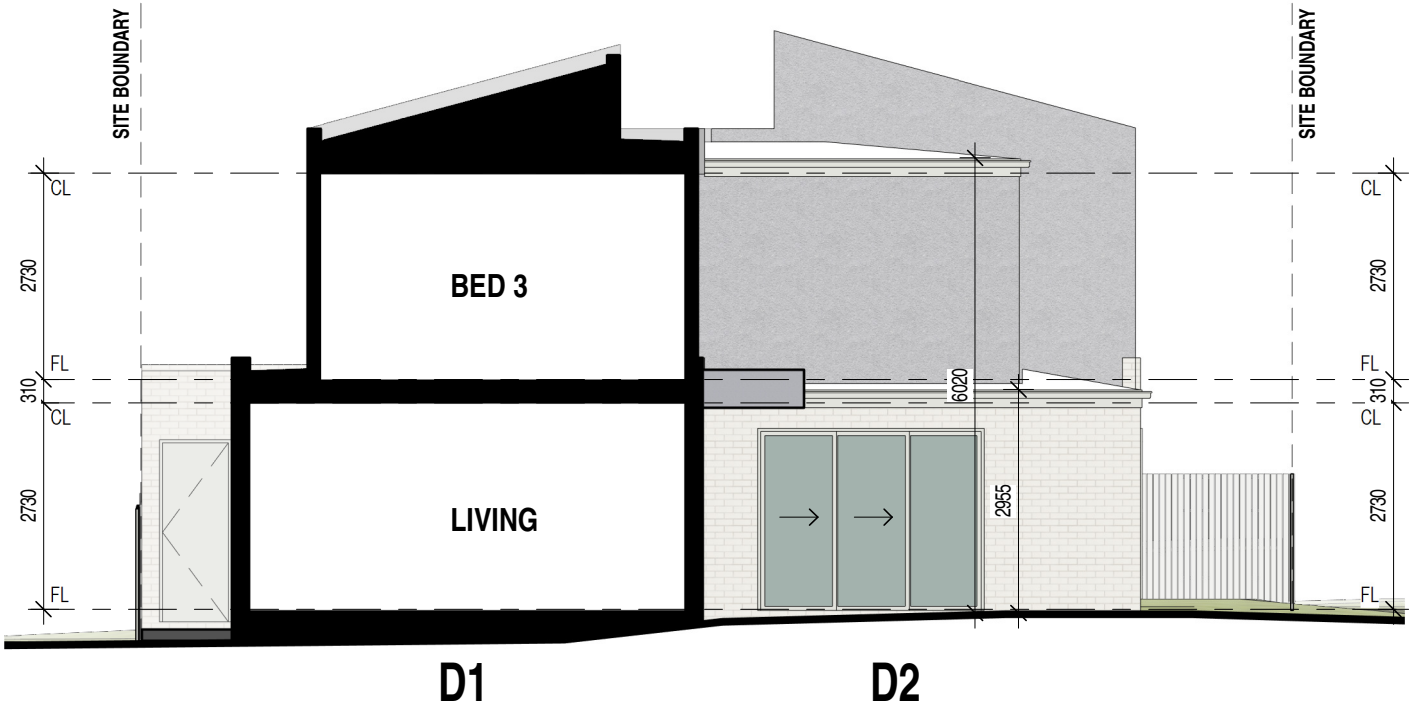
MATERIALS SCHEDULE			
SAMPLE	REF	ITEM	FINISH / SUPPLIER
	A	ROOFING MATERIAL	SURFMIST
	B	GUTTERS / FASCIAS / DOWNPIPES	SURFMIST
	C	WALL CLADDING	SURFMIST
	D	WALL CLADDING - BATTENS	SURFMIST
	E	APPLIED RENDER	GREY
	F	WINDOWS / DOORS - HABITABLE UNITS TO BE DOUBLE GLAZED	SURFMIST
	G	FEATURE BRICK	WHITE
	H	PORCH FINISH	GREY
	I	GARAGE DOORS / FACADE TREATMENTS	SURFMIST
	J	FRONT DOOR	TIMBER
	K	POWDER COATED ALUMINIUM SLAT FENCING & BRICK	SURFMIST/WHITE

SYMBOLS:	
	WATER METER
	GAS METER
	ELECTRICAL METER
	HOT WATER SERVICE (GAS INSTANTANEOUS)
	DOUBLE GLAZING
	ADJUSTABLE SHADING DEVICE
	FIXED SHADING DEVICE
	FIXED OBSCURED GLAZING MAXIMUM 25% TRANSPARENCY TO 1700mm ABOVE F.F.L.
	AIR CONDITIONING UNIT (EXTERNAL)
	EV CHARGER
	TAP (COURTYARD / BALCONY)



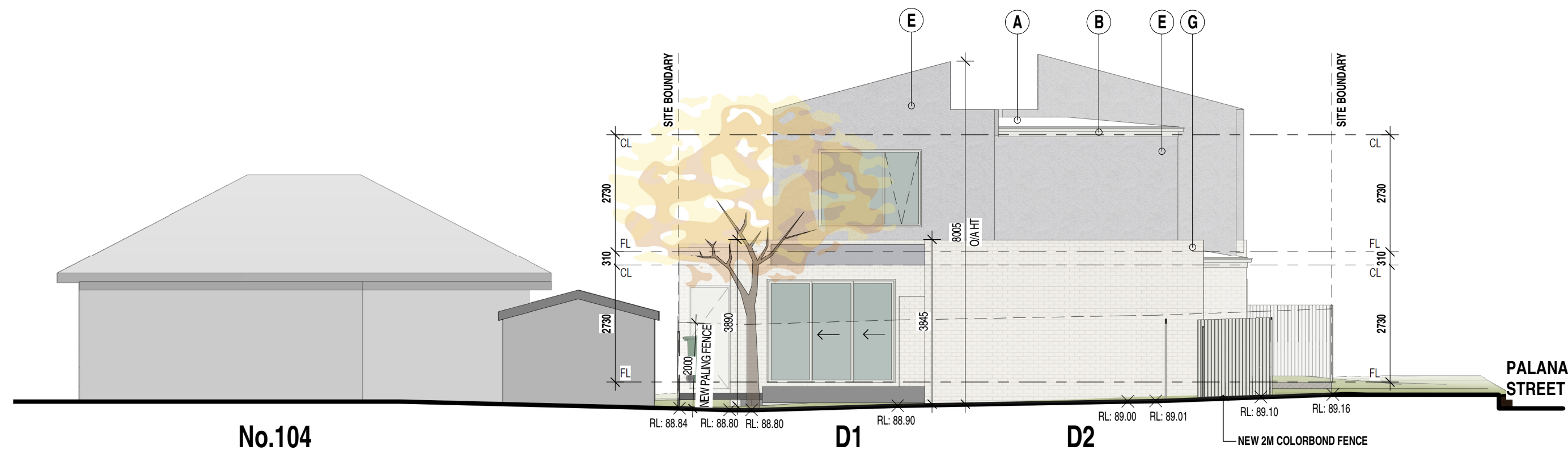
EAST ELEVATION - PALANA ST

SCALE: 1 : 100



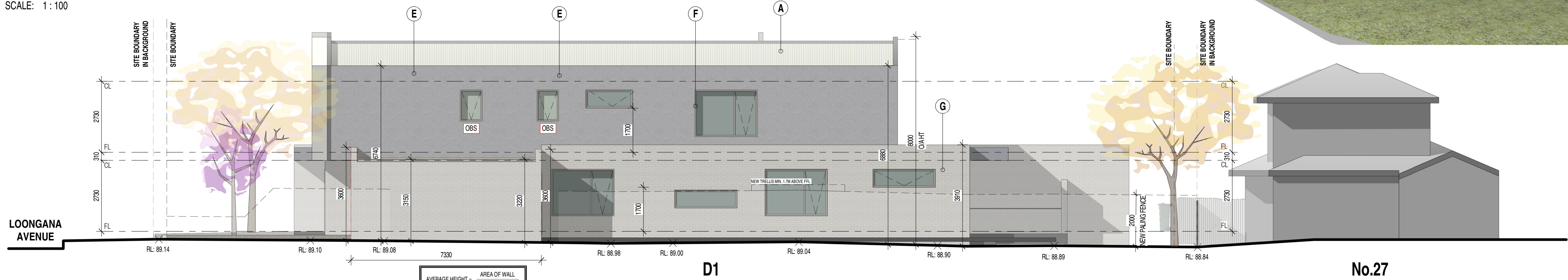
INTERNAL SOUTH ELEVATION

SCALE: 1 : 100



SOUTH ELEVATION

SCALE: 1 : 100



WEST ELEVATION

SCALE: 1 : 100



No.	Description	Date
A	TP LODGEMENT	19.11.2024
B	RFI	
C	RFI	10.06.2025

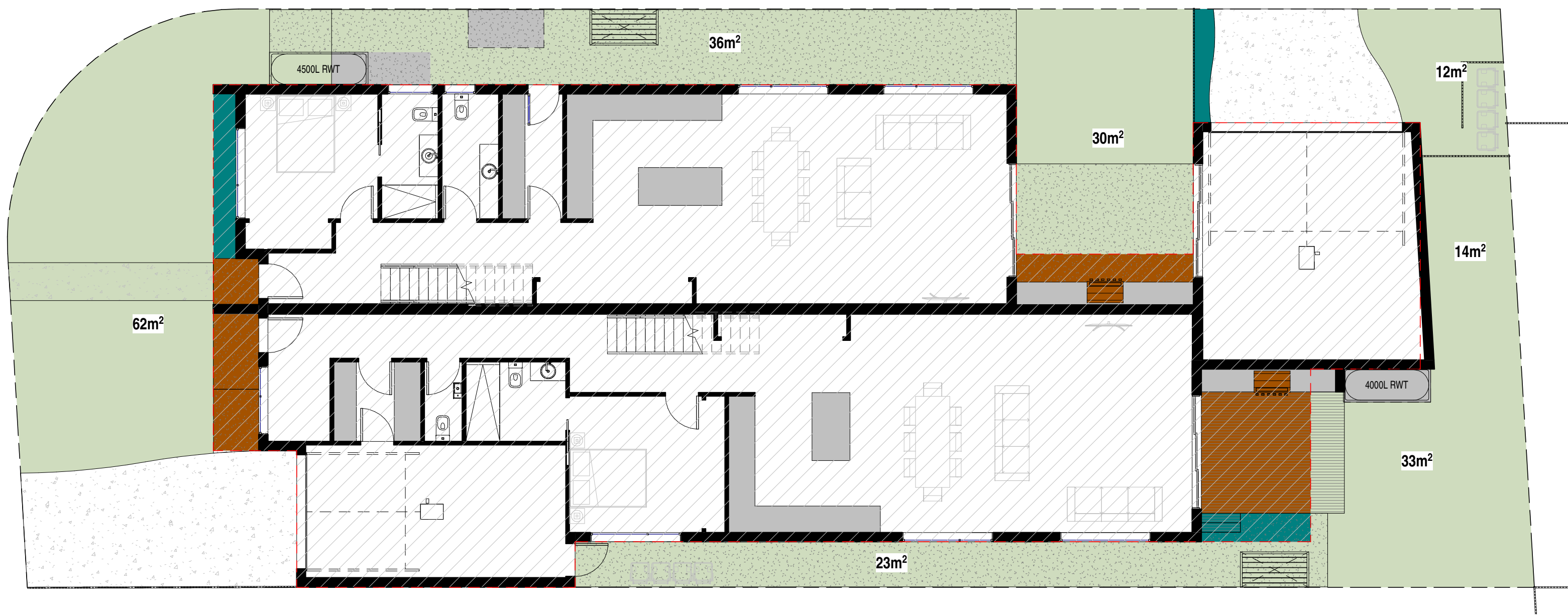
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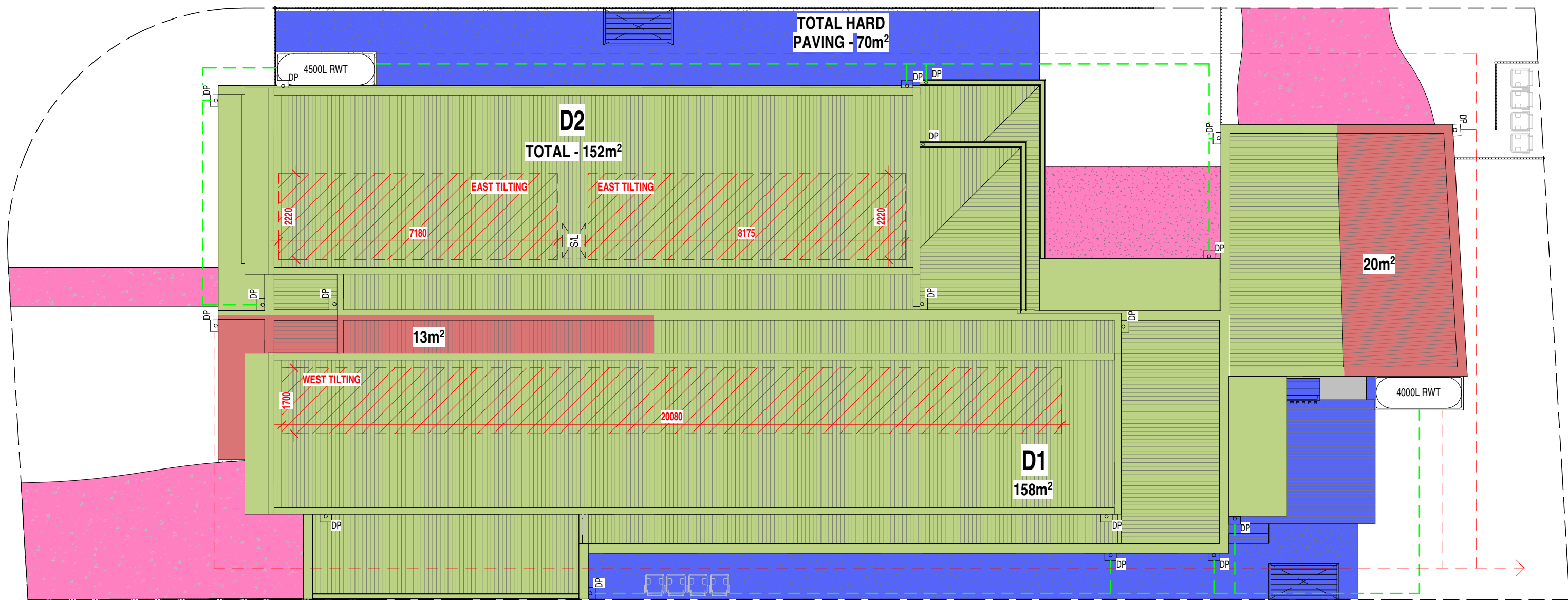
DATE	22.07.2024
SCALE	1:100@A1/ 1:200 @A3
ISSUE	TOWN PLANNING

106 LOONGANA AVENUE, GLENROY
DUAL OCCUPANCY

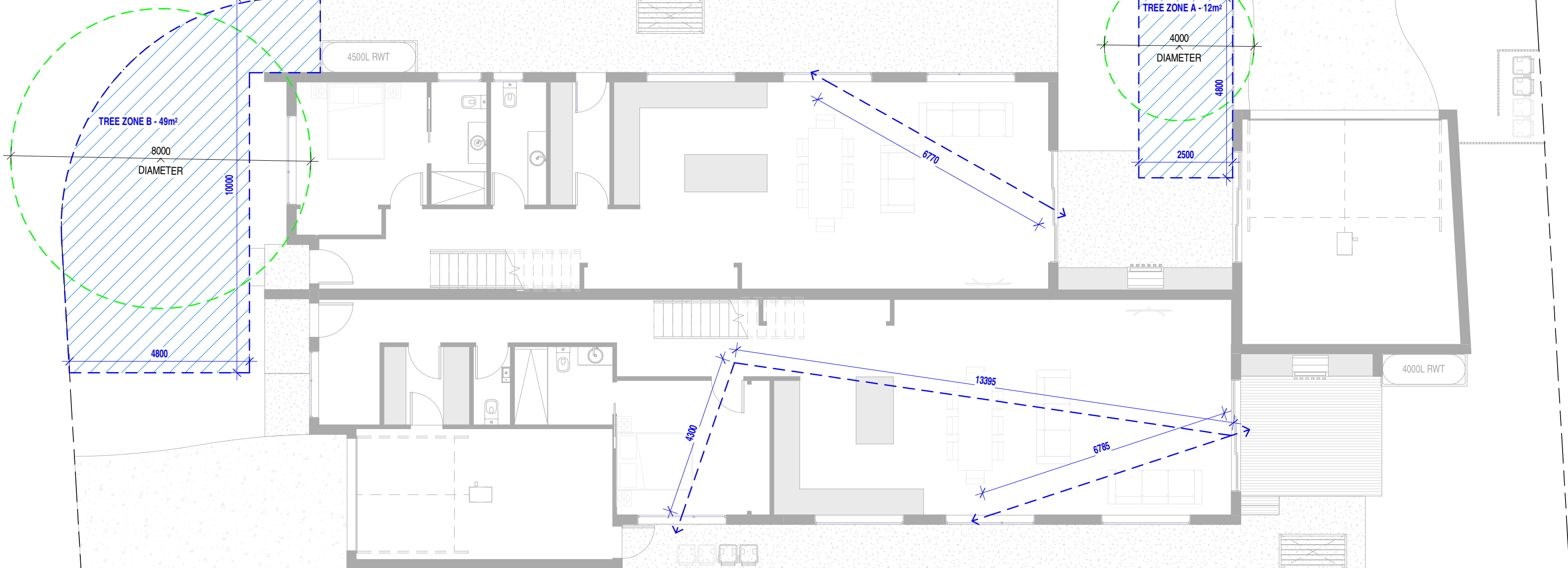
REVISION	SHEET No.
C	TP3



GARDEN AREA
SCALE: 1 : 100



WSUD
SCALE: 1 : 100



GROUND FLOOR BREEZE PATHS & TREE CANOPY
SCALE: 1 : 100

WATER SENSITIVE URBAN DESIGN (WSUD) NOTES:

THE BUILDER AND CONTRACTORS MUST COMPLY WITH ALL REQUIREMENTS AS OUTLINED IN THE RELEVANT BSS & STORM ASSESSMENT.

TOTAL ROOF CATCHMENT AREAS, RAINWATER TANKS & CONNECTIONS:

RAINWATER TANK:

(CAPACITY) LT RWT

ALL DWELLINGS SHALL HAVE STORMWATER COLLECTION TANKS FOR STORMWATER RE-USE. STORM NOMINATED VALUES ARE FOR RE-USE ONLY. ANY DETENTION REQUIREMENTS TO FUTURE DETAILS BY RELEVANT CIVIL ENGINEER

DWELLING: 1

TOTAL ROOF CATCHMENT AREA:
ROOF AREA: 158 m²

RAIN WATER TANK SIZES & CONNECTIONS

(RWT1 CAPACITY: 4000 L)

CONNECTIONS: TOILETS & LAUNDRIES
ARE TOILETS CONNECTED?: YES
ARE LAUNDRIES CONNECTED?: YES

DWELLING: 2

TOTAL ROOF CATCHMENT AREA:
ROOF AREA: 130 m²

RAIN WATER TANK SIZES & CONNECTIONS

(RWT1 CAPACITY: 4500 L)

CONNECTIONS: TOILETS & LAUNDRIES
ARE TOILETS CONNECTED?: YES
ARE LAUNDRIES CONNECTED?: YES

NOTES

1. SELECTED DOWNPIPES TO BE CONNECTED BACK TO RAINWATER TANKS VIA GRAVITY FED SYSTEM & CHARGED AS REQUIRED. (NO CHARGING UNDERSLAB)

2. RAINWATER TANKS WITH MINIMUM ROOF CATCHMENT AREA AS PER VALUES ABOVE

3. RAINWATER TANKS CONNECTED BACK TO ALL TOILETS FOR THE PURPOSE OF SANITARY FLUSHING

4. ENSURE ALL RAINWATER TANKS ARE EQUIPPED WITH GUTTER GUARDS, FIRST FLUSH DIVERTERS AND FILTERS.

→ BOX GUTTER DRAINAGE DIRECTION

DP = DOWNPIPE

☐ RAINHEAD

— CHARGED PIPE TO RWT

— PIPE TO LPOD

NOTE: ALL CONNECTIONS ARE SHOWN DIAGRAMMATICALLY AND ARE SUBJECT TO CHANGE AS SPECIFIED BY RELEVANT CONTRACTOR.

Melbourne Water

STORM Rating Report

TransactionID: 0

Municipality: MERRI-BEK

Rainfall Station: MORELAND

Address: 106 LOONGANA AVE.

Assessor: GLENROY VIC MS

Development Type: Residential - Multunit

Allotment Site (m2): 596.00

STORM Rating %: 102

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
D1 to RWT	158.00	Rainwater Tank	4,500.00	5	135.80	92.10
D1 to LPOD	13.00	None	0.00	0	0.00	0.00
D2 to RWT	152.00	Rainwater Tank	4,000.00	5	136.00	90.70
D2 to LPOD	20.00	None	0.00	0	0.00	0.00
Hard Paving	70.00	None	0.00	0	0.00	0.00

PLANNING ENVIRONMENT ACT 1987
MERRI-BEK PLANNING SCHEME

COMPLIANT GARDEN AREA

Advised Document
Advised Plan Sheet: 5 of 10
Application No: P19/000007
Date : 18/06/2025

DRIVEWAY

RWT/STORAGE

COVERED PAVING

WATER SENSITIVE URBAN DESIGN (WSUD) LEGEND:

ROOF SURFACE AREA COLLECTING RAINWATER, CONNECTING DIRECTLY INTO RAINWATER TANKS

ROOF SURFACE AREA COLLECTING RAINWATER, CONNECTING DIRECTLY TO LEGAL POINT OF DISCHARGE

HARD SURFACE PAVING AREA COLLECTING RAINWATER, CONNECTING DIRECTLY TO LEGAL POINT OF DISCHARGE

PERMEABLE PAVING AREA COLLECTING RAINWATER, GRADED TO ALLOW STORMWATER RUNOFF INTO LANDSCAPING

ROOF SURFACE AREA COLLECTING RAINWATER, CONNECTING DIRECTLY INTO RAINWATER GARDENS

HARD SURFACE PAVING AREA COLLECTING RAINWATER, GRADED DIRECTLY INTO ENVIS DRAINAGE PITS

PERMEABLE SURFACE AREA

BREEZE PATH

5000mm MIN
18000mm MAX

DENOTES DIRECTION OF CROSS VENTILATION. BREEZE PATH TO BE 5m MIN 18m MAX.

CANOPY TREE ZONES

DENOTES AREA REQUIREMENTS FOR CANOPY TREE LOCATION. REFER TO LANDSCAPE PLAN FOR ACCURATE DETAILS OF TREE CANOPY AND DEEP SOIL ZONES.

TREE TYPES:

TREE TYPE A:
CANOPY DIA: 4m
TREE HEIGHT 6m
DEEP SOIL AREA: 12m² (MIN DIM 2.5m)
CANOPY COVER: 12.6m²

TREE TYPE B:
CANOPY DIA: 8m
TREE HEIGHT 8m
DEEP SOIL AREA: 49m² (MIN DIM 4.5m)
CANOPY COVER: 50.3m²

TREE TYPE C:
CANOPY DIA: 12m
TREE HEIGHT 12m
DEEP SOIL AREA: 121m² (MIN DIM 4.5m)
CANOPY COVER: 113.1m²

SITE AREA: 596

CANOPY REQUIREMENT: 60

TREE NO	TREE TYPE	TREE SPECIES	ROOT ZONE	CANOPY AREA
1	B	ANGOPHORA	49.00 m²	50.30 m²
2	A	LAURUSTROPHIA	12.60 m²	12.60 m²

TOTAL CALCULATED CANOPY AREA: 62.90 m²

FUTURE SOLAR PANEL ZONES

DENOTES AREA REQUIREMENTS FOR FUTURE SOLAR LOCATION.

SOLAR AREA REQUIREMENTS:

1 BEDROOM DWELLING:
15m² (MIN DIMENSION 1.7m)

2-3 BEDROOM DWELLING:
26m² (MIN DIMENSION 1.7m)

4+ BEDROOM DWELLING:
34m² (MIN DIMENSION 1.7m)

FIRST FLOOR BREEZE PATHS
SCALE: 1 : 100

WARDLE DESIGN

599 GILBERT ROAD,
PRESTON VIC 3072
PH: 1300 933 744
E: info@wardle.design.com.au
W: www.wardle.design.com.au

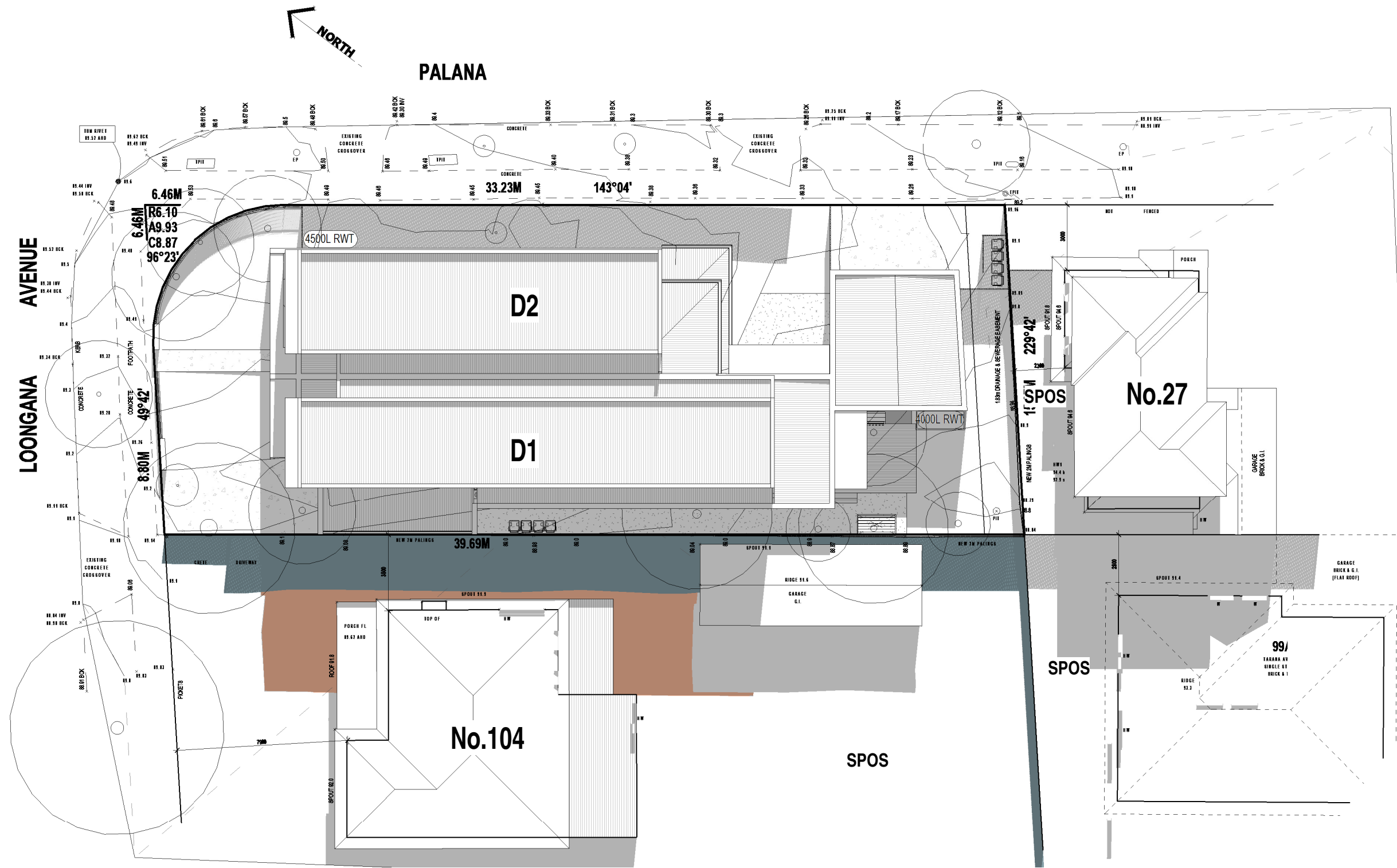
No.	Description	Date
A	TP LODGEMENT	19.11.2024
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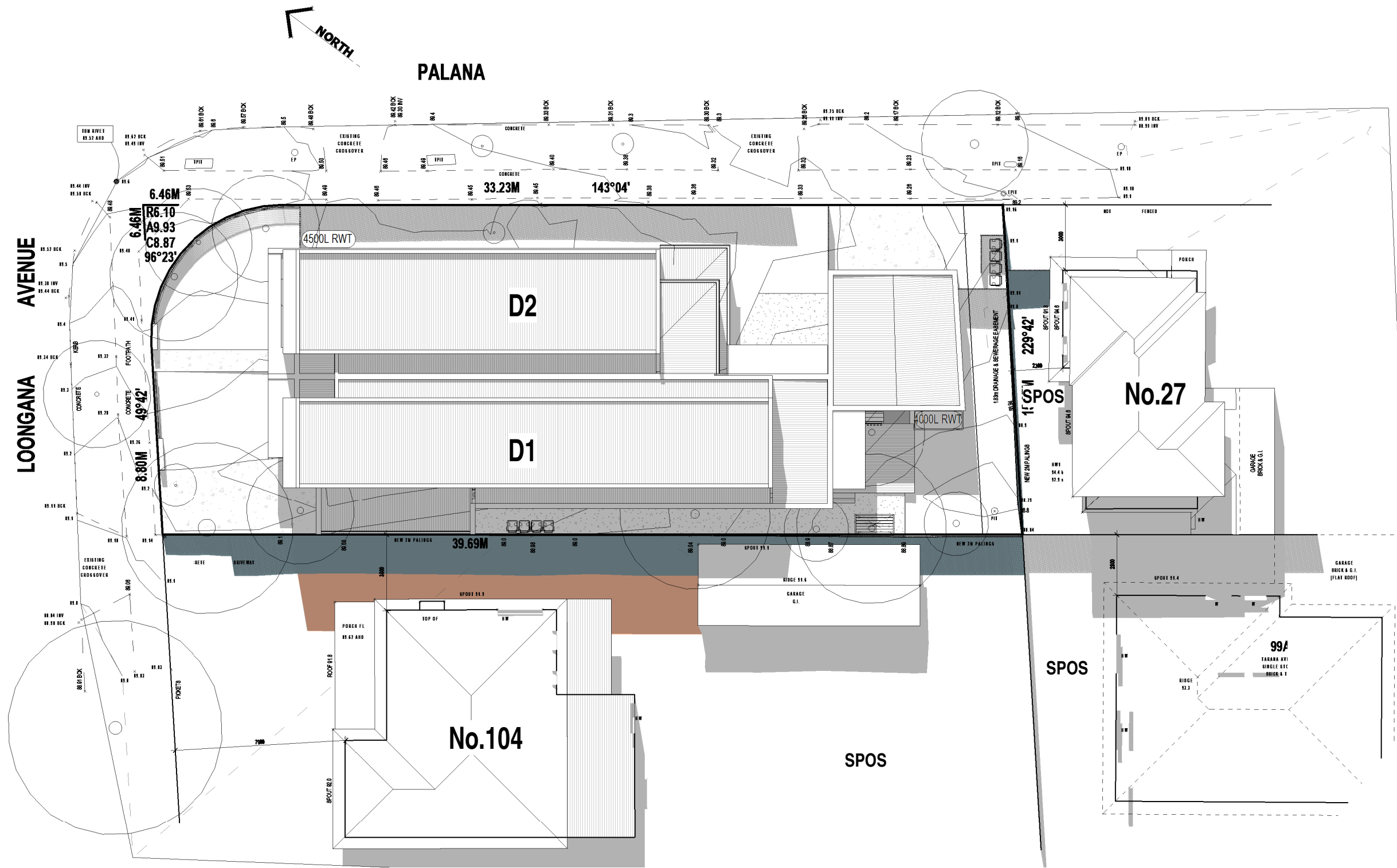
PROJECT No.	24-055	DATE	22.07.2024
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CHECKED BY	AD	ISSUE	TOWN PLANNING

106 LOONGANA AVENUE, GLENROY
DUAL OCCUPANCY

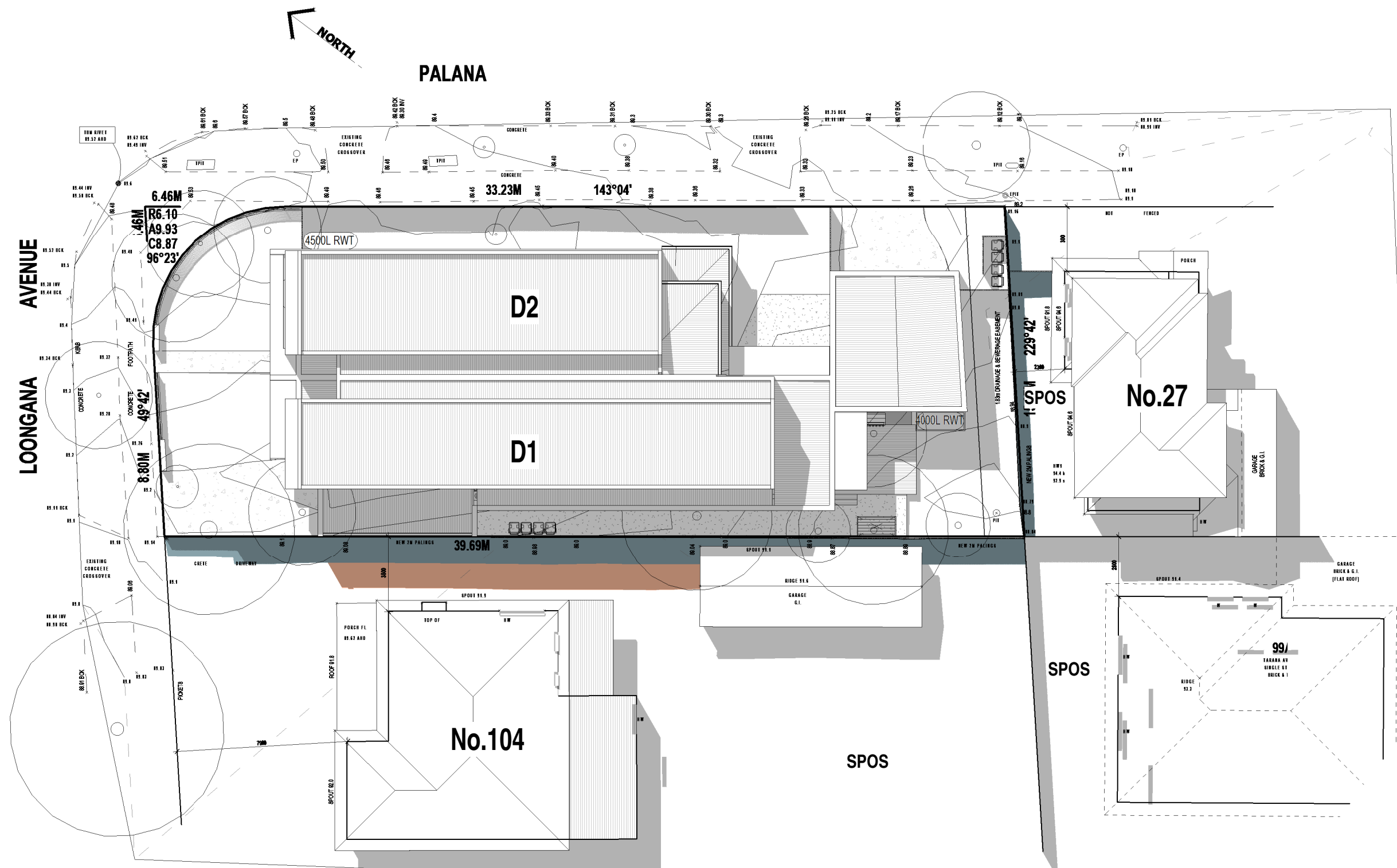
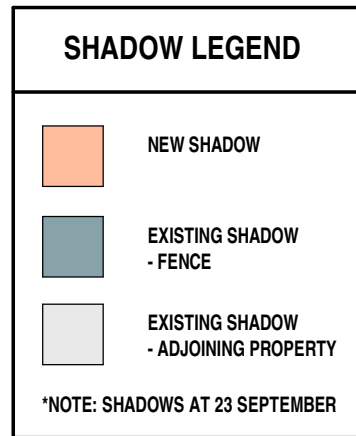
REVISION
C
SHEET No.
TP4



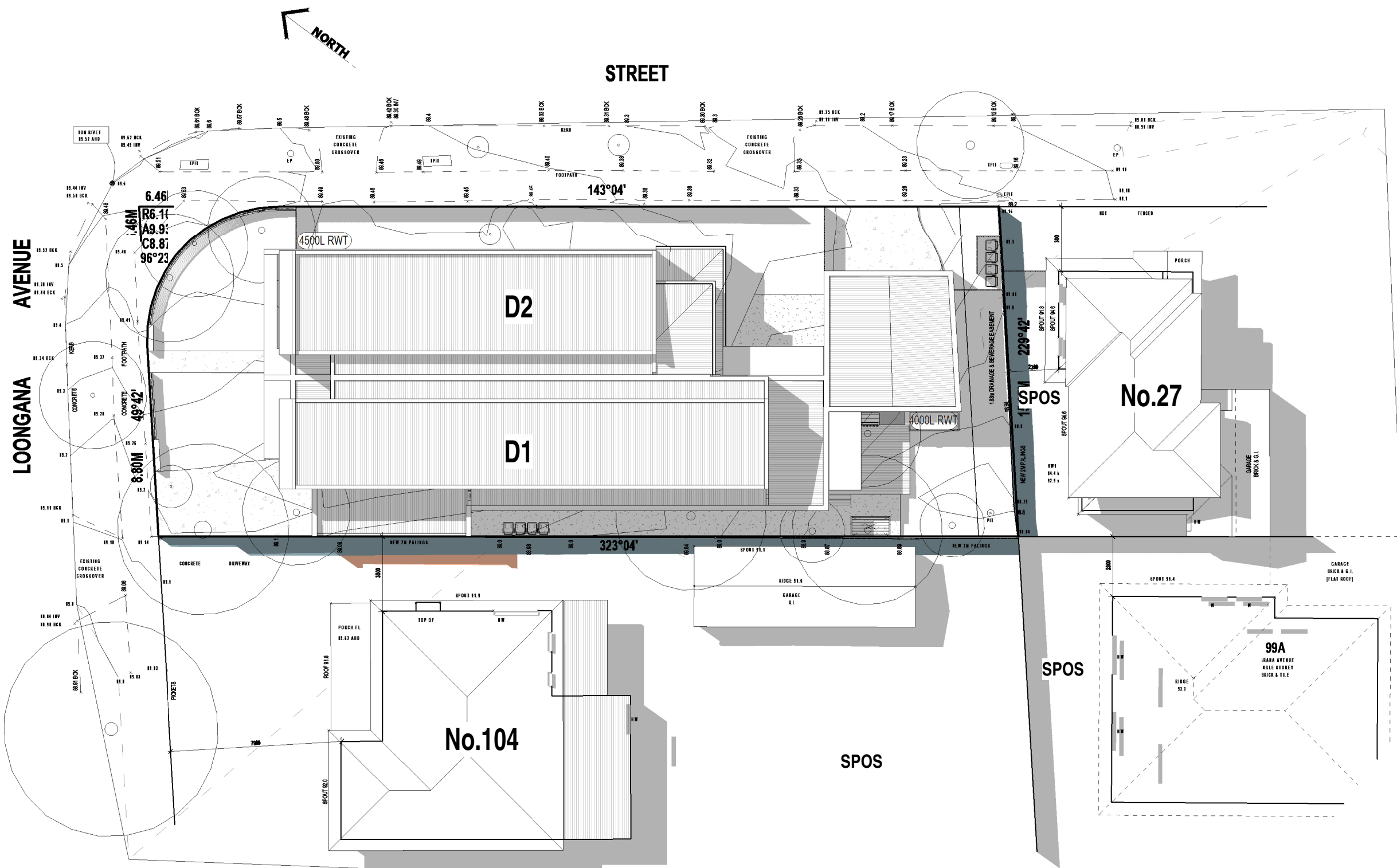
SHADOW DIAGRAM - 9AM
SCALE: 1:200



SHADOW DIAGRAM - 10AM
SCALE: 1:200



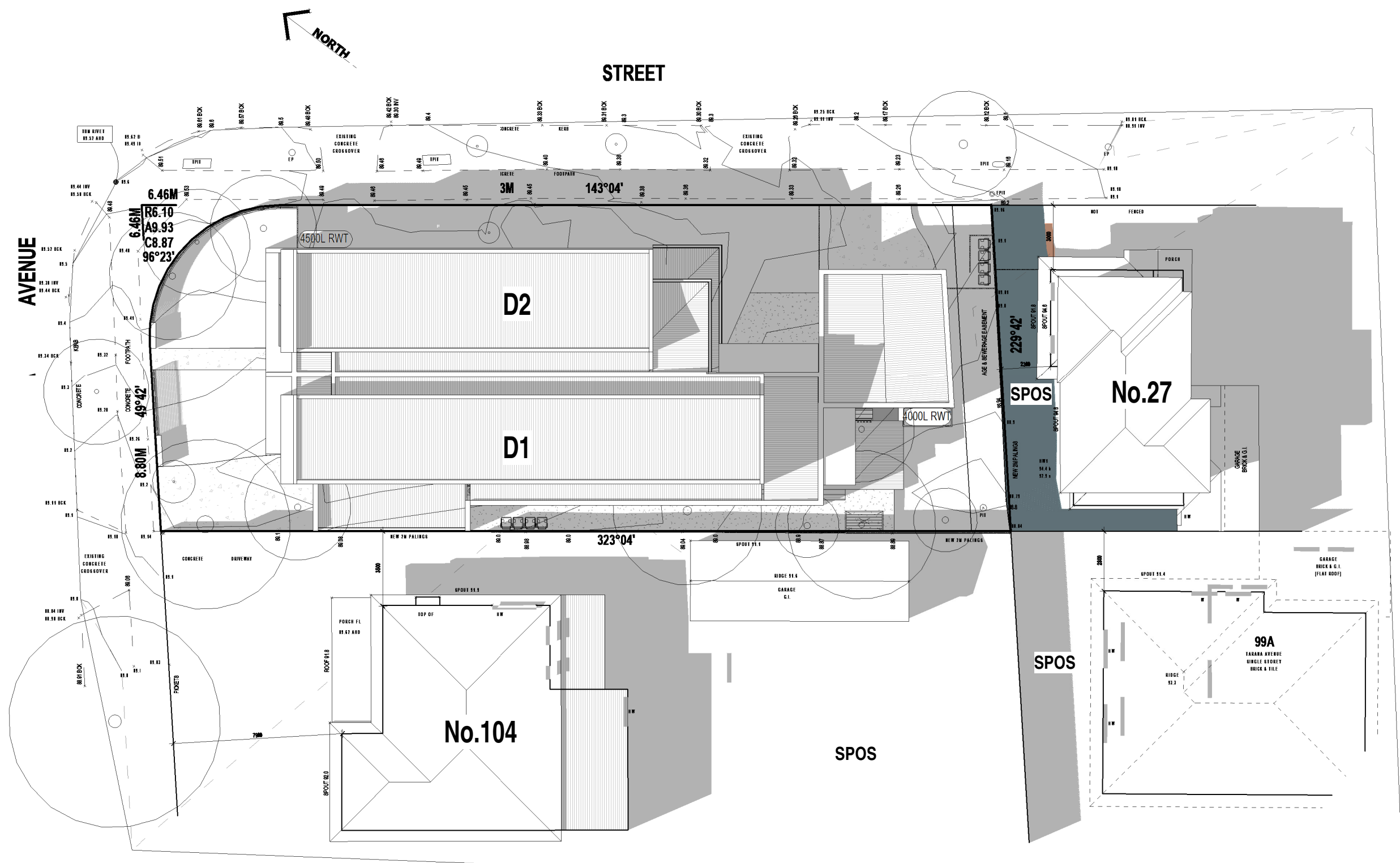
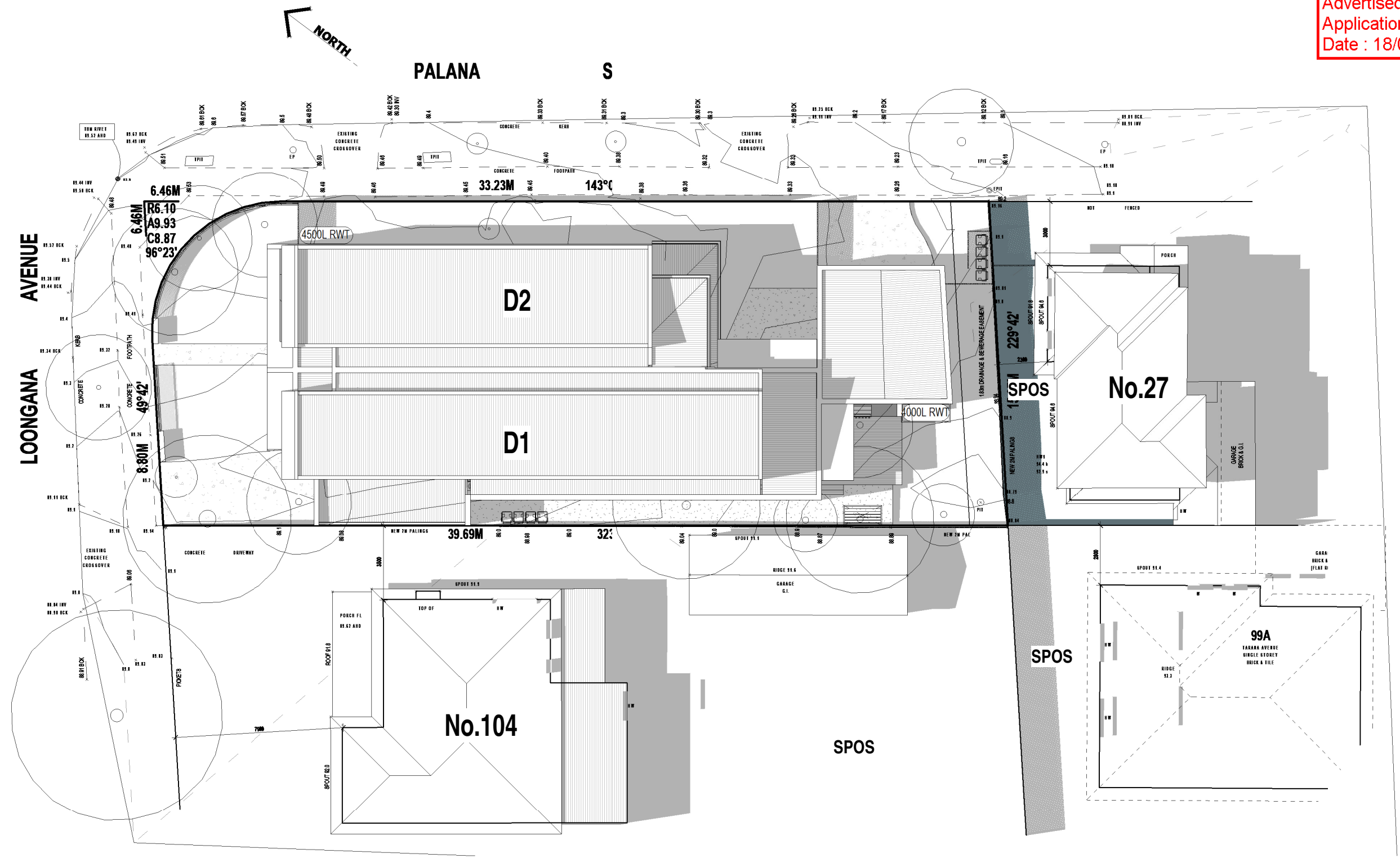
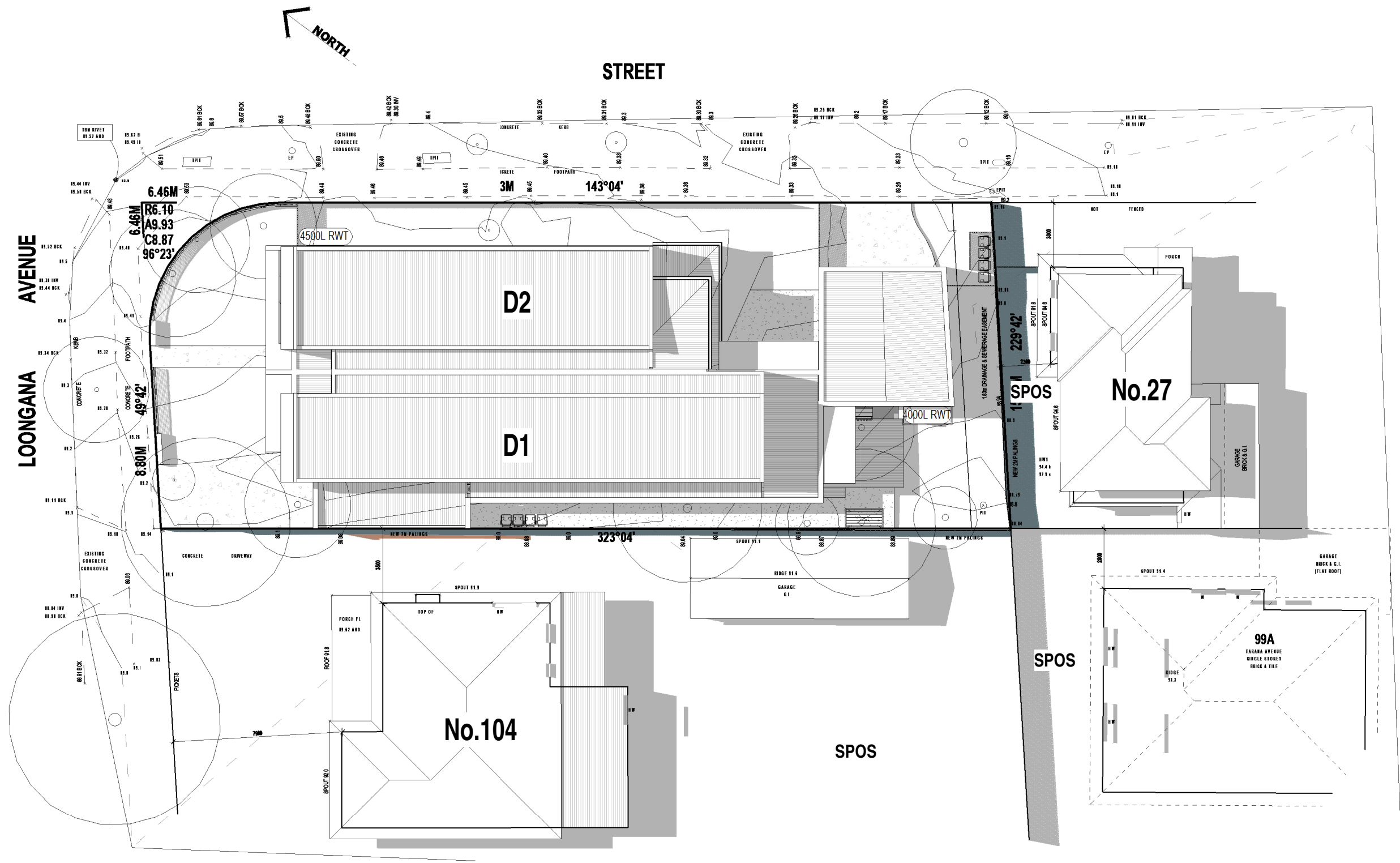
SHADOW DIAGRAM - 11AM
SCALE: 1:200



SHADOW DIAGRAM - 12PM
SCALE: 1:200

OVERSHADOWING TO 104 LOONGANA AVENUE, GLENROY				
	EX. SUN TO SPOS	PROPOSED SUN TO SPOS	OVERALL CHANGE	CHANGE YES/NO
9AM	178m²	169m²	9m²	YES - COMPLIANT
10AM	191m²	190m²	1m²	YES - COMPLIANT
11AM	194.5m²	194.5m²	0m²	NO - COMPLIANT
12AM	197m²	197m²	0m²	NO - COMPLIANT
1PM	195m²	195m²	0m²	NO - COMPLIANT
2PM	187m²	187m²	0m²	NO - COMPLIANT
3PM	183m²	183m²	0m²	NO - COMPLIANT

OVERSHADOWING TO 27 PALANA ST, GLENROY				
	EX. SUN TO SPOS	PROPOSED SUN TO SPOS	OVERALL CHANGE	CHANGE YES/NO
9AM	9.5m²	9.5m²	0m²	NO - COMPLIANT
10AM	16m²	16m²	0m²	NO - COMPLIANT
11AM	14.5m²	14.5m²	0m²	NO - COMPLIANT
12AM	12m²	12m²	0m²	NO - COMPLIANT
1PM	9m²	9m²	0m²	NO - COMPLIANT
2PM	6m²	6m²	0m²	NO - COMPLIANT
3PM	1m²	1m²	0m²	NO - COMPLIANT



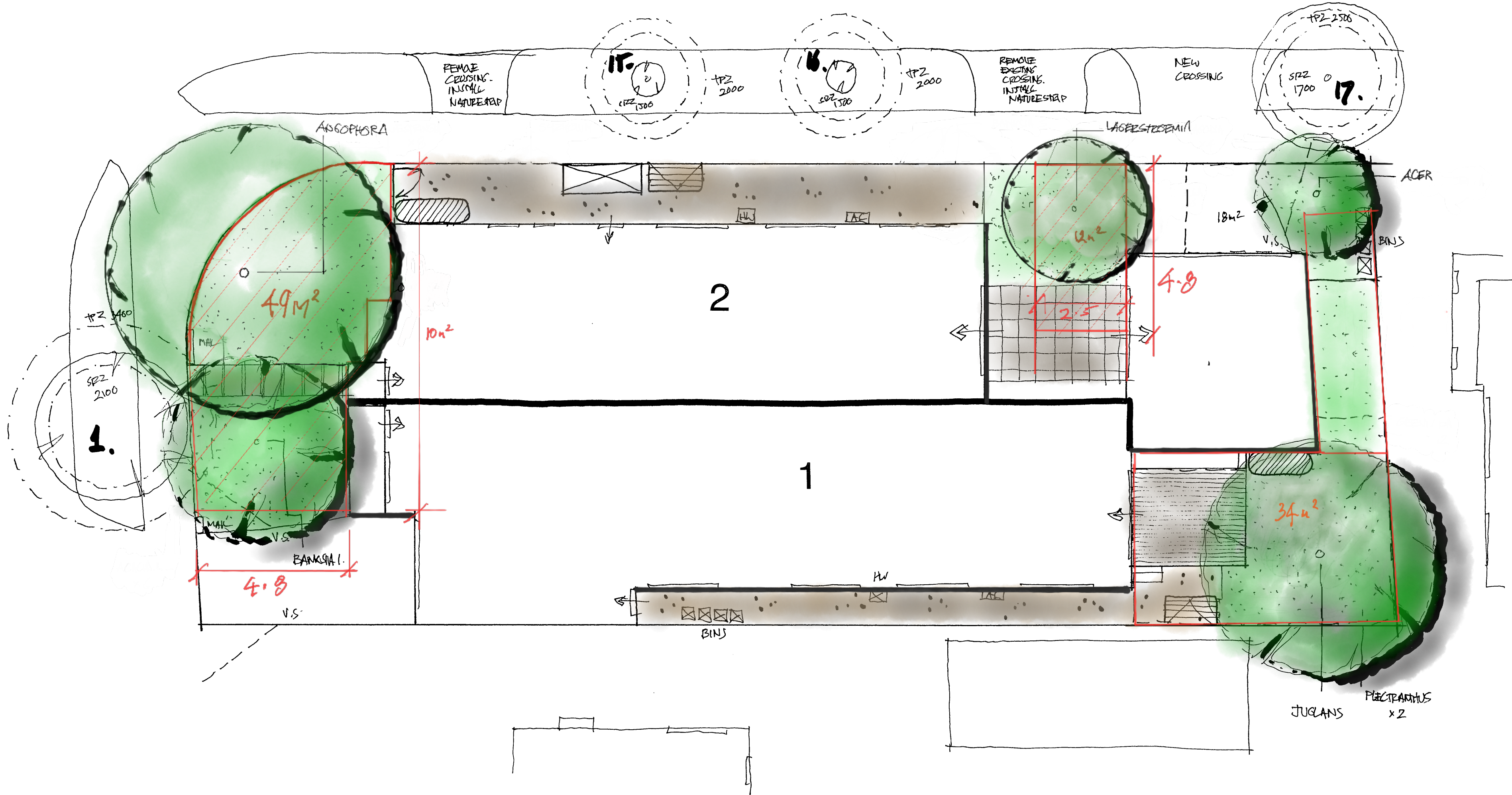
OVERSHADOWING TO 104 LOONGANA AVENUE, GLENROY				
	EX. SUN TO SPOS	PROPOSED SUN TO SPOS	OVERALL CHANGE	CHANGE YES/NO
9AM	178m ²	169m ²	9m ²	YES - COMPLIANT
10AM	191m ²	190m ²	1m ²	YES - COMPLIANT
11AM	194.5m ²	194.5m ²	0m ²	NO - COMPLIANT
12AM	197m ²	197m ²	0m ²	NO - COMPLIANT
1PM	195m ²	195m ²	0m ²	NO - COMPLIANT
2PM	187m ²	187m ²	0m ²	NO - COMPLIANT
3PM	183m ²	183m ²	0m ²	NO - COMPLIANT

OVERSHADOWING TO 27 PALANA ST, GLENROY				
	EX. SUN TO SPOS	PROPOSED SUN TO SPOS	OVERALL CHANGE	CHANGE YES/NO
9AM	9.5m ²	9.5m ²	0m ²	NO - COMPLIANT
10AM	16m ²	16m ²	0m ²	NO - COMPLIANT
11AM	14.5m ²	14.5m ²	0m ²	NO - COMPLIANT
12AM	12m ²	12m ²	0m ²	NO - COMPLIANT
1PM	9m ²	9m ²	0m ²	NO - COMPLIANT
2PM	6m ²	6m ²	0m ²	NO - COMPLIANT
3PM	1m ²	1m ²	0m ²	NO - COMPLIANT

SHADOW LEGEND	
	NEW SHADOW
	EXISTING SHADOW - FENCE
	EXISTING SHADOW - ADJOINING PROPERTY
*NOTE: SHADOWS AT 23 SEPTEMBER	

loongana avenue

palana street



Planting schedule

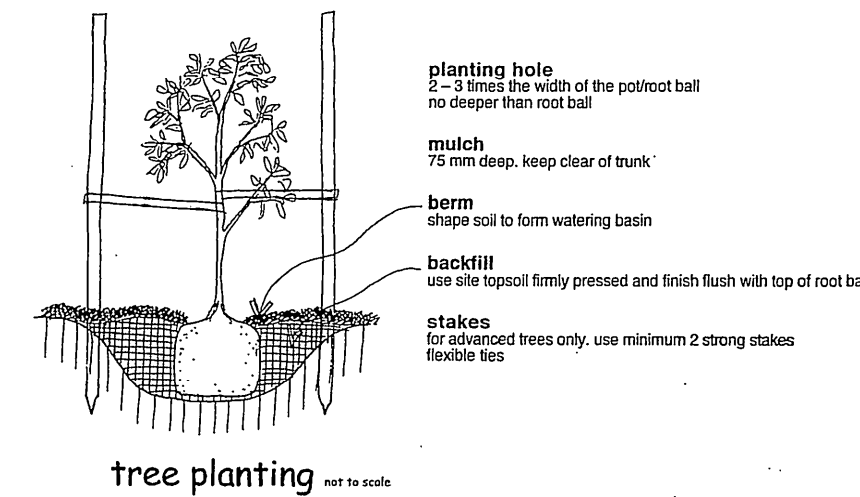
Species. Common name. Quantity. Size*

Feature trees, shade trees, large shrubs				
(supply in 200mm pots or as advanced plants 1.5m high** or larger indicated height, eg (2m))				
Acer p. 'Butterfly'	Maple	1	3x2	Type B
Angophora floribunda.	Rough barked Angophora.	1(2m)	10x8 type B 50.3m2	
Banksia integrifolia	Coast Banksia	1**	9x6	
Juglans nigra	Black Walnut	1(2m)	9x7	
Lagerstroemia 'Tonto'	Crepe Myrtle	1	6x4 (type A 12.57m2)	

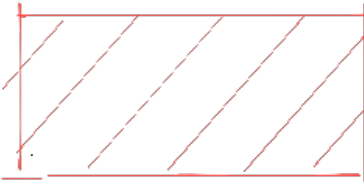
*height x width average at maturity estimated for this location or maintained by trimming

Canopy of 63m2 is provided by one type A and one type B tree and represents 10.5% of the site area.

+ other trees (not included in B2-7 calculations)



Deep soil areas for B2-7



key

lawn
drought tolerant, non – invasive species seeded or turf on 50mm topsoil or use mulch or pebbles as substitute during drought periods.

garden edging
70x19mm treated pine

path
concrete as selected

decking
as per architectural plans.

paving
concrete as selected

path
permeable paving

driveway
permeable paving as per architectural plans

fence
refer to architectural plans

water tanks
refer to architectural and drainage engineering plans

bins
storage areas

existing trees
trees to be retained. refer to arborists report for details

notes

Existing vegetation
Existing trees and shrubs indicated for retention are to be protected in accordance with Australian standards. Refer to arborists report and/or council permit conditions for tree protection and management. Trees should be protected with physical barriers to prevent access within nominated tree protection zones which are to be mulched and irrigated during construction. No trees to be removed without clarification from owner or local council. All tree protection to be in accordance with relevant Australian Standards.

Garden Beds
Cultivate existing soil to 200mm.(not within driplines of existing trees) Re-use site topsoil if suitable or imported garden mix topsoil to provide minimum 100mm of topsoil to garden beds. Spread 75mm layer of 10mm pine bark mulch or stone chips as non flammable mulch if required.

Drainage
Refer to architectural or engineering plans for stormwater and drainage pit locations. All paved areas in rear gardens are to have a grade of 2.5% minimum, away from buildings. All grades, levels and drainage to comply with relevant building codes and council planning requirements.

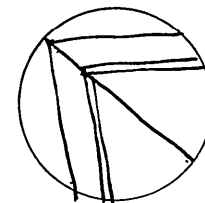
Services
Contractors are to determine the location of all underground and overhead services prior to construction. Any services, pits, etc illustrated on this plan are indicative only and are to be checked with architectural and engineering plans.

Building Structures
The use of this plan and planting of trees, shrubs, etc as specified may require the provision of root control barriers or specifically engineered foundations or similar method of controlling root growth to avoid intrusion into adjacent areas or building foundations. A qualified consultant should advise on foundation design and/or barriers (physical or chemical) as appropriate.

Site Preparation and Maintenance notes

All weeds to be removed from site by physical removal or spraying with glyphosate based herbicide
Existing soil should be improved by the addition of organic matter and light cultivation only to break up any compaction. No cultivation within driplines of existing retained trees on site or adjacent areas. Areas of possible contamination with paint, oil or any other materials used on site are to be removed and replaced with topsoil from a sustainable source and approved for use on site. Areas requiring topsoil to ensure levels or for plant growth are to be spread with approved soil previously stockpiled on site or from quality controlled and sustainable source.
Irrigation is to be in accordance with current water restrictions and weather conditions generally 10 minutes every second day during establishment period (6 months) and during dry summer periods If required, programmable irrigation systems are to be low water use drippers and sprays as appropriate and designed by irrigation supplier or consultant.
Weeding and trimming every 14 – 21 days. Plant replacement as required during establishment period of 6 months or longer as required by permit conditions .All plants to be pruned/shaped to appropriate size on an ongoing basis. Mulch levels to be maintained at 75mm.

landscape plan



project: 106 loongana avenue, glenroy

client: wardle design

scale: 1:100 A1 date: march 2025 sheet: 1 of 1

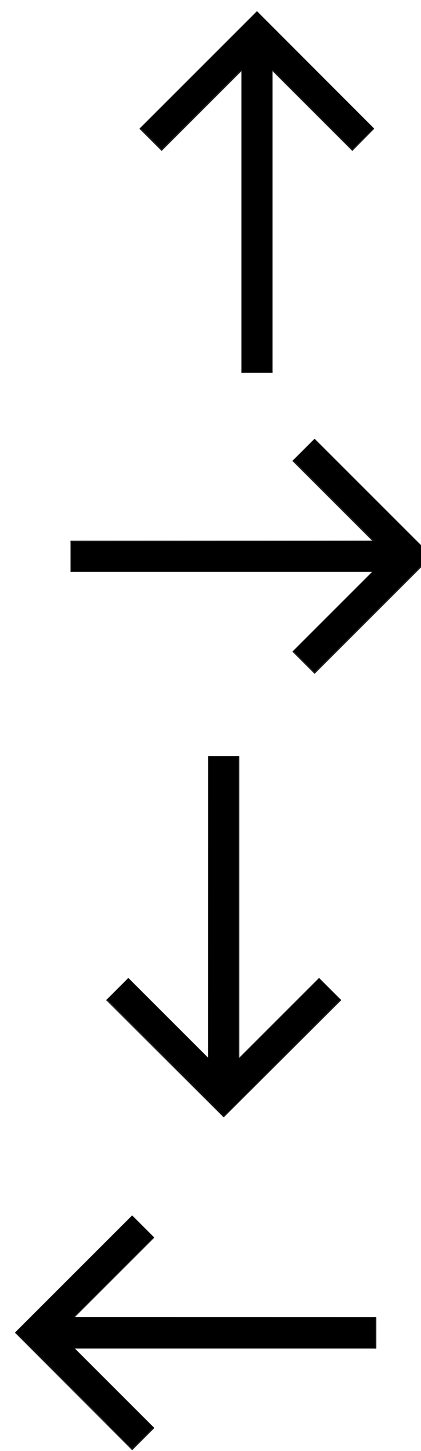
issue A
issue B April 2025
issue C May 2025



habitat

landscape and environmental design consultants 9836 1272

this plan is intended as a layout and planting guide only.all dimensions, locations, etc are to be checked and verified on site. Refer to architectural and engineering plans and permit conditions.
habitat accepts no responsibility or liability as a result of errors or omissions on this plan

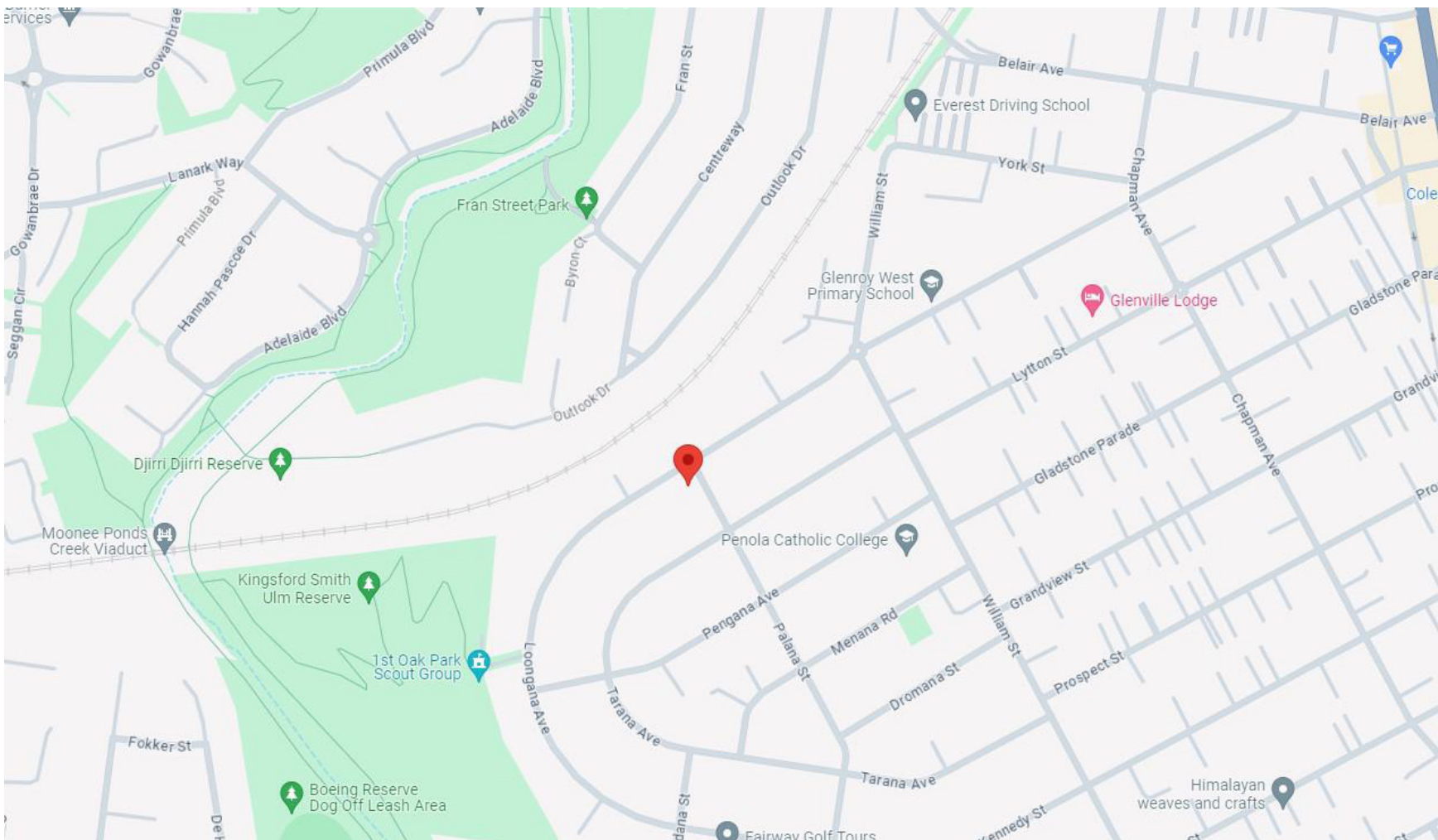


PENOLA COLLEGE/WILLIAM ST BUS STOP 300M
GLENROY WEST PRIMARY SCHOOL 370M
COLES 1KM
GLENROY STATION 1.15KM
GLENROY COLLEGE 1.75KM

PENOLA CATHOLIC COLLEGE 180M
IVAN PAGE RESERVE 315M
OAK PARK KINDERGARTEN 1KM
ESSENDON FIELDS AIRPORT 1.5KM
CITY LINK 2.87KM

KINGSFORD SMITH ULM RESERVE 410M
MOONEE PONDS CREEK TRAIL 540M
TULLAMARINE FREEWAY 1.25KM
WESTFIELD AIRPORT WEST 1.75KM
WOOLWORTHS 1.75KM

FRAN STREET PARK 270M
GOWANBRAE COMMUNITY CENTRE 775M
METROPOLITAN RING ROAD 1.25M
MELBOURNE AIRPORT 4.5KM



NEIGHBOURHOOD & SITE DESCRIPTION

SCALE: 1 : 300

LOCATION MAP

No.	Description	Date
A	TP LODGEMENT	19.11.2024

PROJECT No.	24-055
DRAWN BY	MS
CHECKED BY	TB

DATE	19/11/2024
SCALE	1:100 @ A1/ 1:200 @ A3
ISSUE	TOWN PLANNING

106 LOONGANA AVE, GLENROY
FOUR DWELLING DEVELOPMENT

REVISION	SHEET No.
A	NSDDR1



WINTER
SUNSET



WINTER
SUNRISE



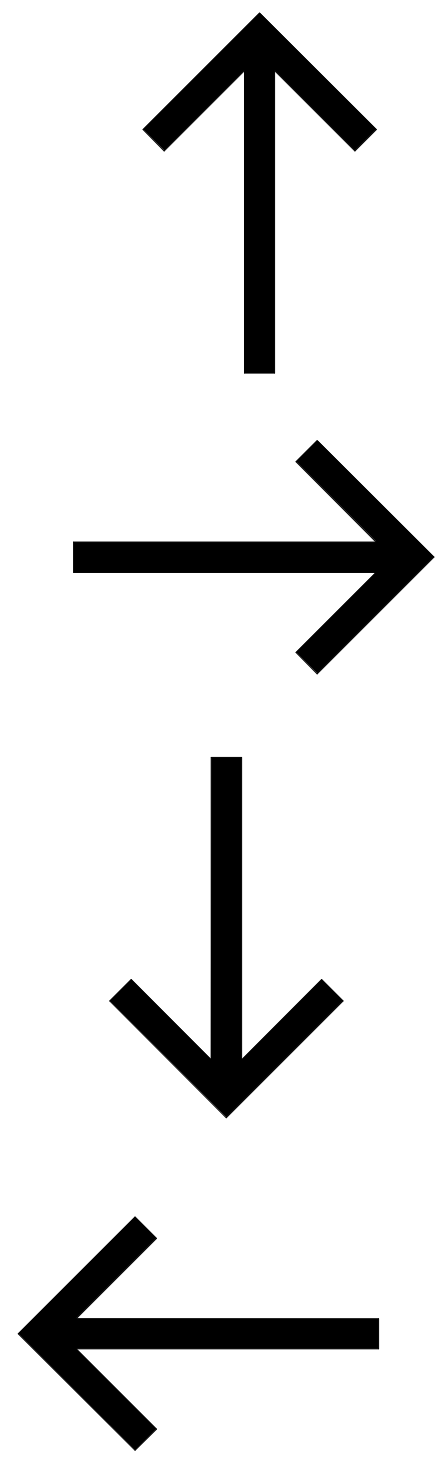
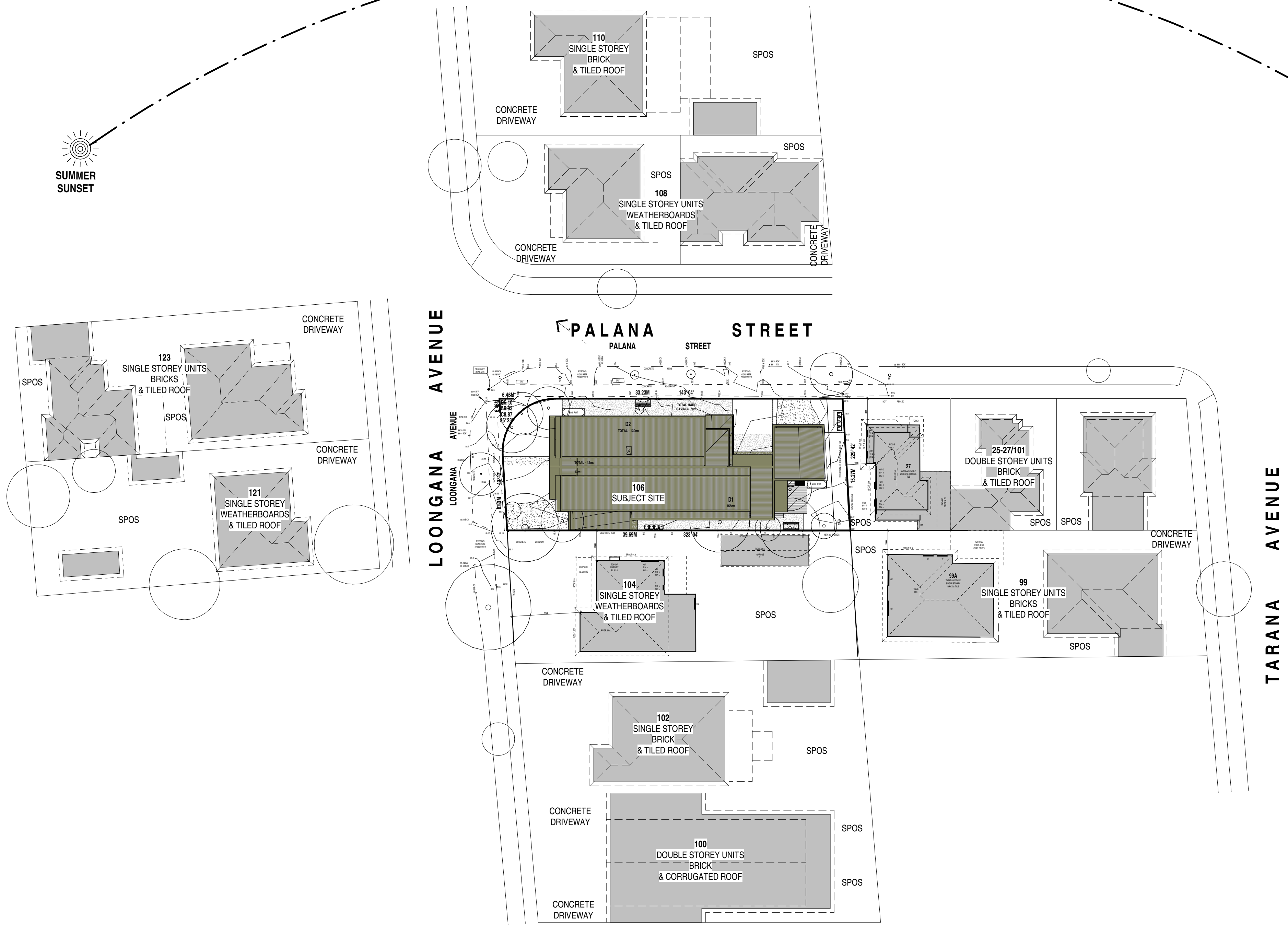
SUMMER
SUNSET



SUMMER
SUNRISE

PLANNING ENVIRONMENT ACT 1987
MERRI-BEK PLANNING SCHEME

Advised Document
Advised Plan Sheet:10 of 10
Application No: MPS/2024/707
Date : 18/06/2025

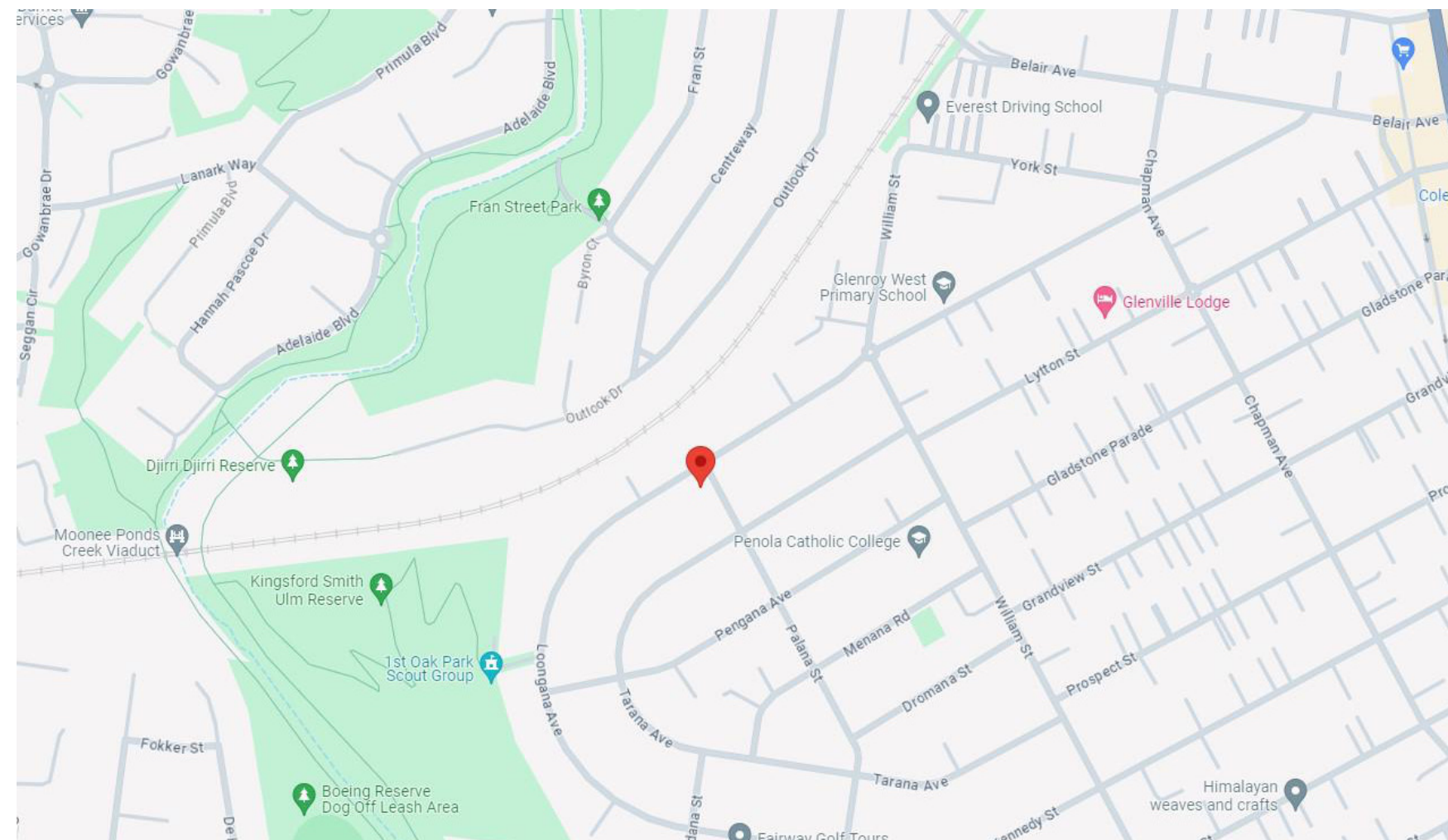
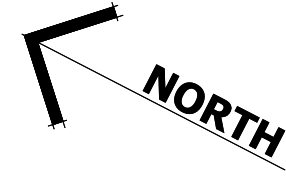


PENOLA COLLEGE/WILLIAM ST BUS STOP 300M
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DESIGN RESPONSE
SCALE: 1 : 300

LOCATION MAP



599 GILBERT ROAD,
PRESTON VIC 3072
PH: 1300 933 744
E: info@wardle.design.com.au
W: www.wardle.design.com.au

No.	Description	Date
A	TP LODGEMENT	19.11.2024

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PROJECT No.	24-055
DRAWN BY	MS
CHECKED BY	AD

DATE	19/11/2024
SCALE	1:100@A1/ 1:200 @A3
ISSUE	TOWN PLANNING

106 LOONGANA AVE, GLENROY
FOUR DWELLING DEVELOPMENT

REVISION	SHEET No.
A	NSDDR2