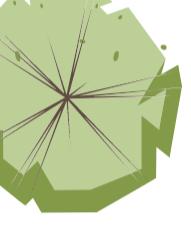
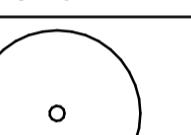
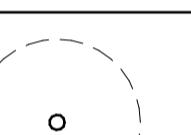
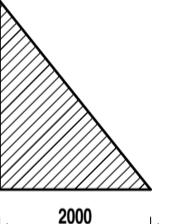
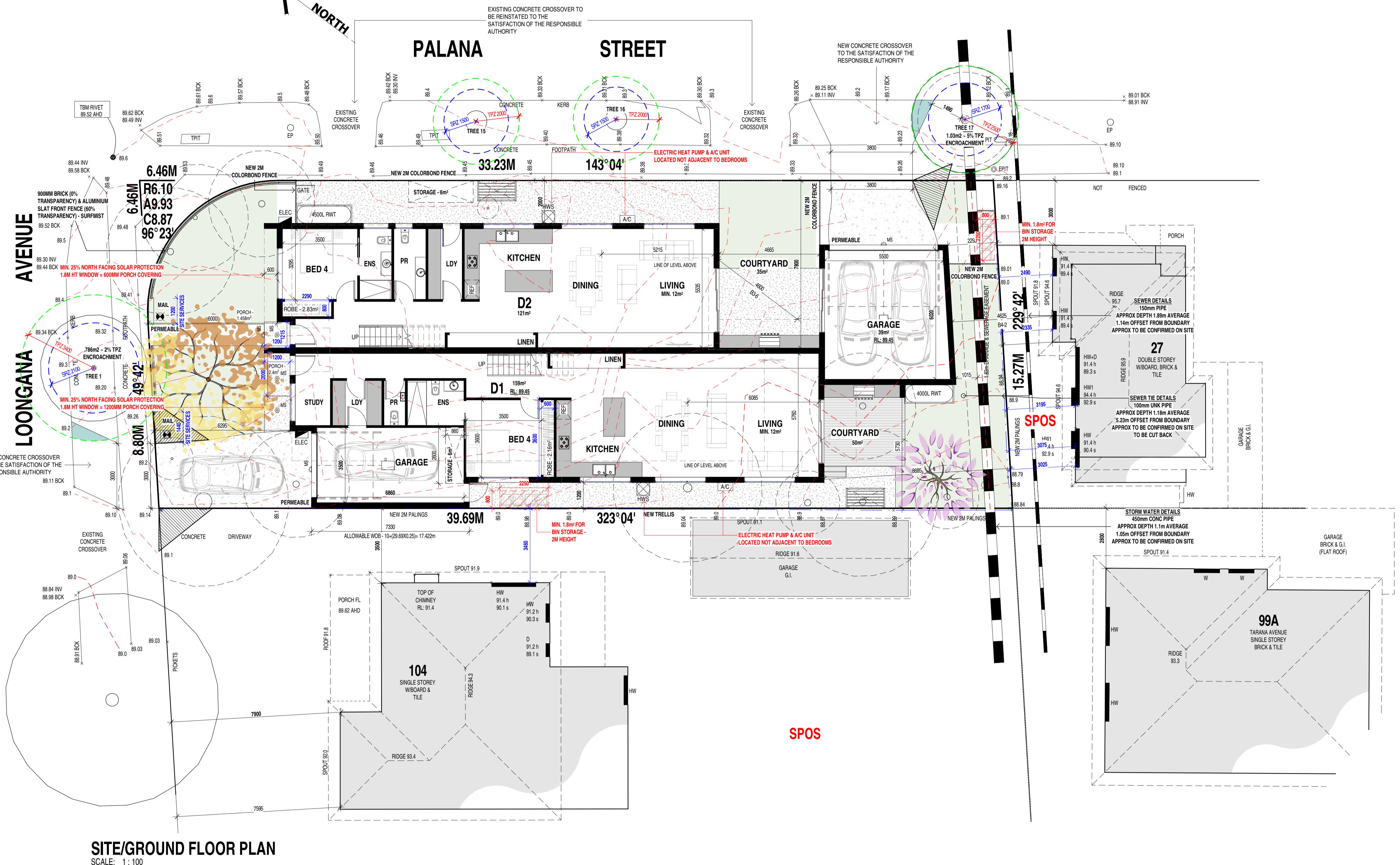
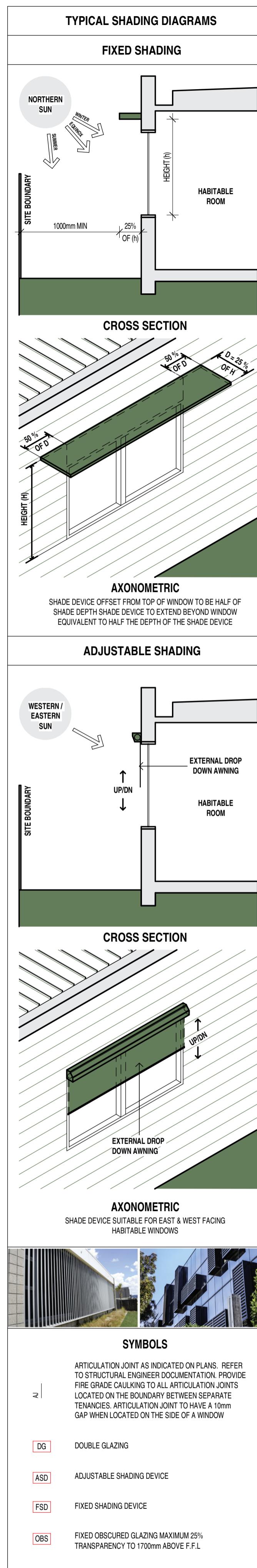




106 LOONGANA AVENUE, GLENROY
DUAL OCCUPANCY

DEVELOPMENT SUMMARY	
SITE AREA	695 m ²
SITE COVER	340 m ² (58%)
PERMEABLE AREA	167 m ² (28%)
GARDEN AREA	210 m ² (35%)
NUMBER OF DWELLINGS	2
CARSPACES	4
AREA SCHEDULE:	
DWELLING 1	
GROUND FLOOR (INCL. GARAGE)	159 m ²
FIRST FLOOR	111 m ²
	270 m ² (29.0650)
PRIVATE OPEN SPACE (P.O.S.)	111 m ²
SECLUDED PRIVATE OPEN SPACE (S.P.O.S.)	70 m ²
DWELLING 2	
GROUND FLOOR (INCL. GARAGE)	160 m ²
FIRST FLOOR	107 m ²
	267 m ² (28.7450)
PRIVATE OPEN SPACE (P.O.S.)	87 m ²
SECLUDED PRIVATE OPEN SPACE (S.P.O.S.)	66 m ²
RAINWATER TANK:	RWT
ALL DWELLINGS SHALL HAVE STORMWATER COLLECTION TANKS FOR STORMWATER RE-USE. STORM NOMINATED VALUES ARE FOR RE-USE ONLY. ANY DETENTION REQUIREMENTS TO FUTURE DETAILS BY RELEVANT CIVIL ENGINEER	
PROPOSED CANOPY TREE:	
EXISTING TREE:	
EXISTING TREE TO BE REMOVED:	
PEDESTRIAN VISIBILITY SPLAY:	ANY STRUCTURE OR VEGETATION WITHIN VISIBILITY SPLAYS MUST NOT BE MORE THAN 0.5m IN HEIGHT.
	
SYMBOLS:	
WATER METER	
GAS METER	
ELEC	
HWS	
DG	
ASD	
FSD	
OBS	
A/C	
EV	
MS	
DEVELOPMENT TO BE ALL-ELECTRIC WITH NO GAS CONNECTION	





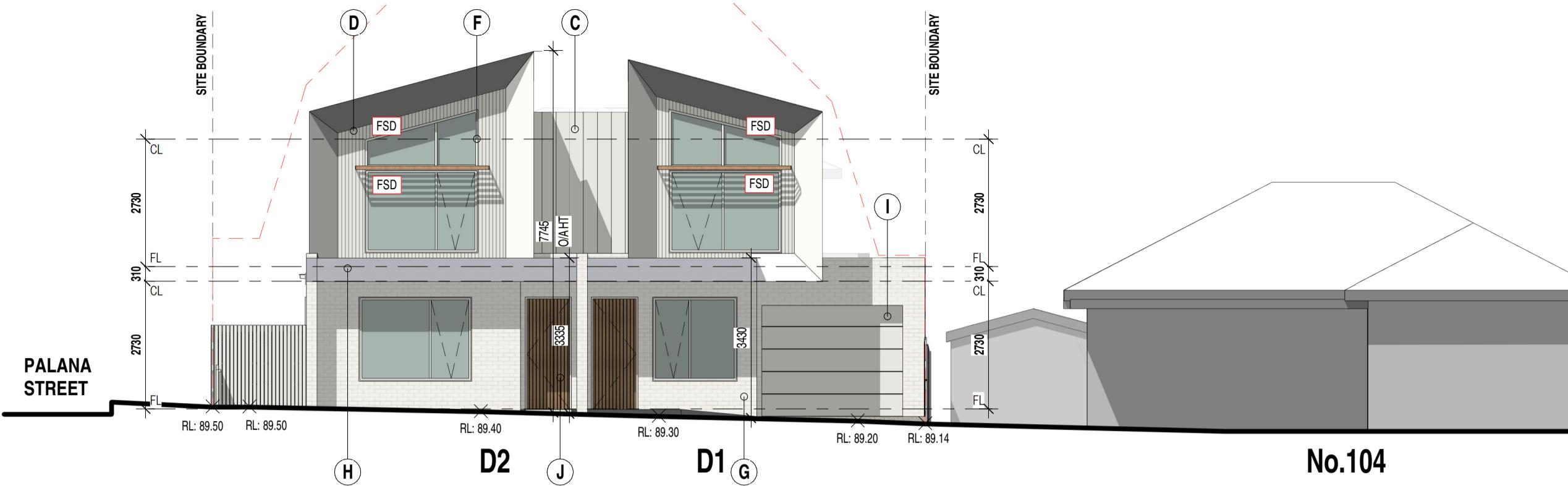
FIRST FLOOR PLA

ARTICULATION JOINT AS INDICATED ON PLANS. REFER TO STRUCTURAL ENGINEER DOCUMENTATION. PROVIDE FIRE GRADE CAULKING TO ALL ARTICULATION JOINTS LOCATED ON THE BOUNDARY BETWEEN SEPARATE TENACIES. ARTICULATION JOINT TO HAVE A 10mm GAP WHEN LOCATED ON THE SIDE OF A WINDOW

DOUBLE GLAZING

ADJUSTABLE SHADING DEVICE

TRANSPARENCY TO 1700mm ABOVE F.F.L



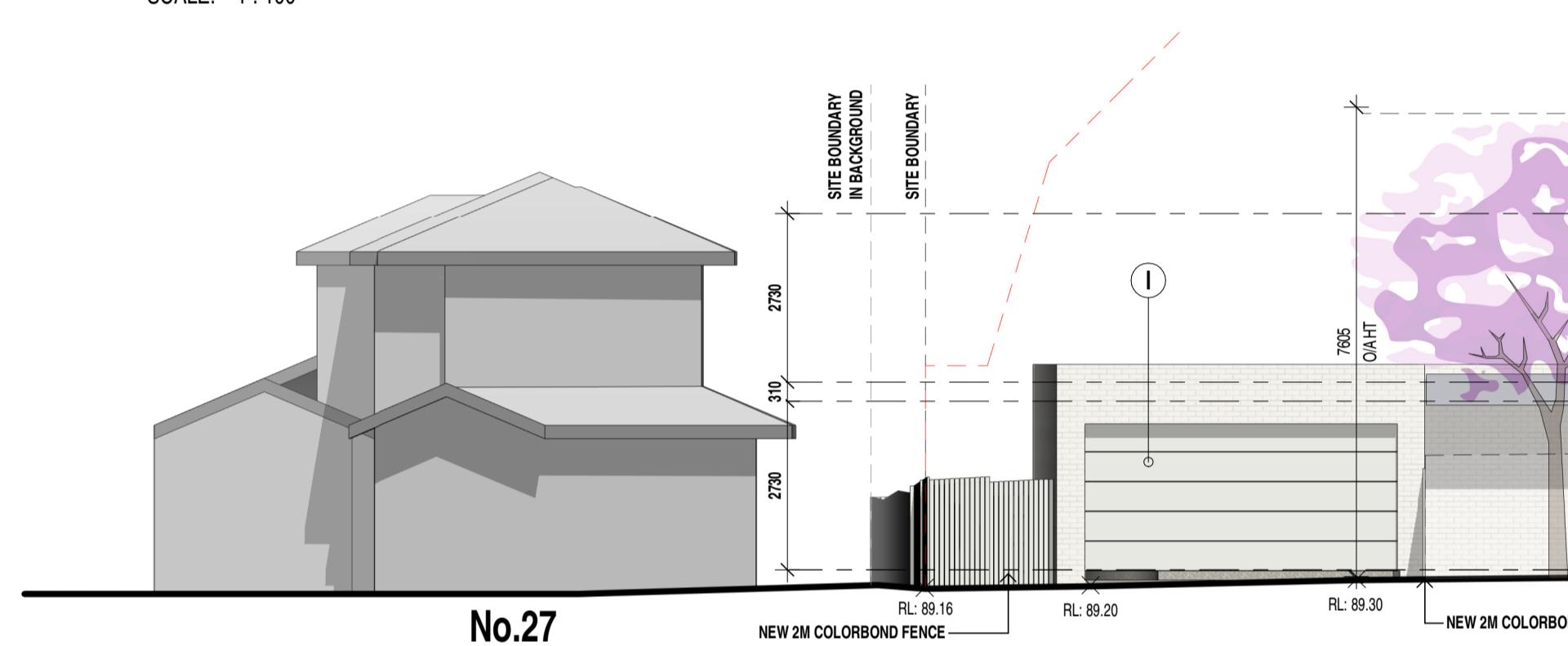
MATERIALS SCHEDULE				
SAMPLE	REF	ITEM	COLOUR	FINISH / SUPPLIER
	A	ROOFING MATERIAL	SURFMIST	COLORBOND
	B	GUTTERS / FASCIAS / DOWNPipes	SURFMIST	COLORBOND
	C	WALL CLADDING	SURFMIST	JAMESHARDIE (OR SIMILAR)
	D	WALL CLADDING - BATTENS	SURFMIST	TBA
	E	APPLIED RENDER	GREY	TBA
	F	WINDOWS / DOORS - HABITABLE UNITS TO BE DOUBLE GLAZED	SURFMIST	COLORBOND
	G	FEATURE BRICK	WHITE	TBA
	H	PORCH FINISH	GREY	TBA
	I	GARAGE DOORS / FACADE TREATMENTS	SURFMIST	COLORBOND
	J	FRONT DOOR	TIMBER	TBA
	K	POWDER COATED ALUMINUM SLAT FENCING & BRICK	SURFMIST/WHITE	TBA

NORTH ELEVATION - LOONGANA AVE

SCALE: 1:100

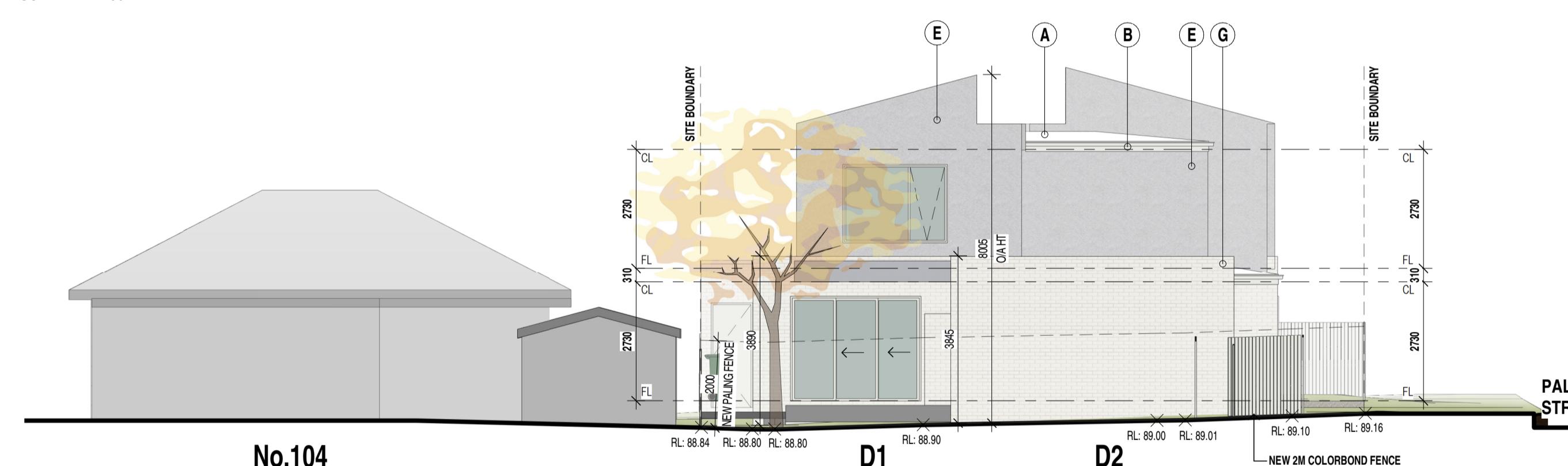
FRONT FENCE ELEVATION

SCALE: 1:100



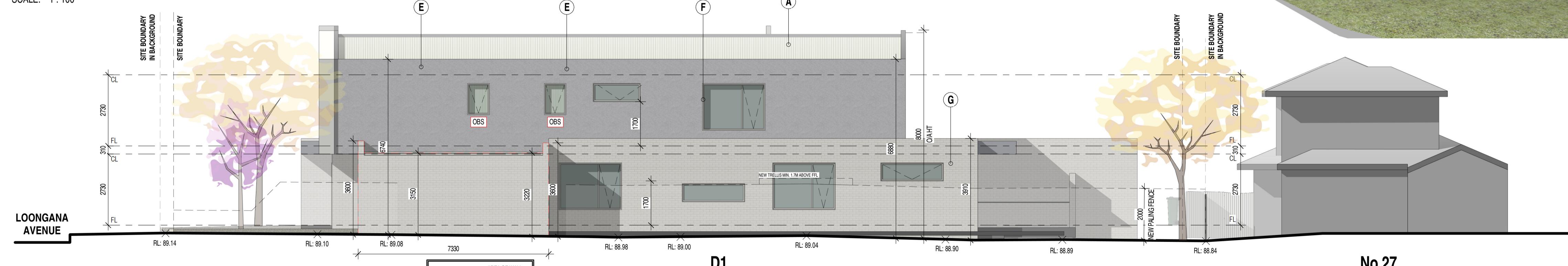
EAST ELEVATION - PALANA ST

SCALE: 1:100



SOUTH ELEVATION

SCALE: 1:100

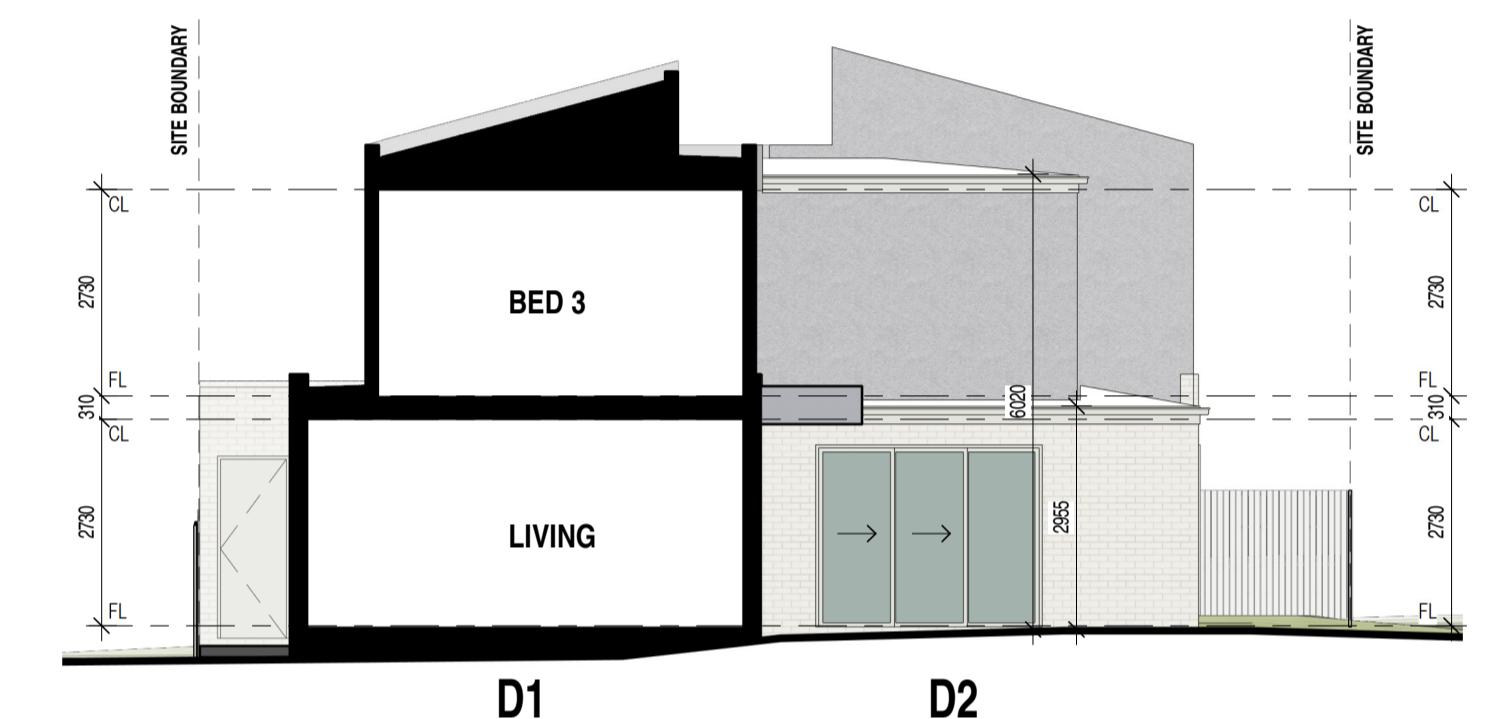


WEST ELEVATION

SCALE: 1:100

AVERAGE HEIGHT = 23.45m²
AREA OF WALL = 7.33m²
AVERAGE HEIGHT = 3.2m
LENGTH OF WALL = 7.33m

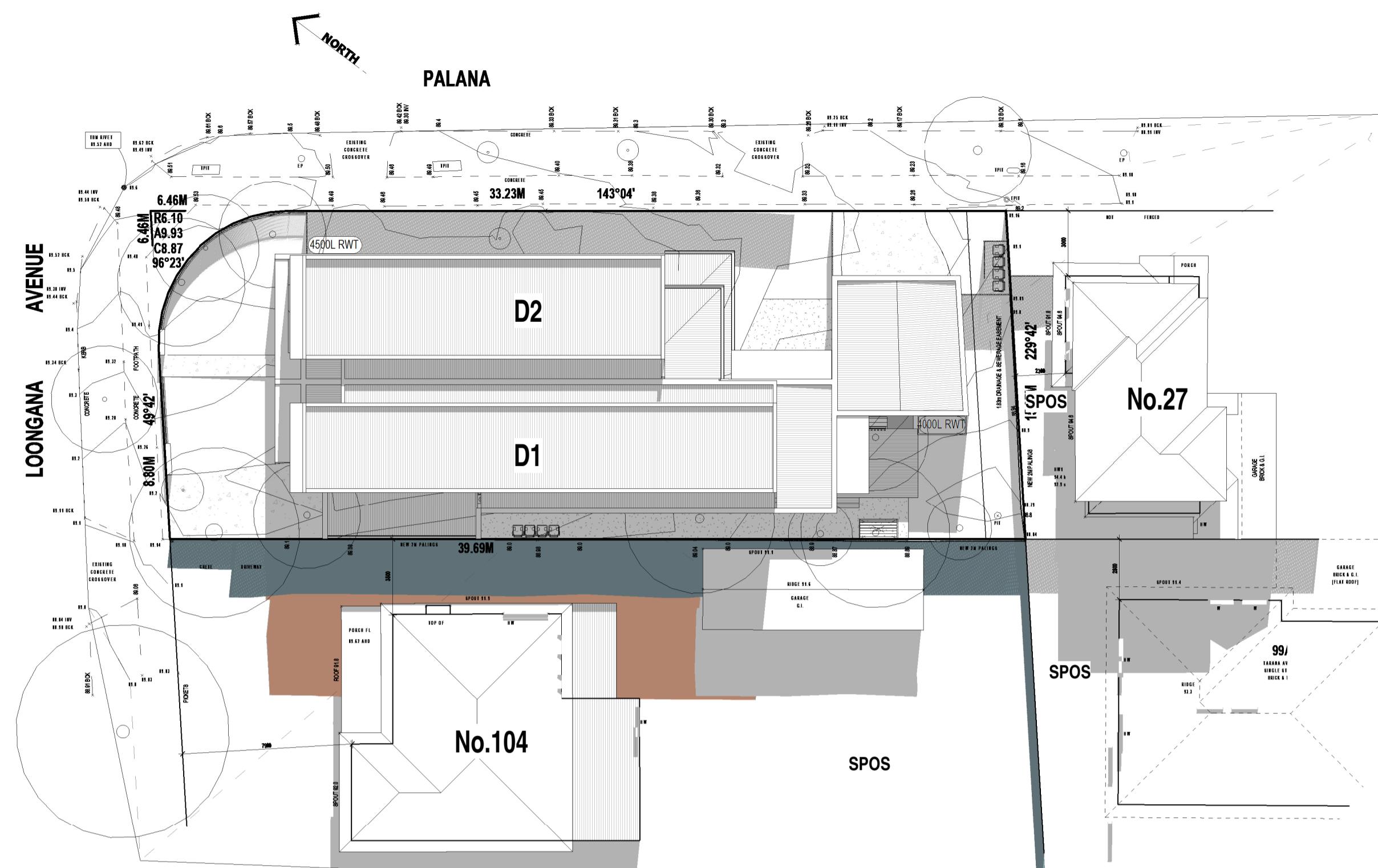
SYMBOLS:	
WATER METER	
GAS METER	
ELEC	ELECTRICAL METER
HWS	HOT WATER SERVICE (GAS INTANTANIOUS)
DG	DOUBLE GLAZING
ASD	ADJUSTABLE SHADING DEVICE
FSD	FIXED SHADING DEVICE
OBS	FIXED OBSCURED GLAZING MAXIMUM 25% TRANSPARENCY TO 1700mm ABOVE F.F.L
A/C	AIR CONDITIONING UNIT (EXTERNAL)
EV	EV CHARGER
T	TAP (COURTYARD / BALCONY)



INTERNAL SOUTH ELEVATION

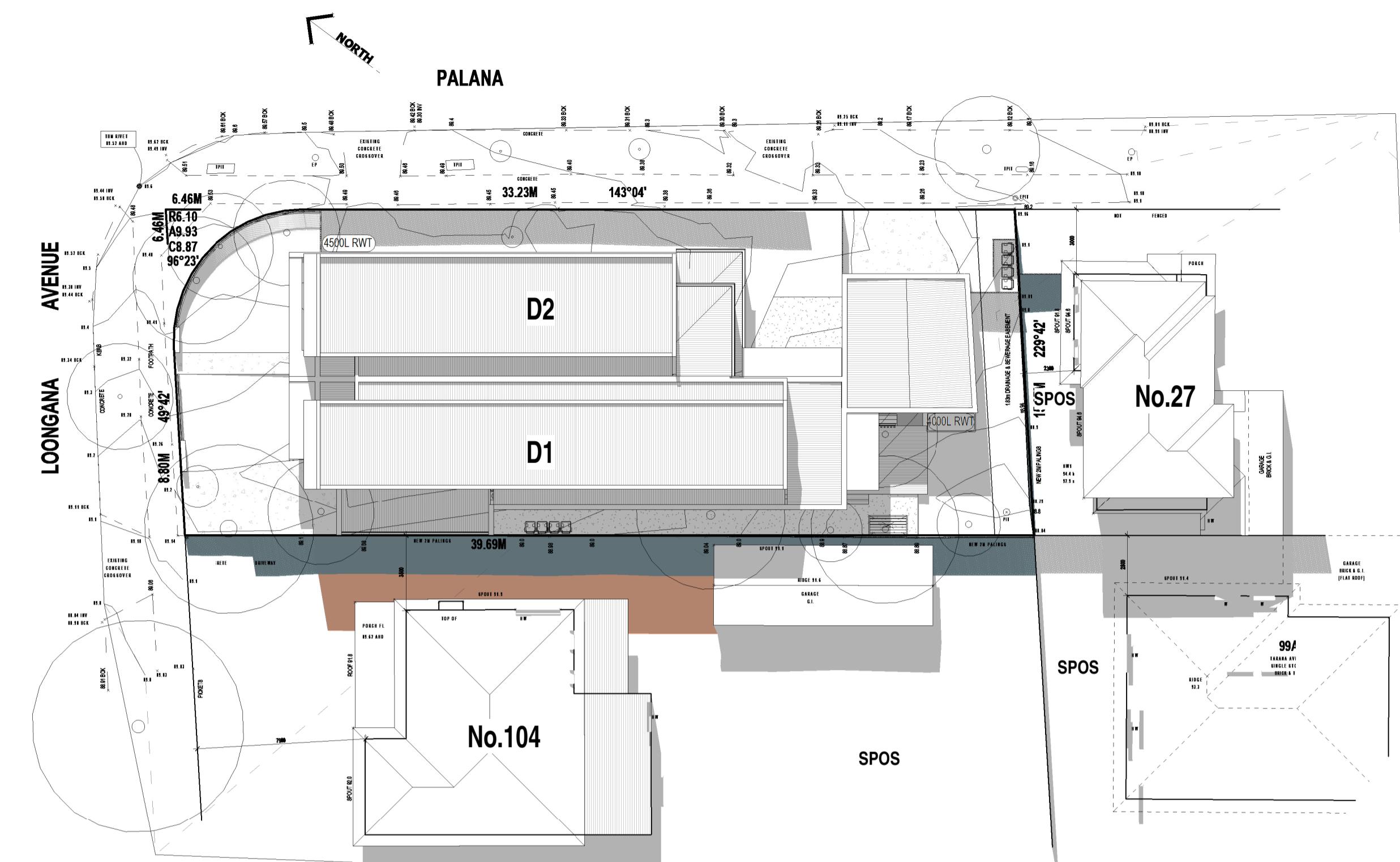
SCALE: 1:100





SHADOW DIAGRAM - 9AM

SCALE: 1:200

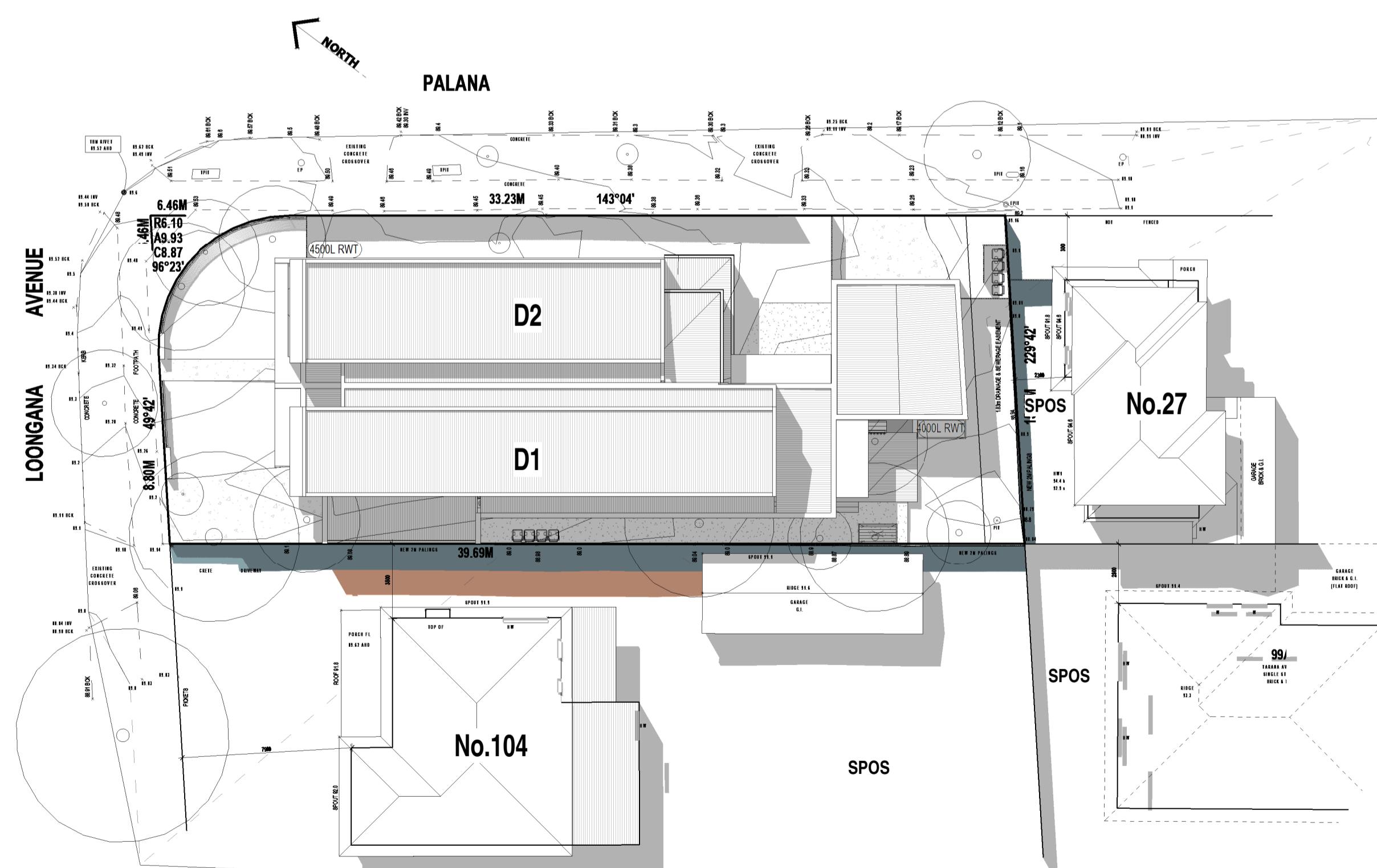


SHADOW DIAGRAM - 10AM

SCALE: 1:200

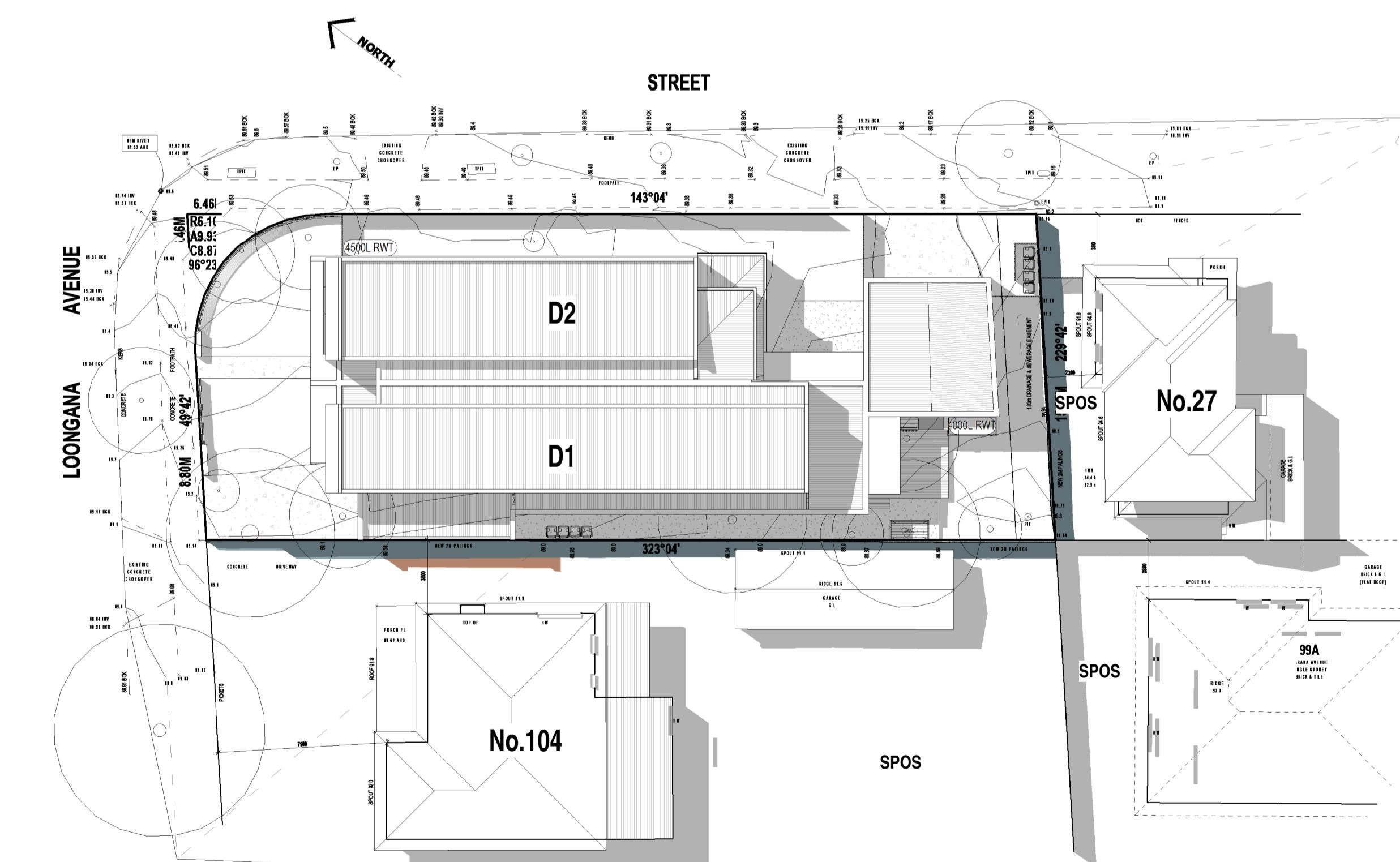
SHADOW LEGEND	
■	NEW SHADOW
■	EXISTING SHADOW
■	- FENCE
■	EXISTING SHADOW
■	- ADJOINING PROPERTY

*NOTE: SHADOWS AT 23 SEPTEMBER



SHADOW DIAGRAM - 11AM

SCALE: 1:200

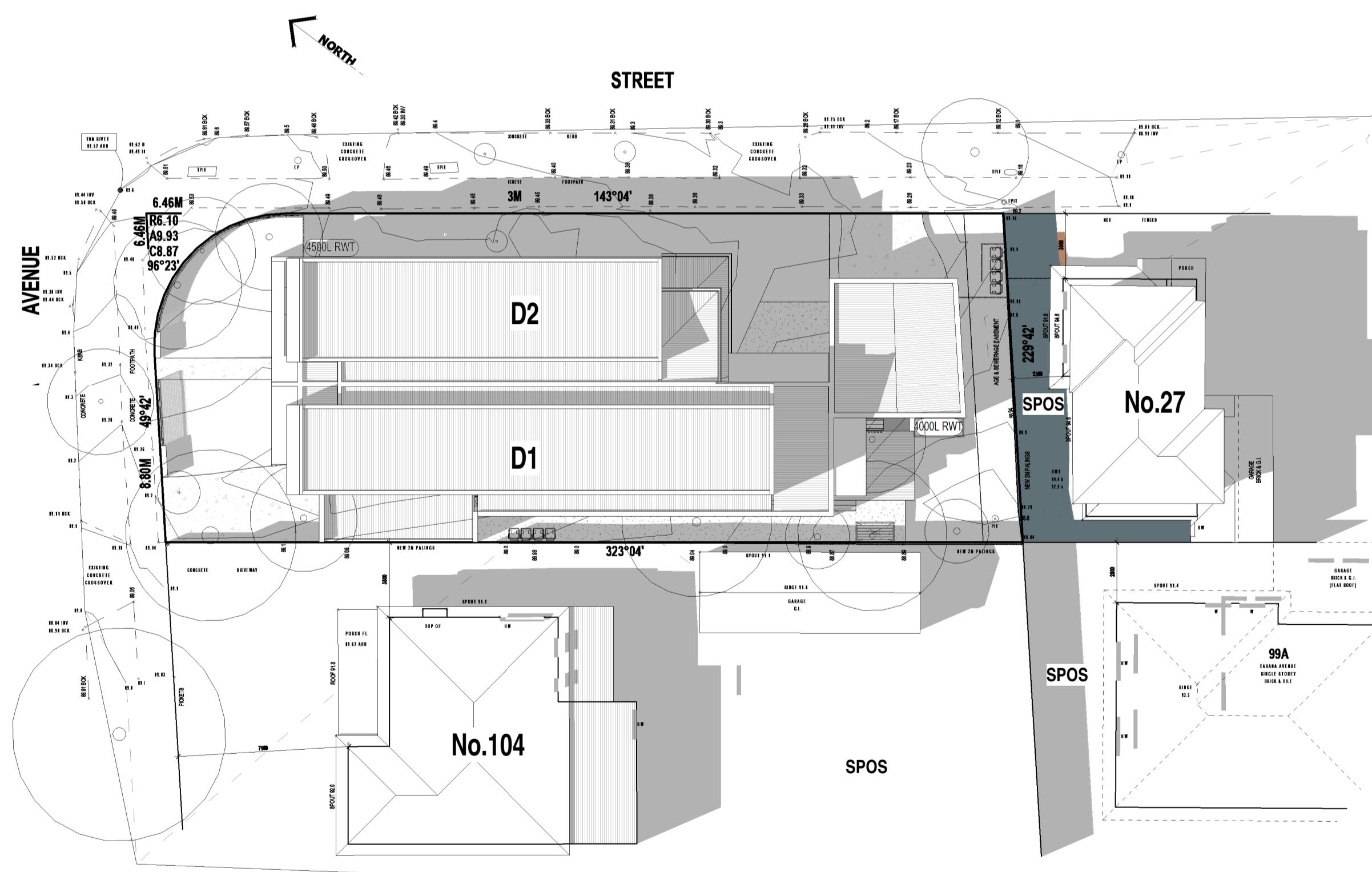
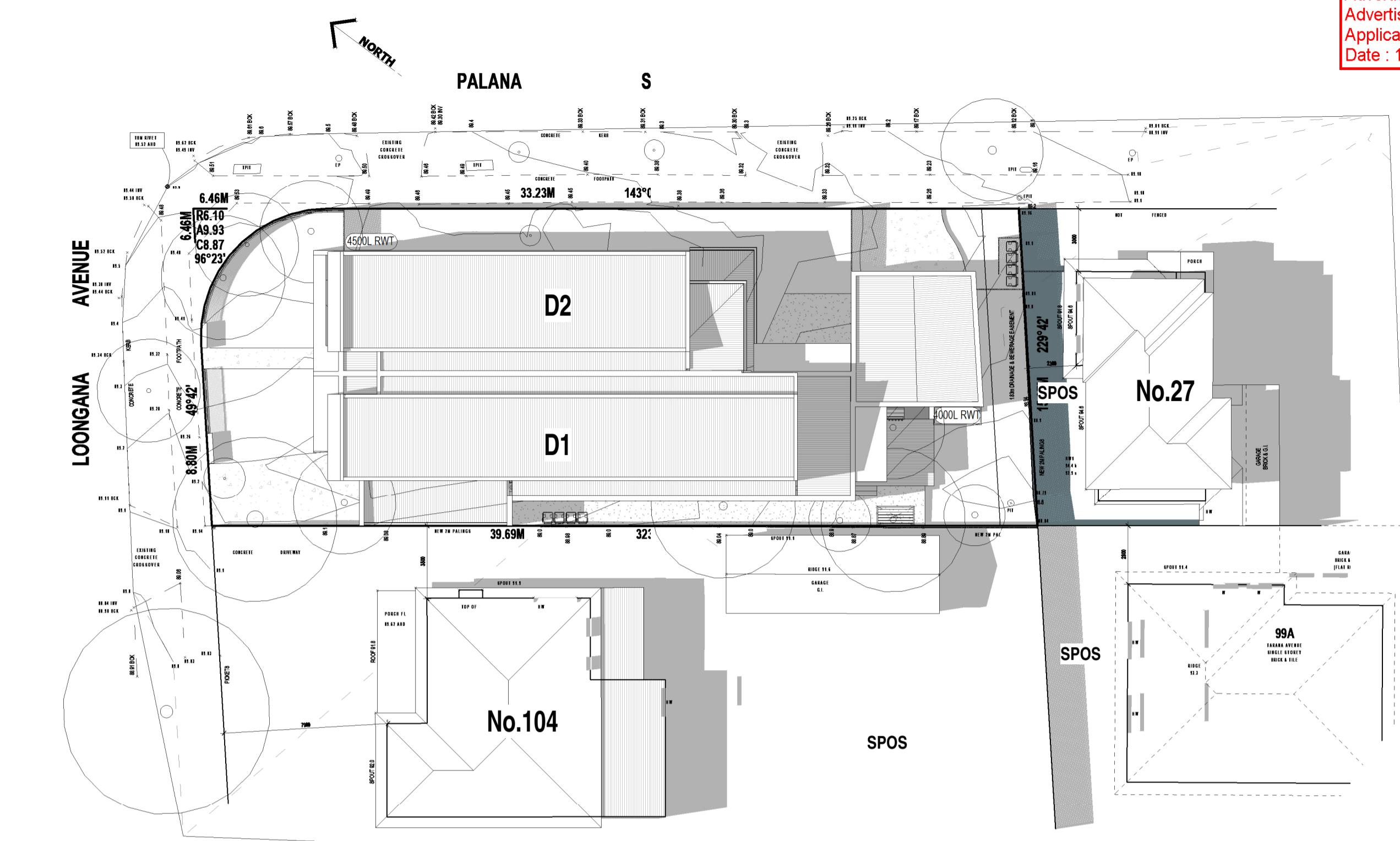
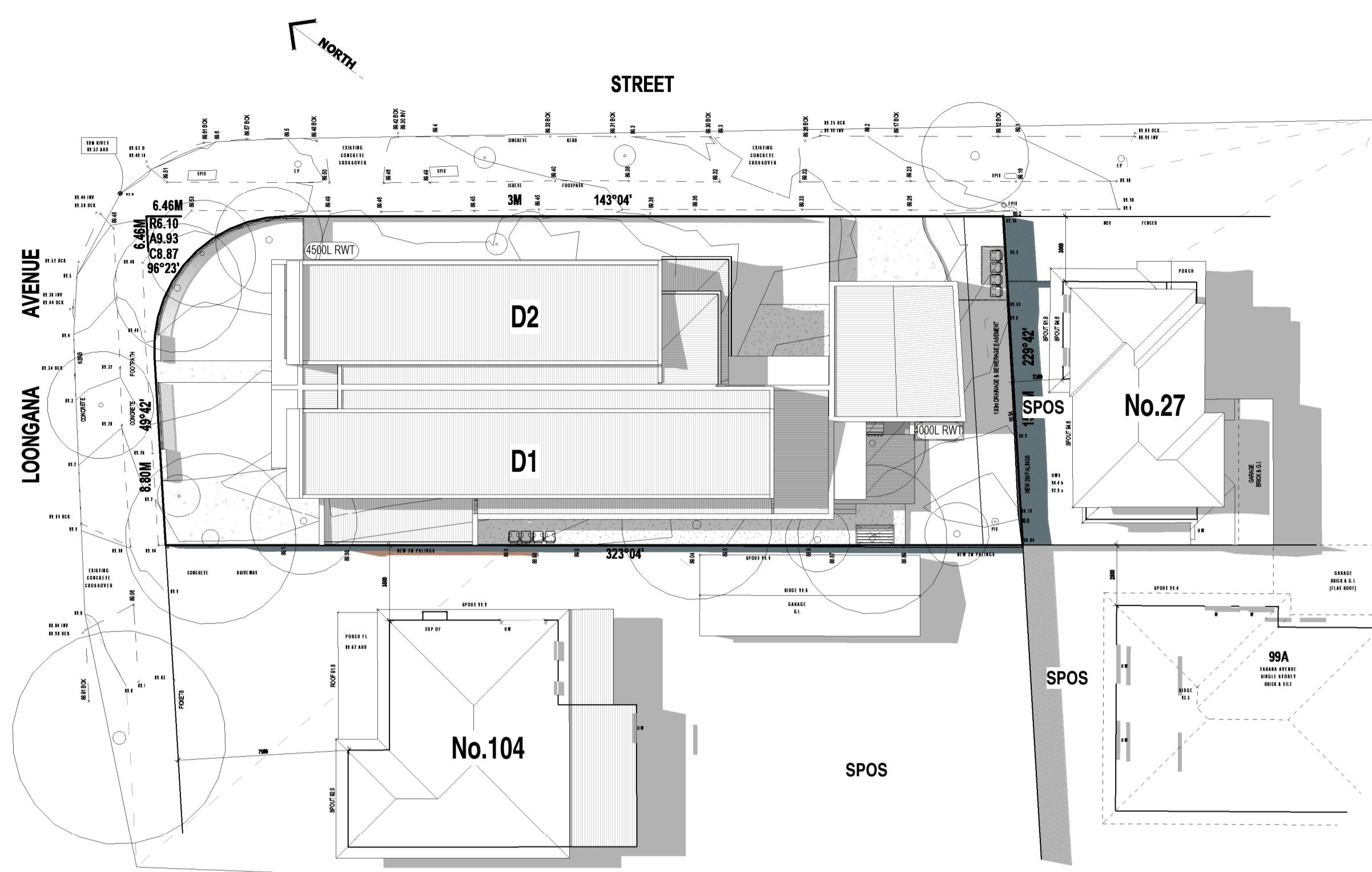


SHADOW DIAGRAM - 12PM

SCALE: 1:200

OVERSHADING TO 104 LOONGANA AVENUE, GLENROY				
	EX. SUN TO SPOS	PROPOSED SUN TO SPOS	OVERALL CHANGE	CHANGE YES/NO
9AM	178m ²	169m ²	9m ²	YES - COMPLIANT
10AM	191m ²	190m ²	1m ²	YES - COMPLIANT
11AM	194.5m ²	194.5m ²	0m ²	NO - COMPLIANT
12AM	197m ²	197m ²	0m ²	NO - COMPLIANT
1PM	195m ²	195m ²	0m ²	NO - COMPLIANT
2PM	187m ²	187m ²	0m ²	NO - COMPLIANT
3PM	183m ²	183m ²	0m ²	NO - COMPLIANT

OVERSHADING TO 27 PALANA ST, GLENROY				
	EX. SUN TO SPOS	PROPOSED SUN TO SPOS	OVERALL CHANGE	CHANGE YES/NO
9AM	9.5m ²	9.5m ²	0m ²	NO - COMPLIANT
10AM	16m ²	16m ²	0m ²	NO - COMPLIANT
11AM	14.5m ²	14.5m ²	0m ²	NO - COMPLIANT
12AM	12m ²	12m ²	0m ²	NO - COMPLIANT
1PM	9m ²	9m ²	0m ²	NO - COMPLIANT
2PM	6m ²	6m ²	0m ²	NO - COMPLIANT
3PM	1m ²	1m ²	0m ²	NO - COMPLIANT



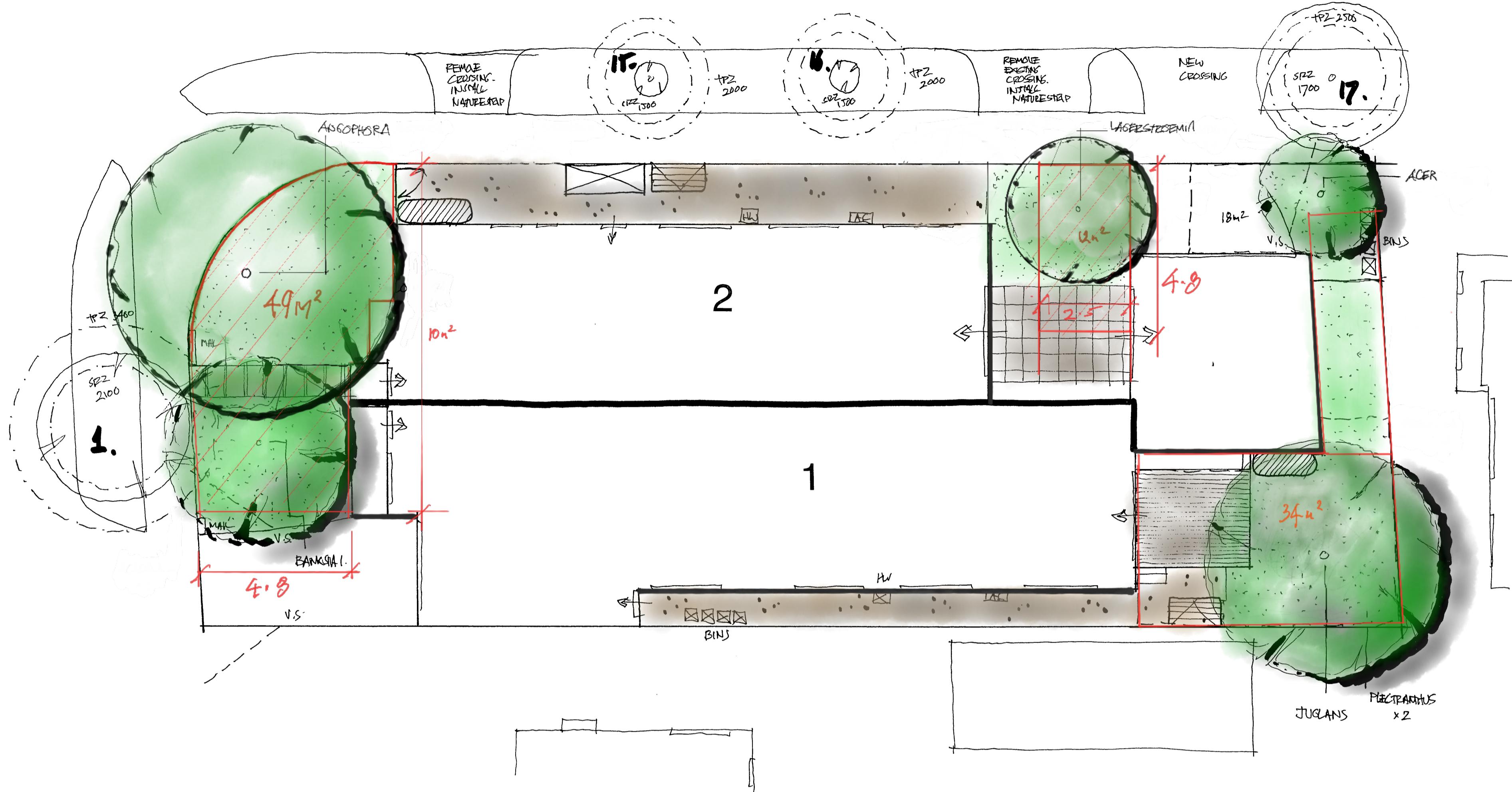
OVERSHADING TO 104 LOONGANA AVENUE, GLENROY			
EX. SUN TO SPOS	PROPOSED SUN TO SPOS	OVERALL CHANGE	CHANGE YES/NO
9AM 178m ²	169m ²	9m ²	YES - COMPLIANT
10AM 191m ²	190m ²	1m ²	YES - COMPLIANT
11AM 194.5m ²	194.5m ²	0m ²	NO - COMPLIANT
12AM 197m ²	197m ²	0m ²	NO - COMPLIANT
1PM 195m ²	195m ²	0m ²	NO - COMPLIANT
2PM 187m ²	187m ²	0m ²	NO - COMPLIANT
3PM 183m ²	183m ²	0m ²	NO - COMPLIANT

OVERSHADING TO 27 PALANA ST, GLENROY			
EX. SUN TO SPOS	PROPOSED SUN TO SPOS	OVERALL CHANGE	CHANGE YES/NO
9AM 9.5m ²	9.5m ²	0m ²	NO - COMPLIANT
10AM 16m ²	16m ²	0m ²	NO - COMPLIANT
11AM 14.5m ²	14.5m ²	0m ²	NO - COMPLIANT
12AM 12m ²	12m ²	0m ²	NO - COMPLIANT
1PM 9m ²	9m ²	0m ²	NO - COMPLIANT
2PM 6m ²	6m ²	0m ²	NO - COMPLIANT
3PM 1m ²	1m ²	0m ²	NO - COMPLIANT

SHADOW LEGEND	
NEW SHADOW	
EXISTING SHADOW	- FENCE
EXISTING SHADOW	- ADJOINING PROPERTY

*NOTE: SHADOWS AT 23 SEPTEMBER

loongana avenue



notes

Existing vegetation

Existing trees and shrubs indicated for retention are to be protected in accordance with Australian standards. Refer to arborists report and/or council permit conditions for tree protection and management. Trees should be protected with physical barriers to prevent access within nominated tree protection zones which are to be mulched and irrigated during construction. No trees to be removed without clarification from owner or local council. All tree protection to be in accordance with relevant Australian Standards.

Garden Beds

Cultivate existing soil to 200mm (not within driplines of existing trees) Re-use site topsoil if suitable or imported garden mix topsoil to provide minimum 100mm of topsoil to garden beds. Spread 75mm layer of 10mm pine bark mulch or stone chips as non flammable mulch if required.

Drainage

Refer to architectural or engineering plans for stormwater and drainage pit locations. All paved areas in rear gardens are to have a grade of 2.5% minimum, away from buildings. All grades, levels and drainage to comply with relevant building codes and council planning requirements.

Services

Contractors are to determine the location of all underground and overhead services prior to construction. Any services, pits, etc illustrated on this plan are indicative only and are to be checked with architectural and engineering plans.

Building Structures

The use of this plan and planting of trees, shrubs, etc as specified may require the provision of root control barriers or specifically engineered foundations or similar method of controlling root growth to avoid intrusion into adjacent areas or building foundations. A qualified consultant should advise on foundation design and/or barriers (physical or chemical) as appropriate.

key

lawn

drought tolerant, non - invasive species seeded or turf on 50mm topsoil or use mulch or pebbles as substitute during drought periods.

garden edging

70x19mm treated pine

path

concrete as selected

decking

as per architectural plans.

paving

concrete as selected

path

permeable paving

driveway

permeable paving as per architectural plans

fence

refer to architectural plans

water tanks

refer to architectural and drainage engineering plans

bins

storage areas

existing trees

trees to be retained. refer to arborists report for details

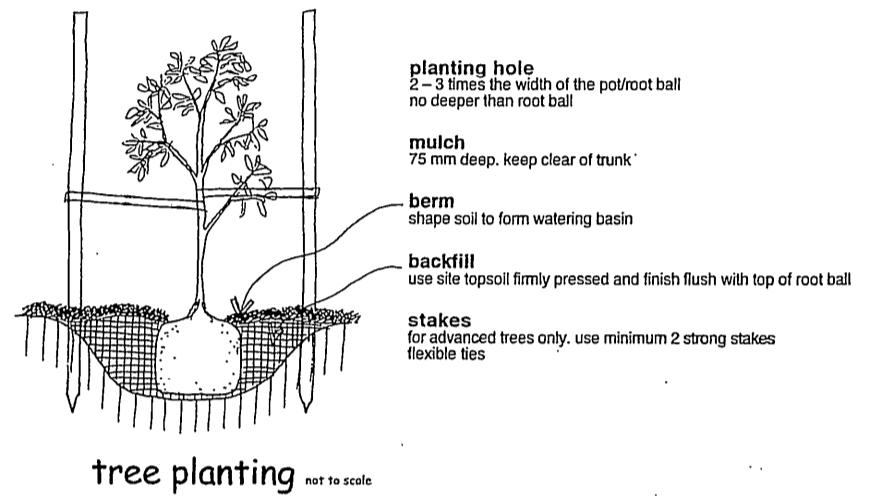
Planting schedule

Species.	Common name.	Quantity.	Size*
Feature trees, shade trees, large shrubs (supply in 200mm pots or as advanced plants 1.5m high** or larger indicated height, eg (2m))			
Acer p. 'Butterfly'	Maple	1	3x2
Angophora floribunda.	Rough barked Angophora.	1(2m)	10x8 type B 50.3m ²
Banksia integrifolia	Coast Banksia	1**	9x6
Juglans nigra	Black Walnut	1(2m)	9x7
Lagerstroemia 'Tonto'	Crepe Myrtle	1	6x4 (type A 12.57m ²)

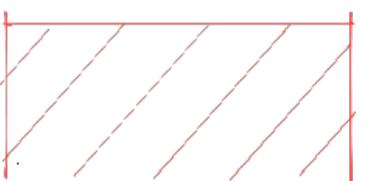
*height x width average at maturity estimated for this location or maintained by trimming

Canopy of 63m² is provided by one type A and one type B tree and represents 10.5% of the site area.

+ other trees (not included in B2-7 calculations)



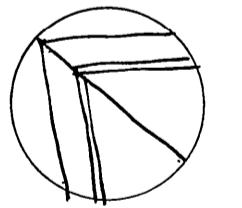
Deep soil areas for B2-7



Site Preparation and Maintenance notes

All weeds to be removed from site by physical removal or spraying with glyphosate based herbicide. Existing soil should be improved by the addition of organic matter and light cultivation only to break up any compaction. No cultivation within driplines of existing retained trees on site or adjacent areas. Areas of possible contamination with paint, oil or any other materials used on site are to be removed and replaced with topsoil from a sustainable source and approved for use on site. Areas requiring topsoil to ensure levels or for plant growth are to be spread with approved soil previously stockpiled on site or from quality controlled and sustainable source. Irrigation is to be undertaken with current water restrictions and weather conditions generally 10 minutes every second day during establishment period (6 months) and during dry summer periods If required, programmable irrigation systems are to be low water use drippers and sprays as appropriate and designed by irrigation supplier or consultant. Weeding and trimming every 14 – 21 days. Plant replacement as required during establishment period of 6 months or longer as required by permit conditions. All plants to be pruned/shaped to appropriate size on an ongoing basis. Mulch levels to be maintained at 75mm.

landscape plan



project: 106 loongana avenue, glenroy

client: wardle design

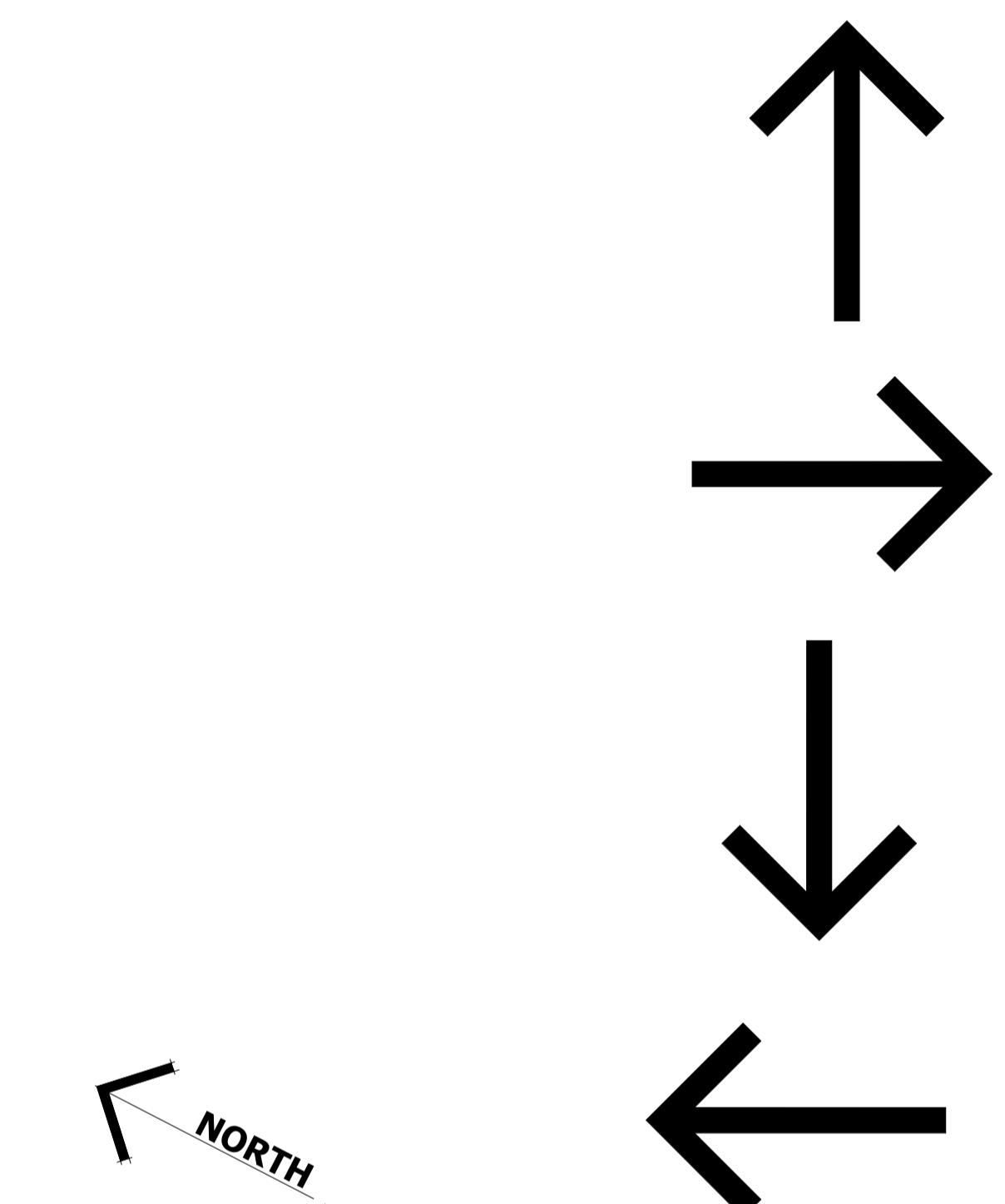
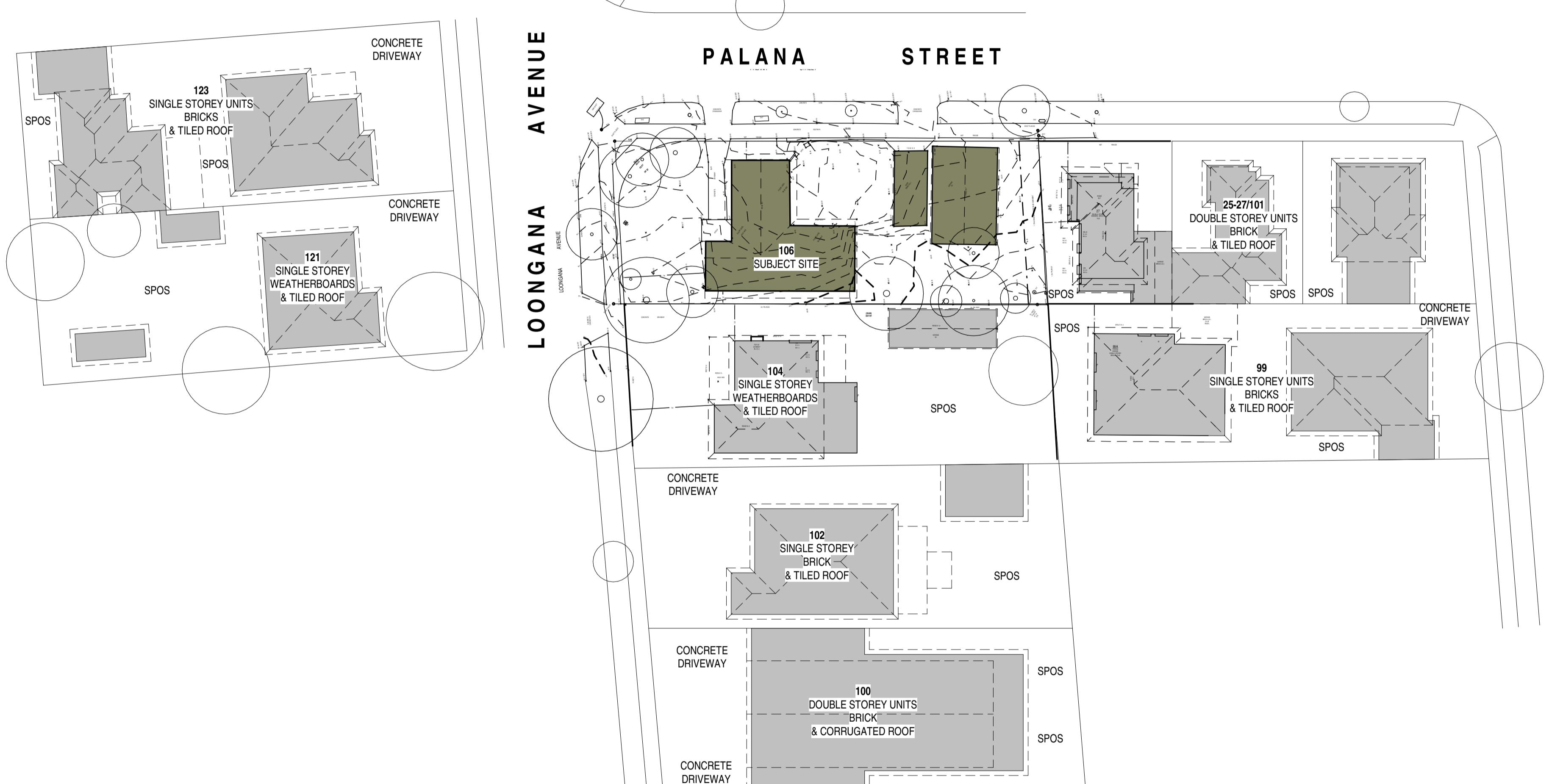
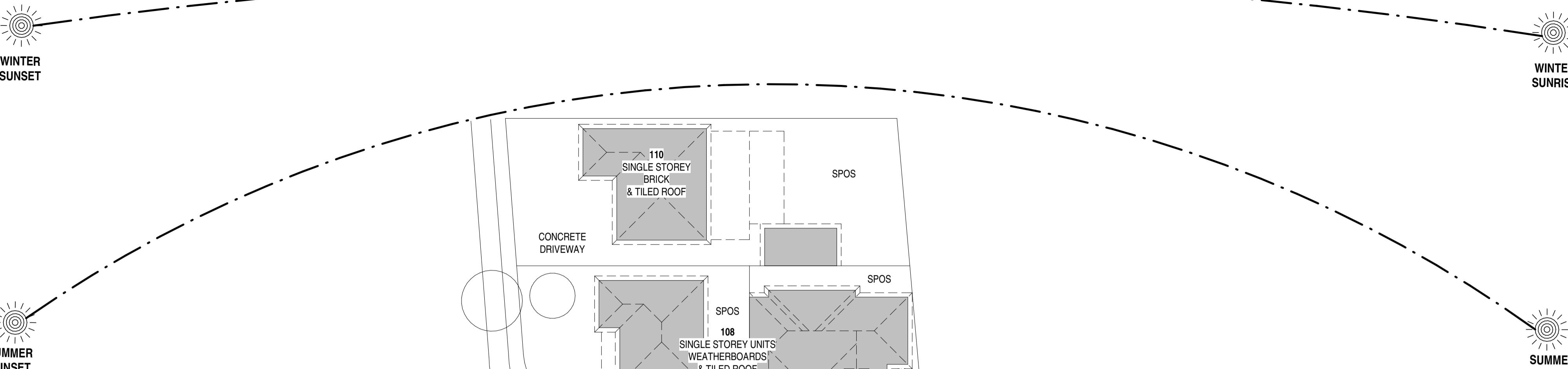
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issue A
issue B April 2025
issue C May 2025

habitat

landscape and environmental design consultants 9836 1272

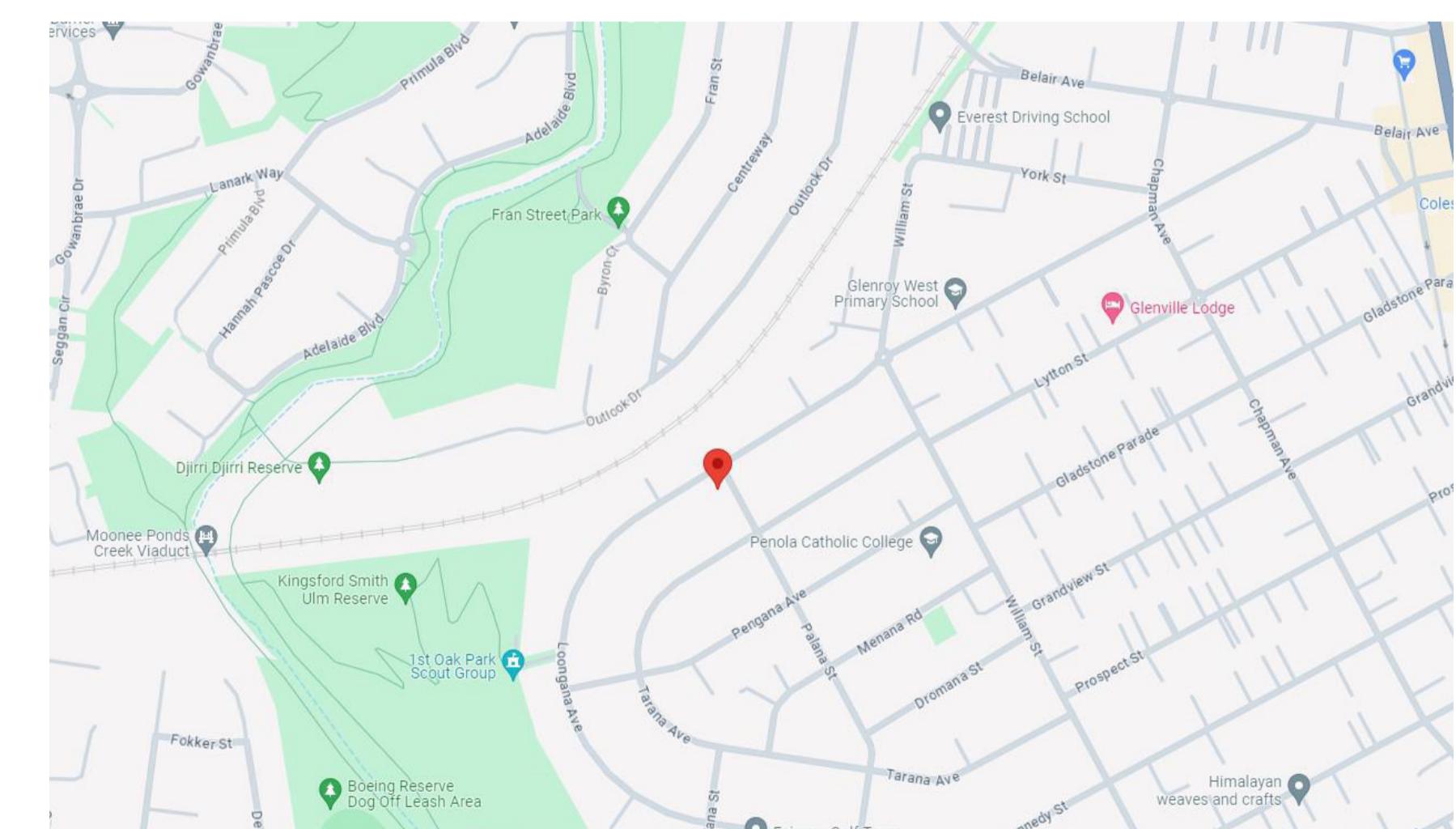
this plan is intended as a layout and planting guide only, all dimensions, locations, etc are to be checked and verified on site. Refer to architectural and engineering plans and permit conditions. habitat accepts no responsibility or liability as a result of errors or omissions on this plan



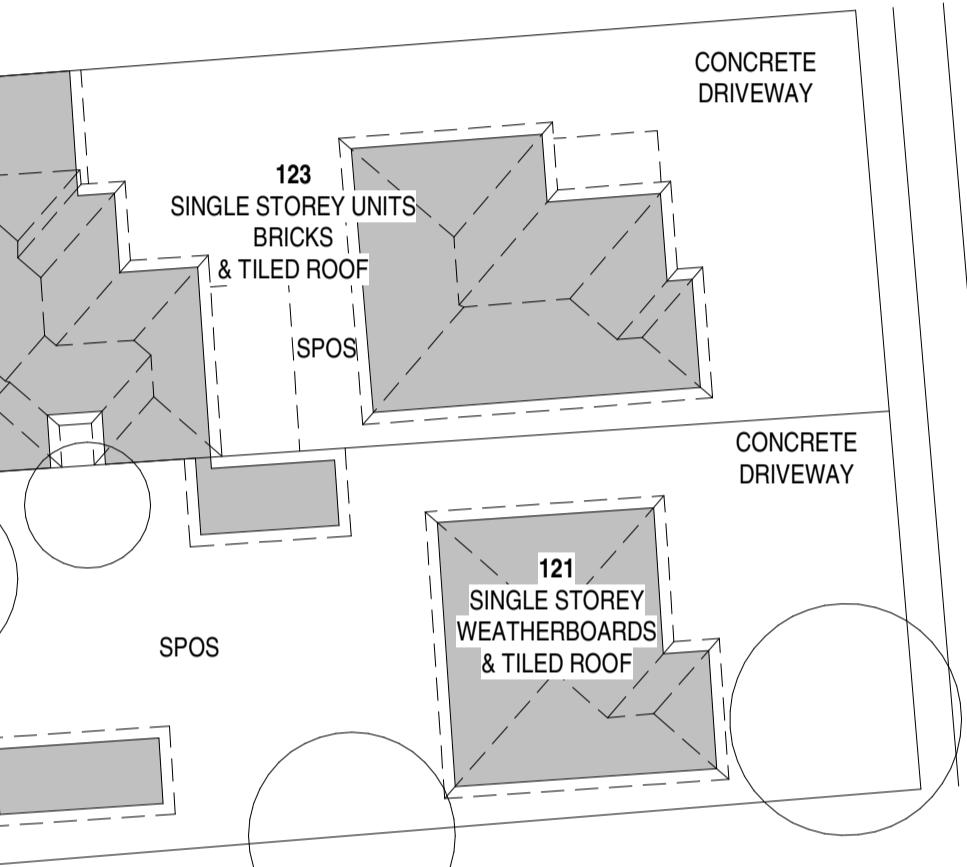
NEIGHBOURHOOD & SITE DESCRIPTION

SCALE: 1:300

SCALE: 1 : 300



LOCATION MAP

WINTER
SUNSETSUMMER
SUNSET

LOONGANA AVENUE

